

City of Valdez

Meeting Agenda

City Council

Wednesday, May 4, 2022	7:00 PM	Council Chambers

Regular Meeting (Moved from 5/3 due to municipal election)

REGULAR AGENDA - 7:00 PM

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. APPROVAL OF MINUTES
 - 1. Regular Meeting Minutes April 19, 2022
- V. PUBLIC APPEARANCES
 - 1. Lanette Oliver, Valdez Adventure Alliance Fatbike Bash Event
- VI. PUBLIC BUSINESS FROM THE FLOOR
- VII. CONSENT AGENDA
 - 1. <u>Proclamation: National Police Week May 15-21</u>
 - 2. Proclamation: Missing and Murdered Indigenous Persons Awareness Day
- VIII. NEW BUSINESS
 - 1. Certification of Election Results for the May 3, 2022, Regular Municipal Election
 - 2. <u>Approval to Suspend Phase II of the City of Valdez Solid Waste Management Plan</u>
 - 3. <u>Approval of Contract with Bezek-Durst-Seiser, Inc., for the HHES Roofs, Doors &</u> Siding Design in the Amount of \$646,756.00
 - 4. <u>Approval of Contract with Bezek-Durst-Seiser, Inc., for the Valdez Schools Condition</u> <u>Survey in the Amount of \$140,163.00</u>

- 5. <u>Approval of Professional Services Agreement with CRW Engineering Group, LLC for</u> VCT Water Main Replacement Design in the Amount of \$330,007.00
- 6. <u>Approval of Contract with Wolverine Summit JV for the Departmental Storage Facility</u> (FS1) Renovation project in the Amount of \$752,000.00
- 7. <u>Approval of Professional Services Agreement with New Horizons Telecom, Inc. for the</u> <u>Public Safety Radio Infrastructure Upgrades Design in the Amount of \$178,203.80</u>

IX. ORDINANCES

- 1. <u>#22-05 Amending Chapter 2.12, Section 2.12.030, Titled Deputy City Clerk</u> Appointment. Second Reading. Adoption.
- 2. #22-06 Amending Chapter 3.12, Section 3.12.040 Relating to Residential Property Tax Exemption. First Reading. Public Hearing.

X. RESOLUTIONS

- 1. <u>#22-28 Authorizing a Lease with Alaska Guide Company, LLC for 2581 Richardson</u> Highway, a Portion of USS 439 Owned by the City of Valdez
- 2. <u>#22-29 Authorizing the Negotiated Sale of 1.89 Acres within the Valdez Medical Park</u> Subdivision Senior Addition to Valdez Senior Housing Associates, LLC.
- **3.** <u>#22-30 Amending the 2022 City Budget by Transferring \$800,000 from Unassigned</u> <u>General Fund Balance to the Local Utility Inflation Assistance Program, and</u> <u>Authorizing Expenditure Therefrom</u>
- 4. <u>#22-31 Establishing the 2022 Rate of Real Property Tax and Designating the</u> <u>Number of Mills for each Dollar of Real Property to be Levied for Municipal and School</u> <u>Purposes</u>
- 5. <u>#22-32 Establishing Non Profit/Government Rates and Fees For Recreation Facility</u> <u>Rentals</u>
- XI. REPORTS
 - 1. <u>Treasury Report: February, 2022</u>
- XII. CITY MANAGER / CITY CLERK / CITY ATTORNEY / MAYOR REPORTS
- 1. City Manager Report
 - 1. <u>City Manager's Report</u>
- 2. City Clerk Report

3. City Attorney Report

- 4. City Mayor Report
- XIII. COUNCIL BUSINESS FROM THE FLOOR
- XIV. ADJOURNMENT



Legislation Text

File #: 22-0201, Version: 1

ITEM TITLE:

Approval of Minutes of the Regular Meeting of April 19, 2022.

SUBMITTED BY: Sheri Pierce, MMC, City Clerk

FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

RECOMMENDATION:

Click here to enter text.

SUMMARY STATEMENT:

The minutes of the regular meeting of April 19, 2022 are attached for review.

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City of Valdez

212 Chenega Ave. Valdez, AK 99686



Meeting Minutes - Draft

Tuesday, April 19, 2022 7:00 PM

Regular Meeting

Council Chambers

City Council

WORK SESSION AGENDA - 6:00 pm

1. Work Session Topic: Valdez Senior Housing Associates, LLC

REGULAR AGENDA - 7:00 PM

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

- Present: 6 Mayor Sharon Scheidt Mayor Pro Tem Alan Sorum Council Member Dawson Moore Council Member Susan Love Council Member Jimmy Devens Council Member Todd Wegner Excused: 1 - Council Member Dennis Fleming Also Present: 5 - City Manager Mark Detter Assistant City Manager Nathan Duval City Clerk Sheri Pierce
 - Records Manager Shelley McMillen City Attorney Jake Staser

IV. APPROVAL OF MINUTES

1. Approval of April 5, 2022 Regular City Council Minutes

V. PUBLIC BUSINESS FROM THE FLOOR

VI. CONSENT AGENDA

1. Proclamation: Public Service Recognition Week

Ms. Rhea Cragun, Human Resources Director, thanked all of the hard-working public employees, and was pleased to be able to recognize the service they provide.

- 2. Appointment to Economic Development Commission Ana Bateman
- 3. Approval To Go Into Executive Session Re: (1) Escaped Property Litigation; (2) Proposed Settlement Agreement for B.P./Hilcorp Appeals.

MOTION: Council Member Devens moved, seconded by Mayor Pro Tem Sorum, to approve the Consent Agenda.

 VOTE ON THE MOTION
 Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner
 Excused: 1 - Council Member Fleming MOTION CARRIED

VII. NEW BUSINESS

1. Human Resources Department Report - Rhea Cragun, Human Resources Director

Ms. Cragun reviewed the report included in the agenda packet.

Mayor Scheidt asked in regards to the compensation study, how often similar studies should be conducted. Ms. Cragun explained positions and jobs would be reviewed annually, although it may not be as formal.

2. Approval of a Three (3) Year Contract with X-DLX Investments Corp. for Maintenance of Turf, Landscape and Pond Water in the Amount of \$174,190.00 Per Year

MOTION: Council Member Wegner moved, seconded by Mayor Pro Tem Sorum, to Approve a Three (3) Year Contract with X-DLX Investments Corp. for Maintenance of Turf, Landscape and Pond Water in the Amount of \$174,190.00 Per Year.

Council Member Wegner asked which department oversees the maintenance. Mr. Detter explained Parks & Recreation worked with X-DLX. Mr. Nick Farline, Parks & Recreation Director agreed, stating Parks Maintenance would review and validate the work.

Mayor Scheidt requested clarification on Parks Maintenance performing the monthly mowing and trimming. Mr. Farline explained how the contracts had been broken down, and how the bids had been reviewed before coming to the conclusion the mowing and trimming could be done in house.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

3. Approval of Professional Services Agreement with R&M Consultants for Construction Administration and Special Inspection Services for Whalen

Avenue and St. Patrick Subdivision in the Amount of \$262,567.20

MOTION: Council Member Devens moved, seconded by Council Member Wegner, to Approve the Professional Service Agreement with R&M Consultants, Inc. in the amount of \$262,567.20.

Mr. Duval clarified R&M Consultants would also be responsible for any other special inspections needed around town, including the East Hanagita realignment.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

VIII. ORDINANCES

 #22-03 - Amending the Zoning Map to Effect a Change to Lot 5A, Block 4, Corbin Creek Subdivision Phase IV, Plat 2013-3 to Single-Family Residentialand a change to Lot 1A, Block 11, Corbin Creek Subdivision Phase III, Plat 2014-1 and Lot 8A, Block 11, Corbin Creek Subdivision Phase III, Plat 2014-2 to Semi-Rural Residential. Second Reading. Adoption.

MOTION: Council Member Devens moved, seconded by Mayor Pro Tem Sorum, to Adopt Ordinance #22-03, amending the Zoning Map to effect a change to Lot 5A, Block 4, Corbin Creek Subdivision Phase IV, Plat 2013-3 to Single-Family Residential and a change to Lot 1A, Block 11, Corbin Creek Subdivision Phase III, Plat 2014-1 and Lot 8A, Block 11, Corbin Creek Subdivision Phase III, Plat 2014-2 to Semi-Rural Residential..

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

2. #22-04 - Amending the Zoning Map to Effect a Change to Tract 1, Block 7, Corbin Creek Subdivision Phase II, Plat 2000-11 to Semi-Rural Residential. Second Reading. Adoption.

MOTION: Council Member Wegner moved, seconded by Council Member Devens, to Adopt Ordinance #22-04, amending the zoning map to effect a change to Tract 1, Block 7, Corbin Creek Subdivision Phase II, Plat 2000-11 to Semi-Rural Residential.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

3. #22-05 - Amending Chapter 2.12, Section 2.12.030, Titled Deputy City Clerk Appointment. First Reading. Public Hearing.

MOTION: Council Member Devens moved, seconded by Council Member Wegner, to approve Ordinance #22-05 on first reading and public hearing.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

IX. RESOLUTIONS

1. #22-21 - Appointing the Judges and Clerks for the Regular Municipal Election to be Held on May 3, 2022 and Setting the Hourly Rate of Compensation

MOTION: Council Member Devens moved, seconded by Council Member Wegner, approve Resolution #22-21.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

2. #22-22 -Adopting the Valdez Community Branding Initiative

MOTION: Council Member Love moved, seconded by Council Member Devens, to approve Resolution #22-22.

Ms. Karen King, Spawn Ideas, explained the main thing for the brand was to really help it take root in the community and become part of it, so people were using it. She outlined the early phase work, including three Lunch & Learns with different stylized items and Canva tutorials, as well as how the brand would be

implemented into City websites and social media sites. She stated she would be working with the Economic Diversification Department to create brand tool kits and goody bags to help get people excited. In addition, she outlined the plan to showcase the brand during the upcoming 4th of July activities.

Council Member Wegner asked where the funding was coming from for the marketing materials, including water bottles, as he did not remember seeing it in the budget. He asked if giving these materials to people who were already in town was the best use of those items. Ms. Martha Barberio, Economic Diversification Director, stated the items had been included in her budget at the beginning of the year. She explained details around the 4th of July had not been ironed out yet and they would bounce the ideas off the committee for best use of the goodies and swag bags. Ms. King stated the community needed to use the branding first, and additional outreach would need to be looked at further.

VOTE ON THE MOTION

Yays: 5 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, and Council Member Devens

Nays: 1 - Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

3. #22-23 - Authorizing a Gravel Lease for Harris Sand and Gravel, Inc. on 55.9 Acres Consisting of Parcel E 1, Tract A, ASLS 79-116, Plat 2002-12 and Tract C-1, ASLS 79-116, Plat 2002-13

MOTION: Mayor Pro Tem Sorum moved, seconded by Council Member Wegner, to approve Resolution #20-23.

Ms. Kate Huber, Planning Director, expressed the applicant's interest in a twenty year lease. She outlined where the five year recommendation came from.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

#22-24 - Amending the 2022 City Budget by Appropriating an Additional \$44,190.00 to the Parks Maintenance Contractual Services Budget for Maintenance of Turf and Landscape

MOTION: Council Member Wegner moved, seconded by Council Member Devens, to approve Resolution #22-24.

Council Member Wegner questioned the need for additional funding. Mr. Jordan Nelson, Finance Director, explained the bids had been higher than the initial estimates during the fall budgeting sessions.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

5. #22-25 - Amending the 2022 City Budget by Accepting \$1,251.63 in Unbudgeted American Rescue Plan Act (ARPA) Grant Revenues and Appropriating Same to the Sewer Force Main Project Within the Capital Projects Reserve Fund

MOTION: Mayor Pro Tem Sorum moved, seconded by Council Member Devens, to approve Resolution #22-25.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

6. #22-26 - Amending the 2022 Budget by Accepting \$294,000 in Additional Revenues from Valdez City Schools for the Previously Approved Walk-in Cooler and Freezer Replacement Project and Appropriating Expenditures

MOTION: Council Member Devens moved, seconded by Council Member Wegner, to approve Resolution #22-26.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

7. #22-27 - Amending the 2022 Budget by Moving Previously Approved Appropriations in the Amount of \$400,000 from the VHS Major Renovation Project to the Herman Hutchens Elementary School Exterior Upgrade Project

MOTION: Council Member Devens moved, seconded by Council Member Wegner, to approve Resolution #22-27.

Council Member Wegner asked what the funds were originally going to be used for. Mr. Duval explained the initial budget and how funds were being adjusted to cover specific scopes, in order to get a jump start on the High School project. In addition, he explained the budget had to be adjusted due to the shift in the cost of doing business between 2021 and 2022.

VOTE ON THE MOTION

Yays: 6 - Mayor Scheidt, Mayor Pro Tem Sorum, Council Member Moore, Council Member Love, Council Member Devens and Council Member Wegner

Excused: 1 - Council Member Fleming MOTION CARRIED

X. REPORTS

1. Report: Phase II: Bear-Resistant Solid Waste Management Plan (Update #6)

Mr. Bart Hinkle, Chief of Police, reviewed the history of the project, and provided an overview of the current status of the implementation of Phase 2, including the dumpster reduction and cost recovery phase.

Council Member Sorum asked if it was possible to come up with a compromise for the removal of dumpsters in the Robe River Subdivision. Mr. Detter explained it was not only the question of cost, it was also the issue of the dumpsters not being used properly and being an ongoing nuisance. He requested direction from Council and asked if the dumpsters remained, and continued to be a nuisance, how the situation should be handled.

Council Member Devens stated he found himself of two minds. On one hand, he agreed the trash service had grown to be an expected demand of the outlying areas and was one of the services the City offered to the areas. On the other hand, he felt the bear resistant containers were a quality service and lessened the need for dumpsters substantially through their size and availability.

Council Member Wegner shared public input he had received both supporting and opposing the removal of the dumpsters. He expressed concern over the dumpster at the bottom of Meals Hill also having the potential to become a nuisance.

Council Member Love shared concern over the miscommunication over the purpose of the removal of the dumpsters. She asked if the dumpsters had remained a nuisance since the miscommunication in November. Mr. Rob Comstock, Public Works Director, confirmed the situation had not improved, and large items and household garbage continued to be left outside of the dumpsters. He stated it was not the intention to cut services to anyone, the number one focus at the beginning of the project was to mitigate the wildlife problem. He shared how the bird issue alone had drastically decreased since the implementation of the program.

Council Member Sorum expressed his gratitude for Staff's efforts and willingness to have the discussion.

Council Member Wegner reminded those listening when he says he has a lot of people reaching out to him, what he meant was really about 4-5 people, and noted that one person had been in support of the dumpster removal. He expressed his desire to not be reactionary to a few. He stated that he would expect a larger number of complaints from citizens if there was significant concern over the dumpster removal.

Mayor Scheidt stated the wildlife resistant cans had been a huge success. She encouraged additional outreach on the availability and benefit of the cans. She supported Staff recommendation, and encouraged them to continue to look into alternatives and compromises. Mr. Detter and Chief Hinkle agreed to continue the conversation with Staff.

Council Member Love stated hearing the garbage situation had not improved in the subdivision was disappointing, and that the lack of improvement was reason enough to continue to move forward with the POD program as intended.

XI. CITY MANAGER / CITY CLERK / CITY ATTORNEY / MAYOR REPORTS

1. City Manager Report

Mr. Detter reviewed the City Manager's Report included in the agenda packet. He highlighted his experience and take away from the Infrastructure Grand Symposium, and informed Council that a lease application for property along the highway would appear on the May 4th agenda. He discussed the need to schedule a Strategic Planning Retreat.

2. City Clerk Report

Ms. Pierce updated Council on the upcoming Board of Equalization hearing, the May 3rd Municipal Election, the current status of the Deputy City Clerk position, upcoming Ordinances, and vacancies on Boards and Commissions.

The Council scheduled the next Board of Equalization hearing for April 28th at 5:30 p.m.

Council Member Love agreed to serve on the hiring panel for the Deputy City Clerk position.

3. City Attorney Report

Mr. Staser provided updates on cases his firm is working on behalf of the City, including Alaska Trappers, redistricting, and escaped properties.

4. City Mayor Report

Mayor Scheidt updated Council on her experience at the Infrastructure Symposium, and her attendance at the Coast Guard Chief's Mess Initiation Dinner. She encouraged Council to attend Diane Kinney's Celebration of Life on April 23rd and Linda Brandenburg's Celebration of Life on April 24th.

XII. COUNCIL BUSINESS FROM THE FLOOR

Council members shared their gratitude for those working in public service. They congratulated Jordan Nelson on becoming the new Finance Director and Ray Gross for his new position as Solid Waste Manger. They shared their enthusiasm for the Senior Housing Grant and project.

Council Member Love thanked Council for updating policy so she could participate long distance.

Council Member Wegner shared his experience participating in the Walk a Mile in Her Shoes event.

Council Member Sorum updated Council on his participation in the Mariculture Conference.

- XIII. EXECUTIVE SESSION
- XIV. RETURN FROM EXECUTIVE SESSION
- XV. ADJOURNMENT



Legislation Text

File #: 22-0202, Version: 1

ITEM TITLE: Lanette Oliver, Valdez Adventure Alliance Re: Fatbike Bash Event

SUBMITTED BY: Sheri Pierce, MMC, City Clerk

FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

RECOMMENDATION:

Click here to enter text.

SUMMARY STATEMENT:

Lanette Oliver, Executive Director, Valdez Adventure Alliance will be providing a presentation on the recent Fatbike Bash Event.



Legislation Text

File #: 22-0203, Version: 1

ITEM TITLE: Proclamation: National Police Week [May 15-21, 2022]

SUBMITTED BY: Bart Hinkle, Chief of Police

FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

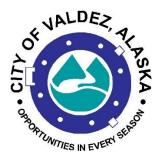
RECOMMENDATION:

Approve Proclamation

SUMMARY STATEMENT:

To pay tribute to the law enforcement officers who have made the ultimate sacrifice for our country and to voice appreciation for all those who currently serve on the front lines of the battle against crime, the Congress, by a joint resolution approved October 1, 1962 authorized and requested the President (John F. Kennedy) to designate May 15 of each year as "Peace Officers Memorial Day," and the week in which it falls as National Police Week.

Attached is the Proclamation for National Police Week [May 15-21, 2022]



PROCLAMATION

National Police Week, May 15-21, 2022

WHEREAS, the Congress and President of the United States have designated May 15th as Peace Officer's Memorial Day, and the week in which May 15th falls as National Police Week; and

WHEREAS, the members of the Valdez Police Department play an essential role in safeguarding the rights and freedoms of the residents and visitors of the City of Valdez; and

WHEREAS, it is important that all citizens know and understand the duties, responsibilities, hazards, and sacrifices of their law enforcement agency, and that members of our law enforcement agency recognize their duty to serve the people by safeguarding life and property, by protecting them against violence and disorder, and by protecting the innocent against deception and the weak against oppression and intimidation; and

WHEREAS, the men and women of the Valdez Police Department unceasingly provide a vital public service.

NOW, THEREFORE, the Valdez City Council calls upon all citizens of the City of Valdez and upon all patriotic, civic, and educational organizations to observe the week of May 15 – 21, 2022 as National Police Week in the City of Valdez with appropriate ceremonies and observances in which all our people may join in commemorating police officers, past and present, who, by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their community and, in so doing, have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens.

THEREFORE, we do hereby proclaim the week of May 15 -21, 2022 as

National Police Week

and call upon all citizens of the City of Valdez to observe the 15th day of May 2022, as **Peace Officer's Memorial Day** in honor of those law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty, and let us recognize and pay respect to the survivors of our fallen heroes.

Dated this 4th day of May, 2022.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST

Sheri L. Pierce, MMC, City Clerk



Legislation Text

File #: 22-0204, Version: 1

ITEM TITLE:

Proclamation: Missing and Murdered Indigenous Persons Awareness Day

SUBMITTED BY: Chief Hinkle

FISCAL NOTES:

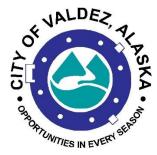
Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

RECOMMENDATION:

Click here to enter text.

SUMMARY STATEMENT:

The Valdez Police Department partners with the Valdez Native Tribe to bring forth this Proclamation observing Missing and Murdered Indigenous Persons Awareness Day.



PROCLAMATION

WHEREAS, Alaska is home to more Indigenous people than any other state in the nation. Sadly, the number of Indigenous people who go missing each day in Alaska is disproportionately higher than with the rest of the nation, as is murder, being the third leading cause of death for American Indian's and Alaska Native's in Alaska; and

WHEREAS, there are currently 51 Alaska Native females and 250 Alaska Native males listed as missing on the Alaska Missing Person's Clearinghouse public list of missing persons. For our families, our communities, our Tribes and our state, these numbers are simply too high. This ongoing tragedy must stop, and so the Governor and the Alaska Department of Public Safety are developing new strategies to investigate these cases including providing specialized Officers; and

WHEREAS, following their lead and working together, the City of Valdez, the City of Valdez Police Department, The Valdez Native Tribe, AVV, and all the supporting agencies in Valdez establish this proclamation to recognize May 5th, as Missing and Murdered Indigenous Persons Awareness Day and proclaim that we continue to work together to provide solutions and will within the next six months, develop an " MMIP Response Plan", that will lay out a blueprint determining how, when someone goes missing from our community, a response from law enforcement and supporting agencies is carried out for the best possible outcome; and

WHEREAS, on this Missing and Murdered Indigenous Persons Awareness Day, we will remember the Indigenous People who we have lost to murder and those who remain missing and commit to working together in order to respond swiftly and effectively. We will ask for a moment of silence in their memory; and

WHEREAS, we are all committed to addressing the underlying causes behind the numbers, who are after all not just numbers, but our loved ones. The many causes include domestic violence, sex trafficking, and substance use and addiction. Together we can bridge the gap for individuals and families in crisis, provide services, and support healing through holistic community driven methods; and

WHEREAS, we will seek funding for this collaboration and work together providing leadership and direction for cross-departmental and interagency work that focuses on prevention and response for missing and murdered American Indians and Alaska Natives. Our commitment to this proclamation is strong and unwavering, as there has been too much sorrow and heartache that simply cannot continue. We are all invested in Valdez being a safe community for all people who visit and for those who call Valdez home.

NOW, THEREFORE, I Sharon Scheidt, Mayor of the City of Valdez, do hereby proclaim May 5, 2022 as:

Missing and Murdered Indigenous Persons Awareness Day

in Valdez and call upon all citizens, and ask all levels of government, to support Tribal governments and Tribal communities' efforts to increase awareness of, and response to, the issue of missing and murdered American Indians and Alaska Natives through appropriate programs and activities.

Dated this 4th day of May, 2022.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST

Sheri L. Pierce, MMC, City Clerk



Legislation Text

File #: 22-0205, Version: 1

ITEM TITLE:

Certification of Election Results for the May 3, 2022, Regular Municipal Election

SUBMITTED BY: Sheri Pierce, MMC, City Clerk

FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

RECOMMENDATION:

Click here to enter text.

SUMMARY STATEMENT:

The City Clerk will present the election report and results of the May 3, 2022, Regular Municipal Election for certification by the City Council.



Legislation Text

File #: 22-0206, Version: 1

ITEM TITLE:

Approval to Suspend Phase II of the City of Valdez Solid Waste Management Plan

SUBMITTED BY: Bart Hinkle, Chief of Police

FISCAL NOTES:

Expenditure Required: Click here to enter text. Unencumbered Balance: Click here to enter text. Funding Source: Click here to enter text.

RECOMMENDATION:

Approve suspension of Phase II of the City of Valdez Solid Waste Management Plan

SUMMARY STATEMENT:

Staff maintains that Phase II, as originally presented in 2019 remains a viable and efficient manner to recover the costs associated with Phase I implementation.

That being said, Staff also recognizes that the Spring/Summer of 2022 may not be the most ideal time to implement Phase II considering external factors out of Staff's control and key staff turnover.

A heavy snow year has accumulated amounts greater than in recent years. The dumpster pod locations require clearing and prep work prior to establishment of the pods. Implementation would not likely be possible by May 18th.

The recent tax assessments, coupled with a higher cost of living, has created an undercurrent of negative "City" sentiment that may be further increased by implementation of Phase II, which will result in removal of neighborhood public use dumpsters and may be viewed as a "reduction in services".

A number of the original group of City Staff that designed, presented, and implemented the City of Valdez Solid Waste Management Plan have since resigned their positions, including: Assistant City Manager, PRCS Director, Solid Waste Manager, and PIO.

File #: 22-0206, Version: 1

The City has filled the Solid Waste Manager and PIO/Communications positions and the respective employees have been brought up to speed on the originally designed City of Valdez Solid Waste Management Plan. However, neither employee has had sufficient time to evaluate options or assess alternatives that their predecessor initiated. Allowing more time for a situation that is not time sensitive may be the best option.

<u>Staff suggests that Council approve suspension of Phase II of the City of Valdez Solid Waste</u> <u>Management Plan</u>

Staff reached this recommendation after considering a handful of options and alternatives. Please refer to the Attachment labeled "Synopsis" for a summary of each option considered as well as the five areas of impact that were evaluated.

If Council approves the suspension of Phase II, Staff would utilize that time to continue to evaluate the merit and necessity for Phase II implementation. One component of that is the belief that dumpster pods would be easier to regulate and monitor for illegal dumping and abuse/misuse than the current dumpster deployment allows for.

Historically, documentation of illegal dumping or abuse/misuse has been an informal procedure primarily within the Solid Waste department. Operators knew of the issue, perhaps reported it to a supervisor, or spread the information word of mouth. Perhaps photos of the issue were disseminated internally amongst a few employees. While that procedure allows for operations to continue (issue reported, additional pickup truck and driver dispatched to respond and collect the offending items), it does not lend itself to statistical analysis or a comprehensive picture of the scope of the issue at hand.

In an attempt to rectify that, Staff has identified a plan to formalize the documentation of such incidents. Beginning 4.25.22 the following process is being utilized by City Staff:

- The observing Staff member (primarily a Solid Waste employee but may be an Officer, Code Enforcement Officer, or Animal Control Officer) will inform Police Dispatch of their observations
- Police Dispatch will create a "Dumpster Issues" case in their records management system, assigning it a unique case number and detailing time/date, location of the incident
- Photos and a brief narrative will be attached to the respective case

By documenting these instances in this manner, it will create a searchable and robust database in which problem areas/dumpsters may be identified and handled -operationally- as necessary. Those dumpsters found to be an issue or in frequent, consistent, or excessive violation may then be considered for removal.

Additionally, this will allow Staff to present Council with a comprehensive report, with photos, when it again becomes time to consider implementation of Phase II.

Phase II of the City of Valdez Solid Waste Management Plan, as originally discussed in 2019, was designed to reduce the dumpster inventory by approximately 30 dumpsters, allowing the overall program to break even at a certain point. The plan calls for public dumpsters in residential areas to be removed and consolidated into three dumpster pods - two located in town and the other outside the gate at the Baler facility.

Information regarding the implementation of both Phase I and Phase II was communicated by a variety of methods and permanently housed on the City of Valdez Website [City of Valdez Solid Waste Management Plan] beginning in March of 2020.

Included on that webpage are maps depicting locations of the current dumpsters identified to be removed as well as the locations of the proposed dumpster pods. Those maps are attached to this agenda statement as well and labeled: COV Public Use Dumpster Locations - Downtown, COV Public Use Dumpster Locations - Richardson Hwy., COV Public Use Dumpster Locations - Corbin Creek and Robe River Subdivisions, Dumpster Pod Locations - Downtown, and Dumpster Pod Locations - Baler.

The remaining attachment is a copy of the original presentation during a Council work session on 4.16.19.

During the 4.19.22 Council meeting it was requested that Staff consider additional options as to how (or if) to proceed with Phase II of the City of Valdez Solid Waste Management Plan and bring it back to Council on 5.4.22 for official action.

In doing so, Staff identified the following options for Phase II of the City of Valdez Solid Waste Management Plan:

- OPTION A:
 - Continue Phase I efforts; suspend Phase II for future consideration and implementation
- OPTION B:
 - Continue with Phase II implementation as initially proposed
- OPTION C:
 - Implement Phase II as initially proposed; explore operational impacts of increasing curbside pickup to twice weekly
- OPTION D:
 - Implement Phase II in the downtown area of Valdez; status quo with outlying residential neighborhoods; evaluate the effectiveness of Dumpster Pods in downtown area; monitor and document dumpster activity in outlying neighborhoods
- OPTION E:
 - Implement Phase II, with an additional dumpster pod in Robe River Subdivision

In evaluating each option, Staff weighed the merits of the option and considered five (5) impact areas: Financial, Wildlife Issues, Nuisance Mitigation, Operational Impacts, and "Other".

Financial: The financial/budgetary impact associated with that option

Wildlife Issues: Impacts to wildlife interactions and encounters (primarily bear and bird issues)

Nuisance Mitigation: Ability to monitor or mitigate potential nuisance issues, such as litter surrounding dumpsters or illegally dumped items in or around the dumpsters

Operational Impacts: Impact to operations (primarily Solid Waste) going forward

Other: Includes such things as how the community or individual neighborhoods are likely to react, current issues residents are facing, and safety concerns.

OPTION A:

Continue Phase I efforts; suspend Phase II for future consideration and implementation

This option would essentially result in "status quo" solid waste management for the time being, thereby eliminating the "cost recovery" portion of the initial 2019 proposal, effectively delaying – or eliminating – the forecasted break-even point for the overall program cost.

Financial: Phase I consisted of the costs associated with the program (purchase of WRC's, upfitting an existing trash truck, purchasing a side-pick trash truck). Phase II was designed to recover the costs by reducing the dumpster inventory. Status quo operations do not allow for meaningful dumpster reduction. Additionally, Public Works traditionally replaces 10 dumpsters a year (inventory is approximately 300 dumpsters, each with an estimated life cycle of 10 years). The 2022 Public Works budget does not include monies to purchase 10 new dumpsters, so they would be maintaining existing inventory and then budgeting for new dumpsters for 2023. The most recent cost estimate of a dumpster is \$8,200. Using historical purchase practices that equates to ~\$ 82,000/year to maintain the status quo.

Wildlife Issues: Phase I of the program was wildly (see what I did there) successful in addressing the animal/garbage relationship with curbside garbage. While bears were the most reported issue, the birds were equally destructive and prevalent in gaining access to garbage left at the curb under the previous solid waste collection process. Reductions in dumpsters continue to reduce potential for habituated bears (fewer locations overall, and easier to monitor and maintain in pods), but the decline in bear/garbage calls – particularly in the downtown area of Valdez - is encouraging and manageable under the current system.

Nuisance Mitigation: Fewer dumpster locations are expected to result in less nuisance issues, such as littering and illegal dumping of items other than household garbage.

Operational Impacts: Nothing would change operationally.

Other: Safety issues surrounding trash trucks going down residential streets would still exist and not be reduced. Citizen outcry for the suspension of Phase II is likely not to happen – perhaps a positive thing in a time when tax assessments community wide is a sensitive subject and cost of living has recently spiked. Additionally, the high snow accumulation this year would likely delay the May 18 implementation date anyhow, as prep work is required at the dumpster pod locations - which are still under snow.

OPTION B:

Continue with Phase II implementation as proposed

This option was the initial plan in 2019, and still has merit today – particularly if the desire is to have the program pay for itself. The plan has some other benefits as well, but the primary reason for Staff continuing to pursue the planned implementation is that it was relayed to Council in 2019 that we would do so - with the idea and intention that the plan would then eventually pay for itself. Some of the recent, more vocal, community input has indicated that those citizens are less concerned with the overall program paying for itself than they are with the thought of losing dumpsters within their neighborhood.

Financial: With the establishment of the dumpster pods, the reduction in dumpster inventory, and the rising costs of steel it is anticipated that employing the initial plan will result in the overall program breaking even in the Fall of 2024.

Wildlife Issues: Reduction in overall dumpsters, and individual dumpster locations, is expected to further reduce the wildlife/garbage encounters and will be easier to monitor and patrol.

Nuisance Mitigation: Reduction in overall dumpsters, and establishment of dumpster pods is expected to reduce the overall nuisance issues. Dumpster pods will be passively monitored with security cameras similar to those around town at the Harbors and Kelsey Dock.

Operational Impacts: Ability to go to Dumpster Pods for trash collection as opposed to twodozen individual locations have operational efficiencies (less fuel, less wear and tear on trucks, quicker collection times, etc.)

Other: Indications are that individual neighborhoods may be displeased with the removal of dumpsters in their neighborhood. Less heavy truck traffic in cul-de-sac downtown streets represent a decreased liability exposure of encountering kids or animals in the street. Implementing on the heels of increased tax assessments and rising cost of living may result in negative opinions of "The City". The high snow accumulation this year will likely delay the May 18 implementation date, as prep work is required at the dumpster pod locations - which are still under snow.

OPTION C:

Implement Phase II as initially proposed; explore operational impacts of increasing curbside pickup to twice weekly

The option of increasing curbside pickup to twice weekly was initially included as an option in the 2019 proposal. It would be a viable option and compromise **if** the complaint received from the community was that the WRC's were too small and once a week curbside pickup was insufficient. However, that has not been the case.

The opposite has actually been true – as some people maintain the current WRC's are too big and have requested smaller ones. Input from the community has been focused on the convenience of dumpster proximity, not tied to capacity or curbside containers. Implementing this option would not appear to address the community concerns and would also largely negate the operational efficiencies achieved by deploying Phase I.

Financial: Increasing curbside collection to twice a week would strain the personnel budget of Solid Waste and require more maintenance costs and quicker replacement cycle for equipment. Dumpster reduction would still occur, but the break-even point would be extended beyond 2024.

Wildlife Issues: Reduction in overall dumpsters, and individual dumpster locations, is expected to further reduce the wildlife/garbage encounters and will be easier to monitor and patrol.

Nuisance Mitigation: Reduction in overall dumpsters, and establishment of dumpster pods is expected to reduce the overall nuisance issues. Dumpster pods will be passively monitored with security cameras similar to those around town at the Harbors and Kelsey Dock.

Operational Impacts: Efficiencies gained by Phase I would be largely negated, as staff time for curbside collection would essentially double at what it currently is. Overtime would likely be necessary, causing potential for staff burnout eventually. Maintenance on machinery expected to increase.

Other: Does not appear to address any of the known community concerns with the proposed plan. Increases liability exposure as it requires heavy truck traffic in residential streets at twice the current rate. The high snow accumulation this year will likely delay the May 18 implementation date, as prep work is required at the dumpster pod locations - which are still under snow.

OPTION D:

Implement Phase II in the downtown area of Valdez; status quo with outlying residential neighborhoods; evaluate the effectiveness of Dumpster Pods in downtown area; monitor and document dumpster activity in outlying neighborhoods

This option essentially creates a multi-phased Phase II of the City of Valdez Solid Waste Management Plan. Phase IIA would see the dumpsters in downtown Valdez (identified in the

Attachment) removed, and the two downtown dumpster pods created at the previously identified locations. Utilizing this approach would still allow for a dumpster reduction, thus allowing the cost recovery portion of the plan to occur - just at a slower rate than projected or if the initially proposed Phase II were to be implemented.

The dumpsters along the Richardson Highway and in the outlying subdivisions of Corbin Creek and Robe River would remain as they are, as residents in those locations are required to utilize the Highway to access the Baler dumpster pod under Phase II, whereas residents residing in town can access either of the downtown dumpster pods on foot, ATV/UTV, or in a vehicle traveling at a rate much slower than highway speeds.

Utilizing this approach allows for some cost recovery while also allowing Solid Waste to evaluate the effectiveness of the dumpster pods that were deployed. Phase IIB would consist of removing the dumpsters from the outlying neighborhoods and creating a dumpster pod outside the Baler facility. Depending on analysis and success of Phase IIA, Phase IIB could be deployed in upcoming years or not at all.

Financial: With the establishment of the dumpster pods downtown and the reduction in dumpster inventory, the overall program would eventually reach a break-even point - at this point forecasted to be sometime in late 2026.

Wildlife Issues: Reduction in overall dumpsters, and individual dumpster locations, is expected to further reduce the wildlife/garbage encounters and will be easier to monitor and patrol.

Nuisance Mitigation: Reduction in overall dumpsters, and establishment of dumpster pods downtown is expected to reduce the overall nuisance issues. Dumpster pods will be passively monitored with security cameras similar to those around town at the Harbors and Kelsey Dock.

Solid Waste personnel, as well as Animal Control Officers, and the Code Enforcement Officer will be tasked with monitoring and documenting the dumpster use/abuse in the outlying neighborhoods.

Operational Impacts: Ability to go to Dumpster Pods in downtown for trash collection as opposed to approximately 18 different locations have operational efficiencies (less fuel, less wear and tear on trucks, quicker collection times, etc.).

Other: Indications are that individual neighborhoods may be displeased with the removal of dumpsters in their neighborhood. With partial implementation, it can be expected that those residents downtown voice similar objections to those that have already been heard by outlying neighborhoods. Eliminating heavy truck traffic in cul-de-sac downtown streets for trash collection represents a decreased liability exposure of encountering kids or animals in the street. Implementing on the heels of increased tax assessments and rising cost of living may result in negative opinions of "The City". The high snow accumulation this year will likely delay the May 18 implementation date, as prep work is required at the dumpster pod locations - which are still under snow.

OPTION E:

Implement Phase II, with an additional dumpster pod in Robe River Subdivision

Implementation of this option would allow for a significant reduction in dumpster inventory merely departing from the original Phase II by creating an additional dumpster pod in Robe River Subdivision. This would theoretically be a compromise with many of the vocal residents in that neighborhood, whose correspondence has gone to both Council and City Administration. Additionally, this option also acknowledges that many residents within that subdivision feel aggrieved or singled out due to communication in November/December of 2021 that informed them their neighborhood dumpsters were being removed as punishment for repeated dumpster misuse. Although that communication was separate from the overall City of Valdez Solid Waste Management Plan, the two have become incapable of being viewed separately.

When evaluating and establishing the locations for the dumpster pods, City of Valdez personnel considered a number of things - the ability to adequately monitor the dumpster pods being one. That is to be accomplished by passive monitoring over surveillance cameras (similar to those at the Kelsey Dock and the Harbors). In order to do so, the pods are required to be near City infrastructure that has proper power, lighting, and network capabilities. Robe River does not have existing infrastructure that meets the minimum requirements to monitor the dumpster pod in the same manner as those located downtown or outside the Baler.

Financial: With the establishment of the dumpster pods downtown and the reduction in dumpster inventory, the overall program would eventually reach a break-even point - at this point forecasted to be sometime in late 2025/early 2026.

Wildlife Issues: Reduction in overall dumpsters, and individual dumpster locations, is expected to further reduce the wildlife/garbage encounters and will be easier to monitor and patrol.

Nuisance Mitigation: Reduction in overall dumpsters, and establishment of dumpster pods downtown is expected to reduce the overall nuisance issues. Dumpster pods will be passively monitored with security cameras similar to those around town at the Harbors and Kelsey Dock. The Robe River dumpster pod would not be able to be monitored in the same manner.

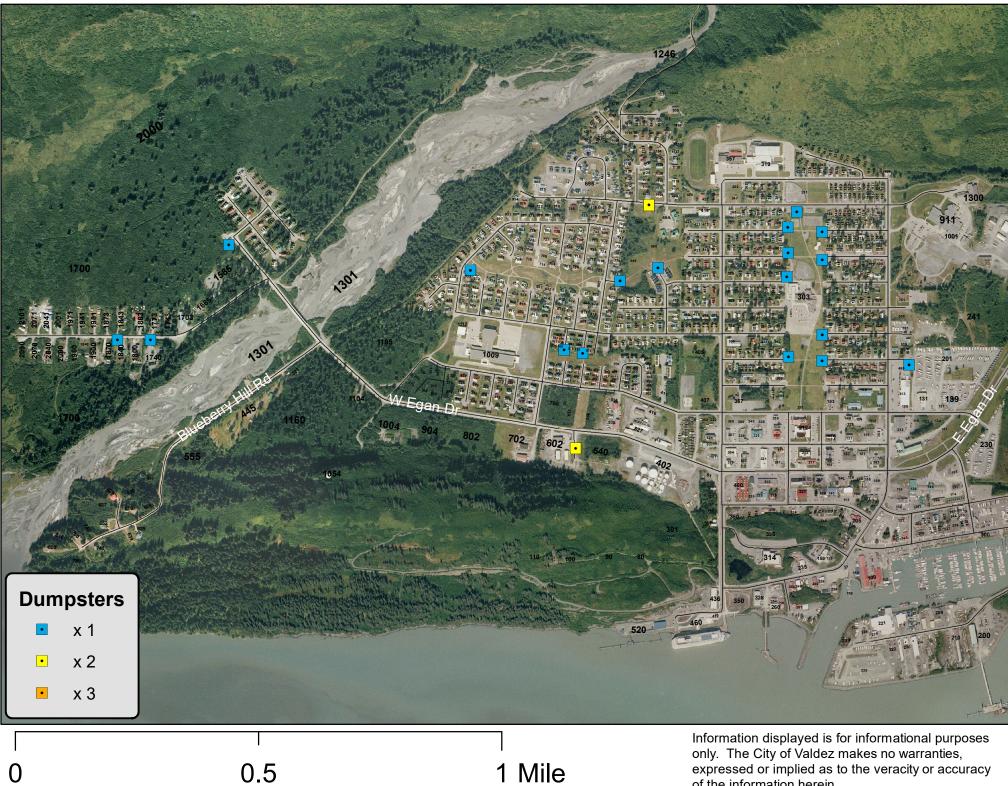
Operational Impacts: Ability to go to Dumpster Pods for trash collection as opposed to approximately 20 + different individual locations have operational efficiencies (less fuel, less wear and tear on trucks, quicker collection times, etc.).

Other: Residents of nearby Corbin Creek subdivision could be expected to question why Robe River is granted a dumpster pod while their neighborhood dumpsters are removed. Eliminating heavy truck traffic in cul-de-sac downtown streets for trash collection represents a decreased liability exposure of encountering kids or animals in the street. Implementing on the heels of increased tax assessments and rising cost of living may result in negative opinions of "The City". The high snow accumulation this year will likely delay the May 18 implementation date, as prep work is required at the dumpster pod locations - which are still under snow.

City of Valdez Public Dumpster Locations

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City of Valdez Public Dumpster Locations

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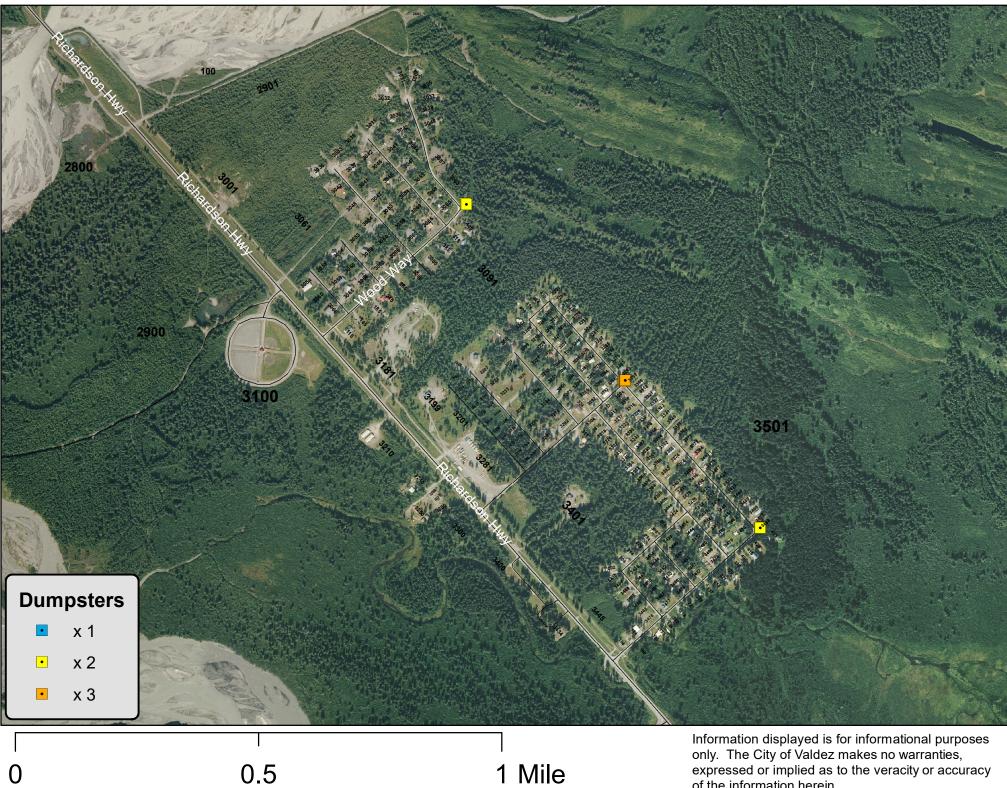




City of Valdez Public Dumpster Locations

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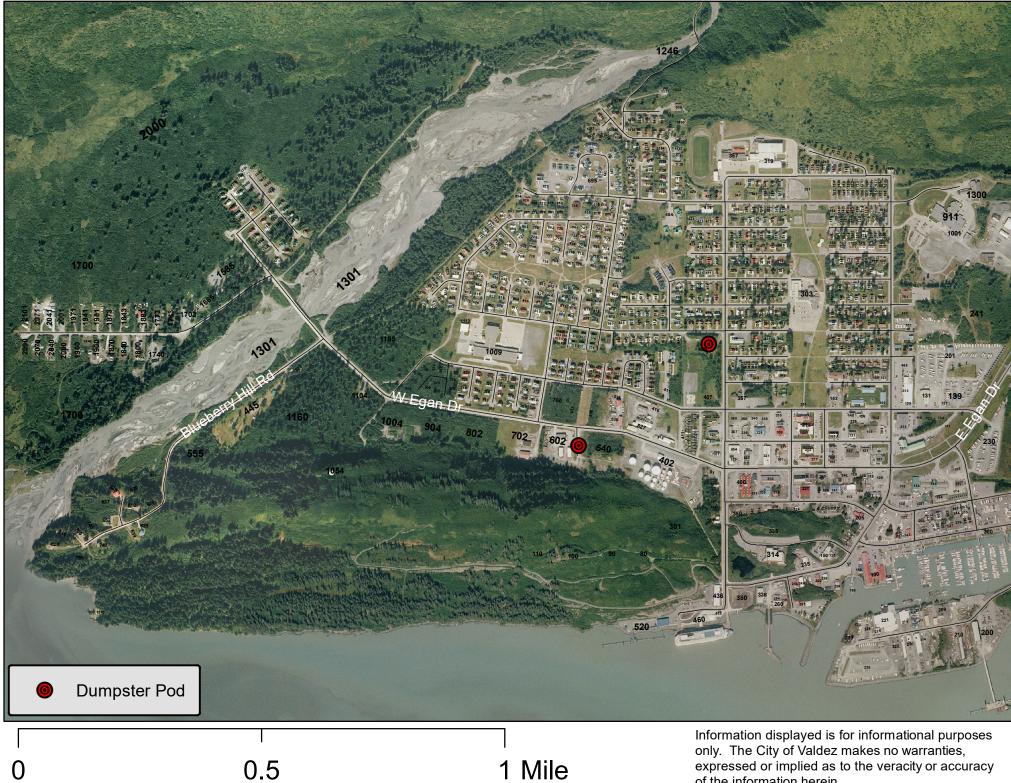


City of Valdez Public Dumpster Pods

Active on May 18th, 2022

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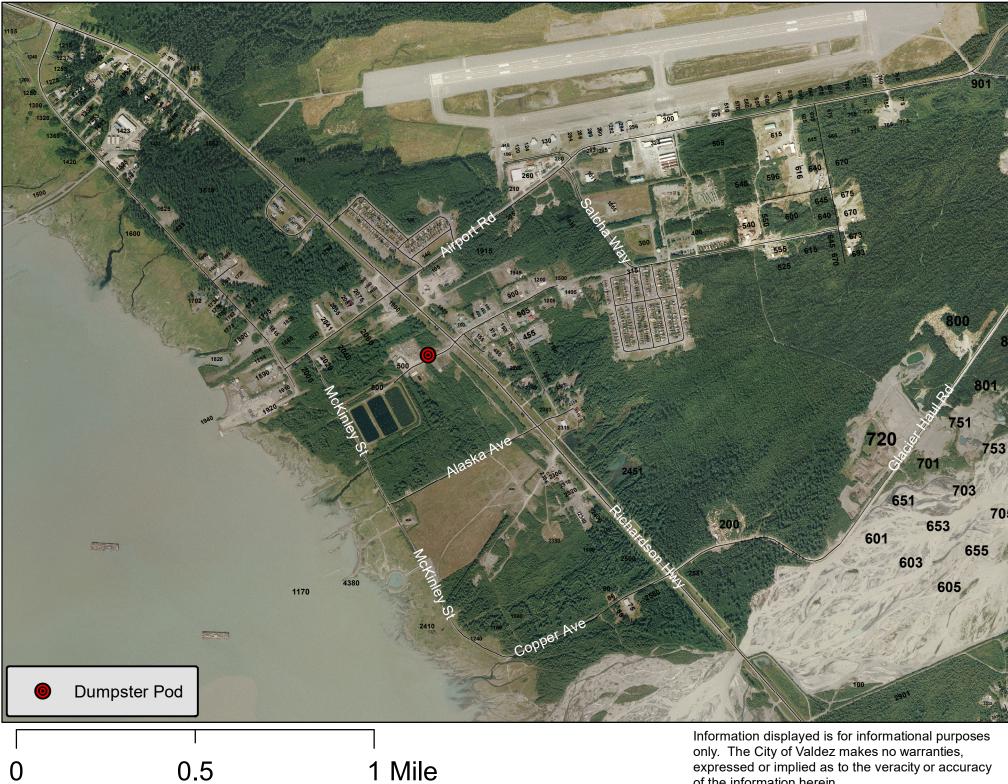


City of Valdez Public Dumpster Pods

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Valdez Bear Working Group Work Session [4.16.19]

Valdez Bear Working Group

Police Chief

Animal Control Officer(s)

Parks, Recreation, and Cultural Services Director

Public Works Director

Baler Foreman

City Manager / designee

Alaska State Trooper [Valdez]

At-Large Community Member

Council Representative (vacant)

Mission Statement

The Valdez Bear Working Group will develop a Bear Management Plan that strives to create and maintain a sustainable relationship between humans and bears.

Valdez Bear Working Group Priority

 Implement & Enforce Bear-Proof Solid Waste Management throughout Valdez

Status Quo

- City of Valdez currently owns/maintains ~300 dumpsters
- ~229 of them are bear proof
- Cost per dumpster is \$6,000 with a lifespan of ~10 years
- 220 dumpsters deployed Oct May
- 280 dumpsters deployed June Sept.
- Frequency of collection depends on location and necessity, varying from once a day to twice a week

- Approximately 1500 households eligible for curbside garbage collection
- Approximately 550 currently utilize the service
- Service offered year-round, once a week per "zone"
- Got to "status quo" after some recommendations from Bear Working Group (~2013): bear proof dumpsters, reduction in curbside collection

Status Quo

VMC 8.08.030 (A) Garbage and refuse containers required - Use of Containers:

It shall be the duty of every person in possession, charge or control of any premises, business establishment or industrial establishment where garbage and refuse is created or accumulates, at all times, to keep or cause to be kept dumpsters or portable metal or plastic containers for the deposit therein of garbage and refuse; and to deposit or cause to be deposited the same therein. Non Dumpster containers shall be water-tight and of not more than 32-gallons capacity and shall have two handles at the sides thereof and tight-fitting lids. Such lids shall remain on the containers at all times, except when necessary to place garbage and refuse in the containers. Such containers shall be kept in a sanitary condition, free from accumulating grease and decomposing material. Such containers shall be kept in a place accessible to the collector of garbage and refuse. The weight of any one such container shall not exceed seventy-five pounds.

Status Quo

VMC 6.08.040 (A) Feeding of wild animals and birds of prey prohibited:

Except as provided in this section or under terms of a permit issued by the COV, the SOA, or the US Gov't, a person may not:

- Negligently feed a moose, bear, coyote, wolverines, for or birds of prey (including eagles, hawks, owls, falcons) or deleterious exotic wildlife, or negligently leave human food, animal food, or garbage in a manner that attracts these animals; or
- 2. Intentionally feed a moose, bear, coyote, wolverines, for or birds of prey (including eagles, hawks, owls, falcons) or deleterious exotic wildlife, or intentionally leave human food, animal food, or garbage in a manner that attracts these animals.



Example of what Bear Working Group recommendation would eliminate



Example of what Bear Working Group recommendation would eliminate



An Example of Dumpster Mess in a Residential Neighborhood

Alternate Options for Trash Collection During Bear Season

- Increased Curbside, Approved Container, Public Use Dumpster Pods (Seasonal)
- Same Curbside and Pickup Schedule, with Administrative Changes
- Voluntary (or Zoned) Discontinuation of Curbside Pickup (Seasonal)
- Seasonal Discontinuation (Citywide)
- Seasonal Discontinuation (Citywide), Dumpster increase
- Seasonal Discontinuation (Citywide), Public Use Dumpster Pods
- Status Quo Dumpster and Curbside, with Approved Container
- Increased Curbside, Approved Container, Dumpster reduction

Increased Curbside, Approved Container, Public Use Dumpster Pods (Seasonal)*

- Enhances curbside service and reduces the availability of non-natural food sources by using mandated, approved, bear resistant containers
- Expected to reduce misuse of dumpsters (greater accountability)
- More efficient way to empty dumpster
- Easily enforceable (would require Valdez Municipal Code revision)
- Defined, escalating fine schedule for violations of code
- More efficient way to empty dumpsters
- More efficient way to conduct curbside pickup
- Financial burden mitigated by reduction in dumpster inventory

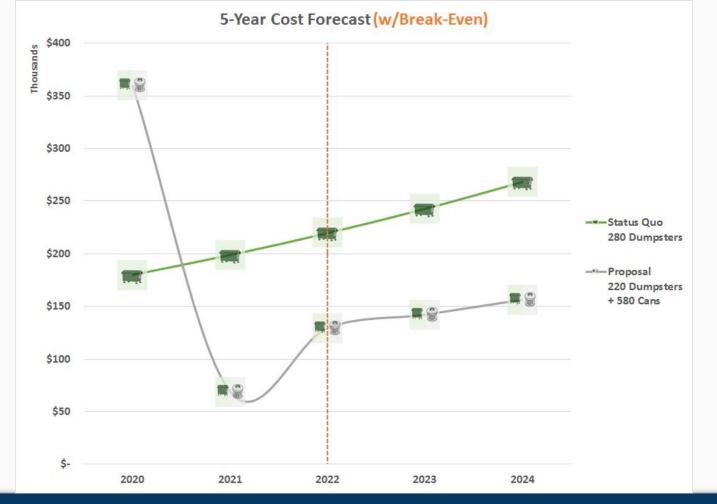
Increased Curbside, Approved Container, Public Use Dumpster Pods *

Initial Costs:

- 95 Gallon bear proof can: \$319
- Quantity: 580 cans
- Freight: \$10,000
- Initial cost (cans): \$195 K
- Truck Attachment: \$38,000 (x2)
- Truck Retrofit: \$24,000
- Total: \$305,020

Cost Offsets:

- Annual dumpster budget: \$165 -\$180 K
- Annual dumpster purchases ~25
- Reduction in dumpsters= first year cost savings \$90,000
- Increased curbside pickup with status quo staffing level



Increased Curbside, Approved Container, Public Use Dumpster Pods *



Increased Curbside, Approved Container, Public Use Dumpster Pods *

Bearicuda Stealth 2:

- Bear Resistant
- Waterproof
- 65 gallon and 95 gallon models
- 12" rubber wheels
- All poly (no metal to bend or rust)
- Removable latch for easy maintenance
- Fully automated Requires no manual manipulation of garbage cans
- Readily available
- Easily enforceable (with VMC re-write)



Stealth-Like Clean Simple Design

Proposed Implementation Timeline

2019:

- Establish dumpster pods
- Maintain current curbside methods
- Reduce # of newly purchased dumpsters
- Re-write applicable VMC
- Engage in public information campaign
- Establish approved container program
- Develop "recycle" program for existing containers
- Budget for purchases to implement approved container program (\$360 K)

2020:

- Purchase necessary items for approved container program -including garbage truck retrofit and attachments
- Implement approved container program
- Execute "recycle" program for existing containers
- Continue with public information campaign
- Reduce # of newly purchased dumpsters
- Utilize dumpster pods

Public Use Dumpster Pods

- Strategically located throughout Valdez
- Pods of 4+ dumpsters (depending on location)
- Reduces overall number of dumpsters in COV inventory
- Allows for easier monitoring and enforcement of correct usage
- More efficient way to monitor and improve collection schedule
- Operationally efficient

Public Use Dumpster Pods - Proposed Locations

The Valdez Bear Working Group is actively working to identify locations throughout Valdez to establish public use dumpster pods

Conclusion

Break Even (580): 2022

Break Even (1160): 2024

580 cans 2x week + 220 dumpsters increases trash collection capacity. The more cans in use, the more it increases.

Reduced cost of maintenance and storage

Labor saving and more efficient

Mitigates risk associated with manual lifting

Mitigates nuisance bears in neighborhoods as related to human-produced garbage issues

Increases curbside services for Valdez residents

Questions?



Legislation Text

File #: 22-0207, Version: 1

ITEM TITLE:

Approval of a Contract with Bezek-Durst-Seiser, Inc., for the HHES Roofs, Doors & Siding Design in the amount of \$646,756.00.

SUBMITTED BY: Scott Benda, Senior Project Manager

FISCAL NOTES:

Expenditure Required: \$646,756.00 Unencumbered Balance: \$900,000.00 Funding Source: 310-9516-58000

RECOMMENDATION:

Approve the Contract with Bezek-Durst-Seiser, Inc., for the HHES Roofs, Doors & Siding Design in the amount of \$646,756.00.

SUMMARY STATEMENT:

The Request for Qualifications was advertised from January 13 through February 14, 2022. Three architectural firms responded to the RFQ. Review and scoring of the RFQ's was completed in early March and Bezek-Durst Seiser, Inc,. (BDS) was selected to provide a formal cost proposal for the work.

This contract will provide the City with bid ready design documents, construction administration and inspection services to re-roof, re-side and re-door the elementary school. As part of the design, an ASCE 41-17 Tier 1 seismic evaluation of the facility will be completed.

BDS has designed the roof replacements citywide over the past 8+ years and is very familiar with our local requirements.

Construction is anticipated for the summer of '23 but may be subject to change if the project discovers major issues through the design process or if the project is funded through a Voter Bond issue.



City of Valdez Agreement for Professional Services

THIS AGREEMENT between the CITY OF VALDEZ, ALASKA, ("City") and Bezek-Durst-Seiser, Inc., ("Consultant") is effective on the ______day of ______, 2022.

All work under this agreement shall be referred to by the following:

Project: HHES Roofs, Doors & Siding Design Project No: 21-310-9516 Contract No.: 1916 Cost Code: 310-9516-58000

Consultant's project manager under this agreement is Bryce Hamels.

Consultant's project manager may not be changed without the written consent of the City.

City's project manager is ______.

ARTICLE 1. Scope of Work

1.1 The scope of work to be performed hereunder is more completely described in Appendix A which is incorporated herein by reference.

ARTICLE 2. Compensation

2.1 Compensation shall be paid in accordance with the Basis of Compensation Schedule attached hereto as Appendix B and incorporated herein by reference.

ARTICLE 3. Period of Performance

3.1 The Consultant agrees to commence work under this agreement only as authorized by and in accordance with written notice to proceed and to complete the work in accordance with the Scope of Work (Appendix A).

3.2 The period of performance under this agreement shall end and Consultant shall have completed all work under this agreement within 360 days of the written Notice to Proceed. Work shall proceed in accordance with the schedule set forth in Appendix A.



ARTICLE 4. Subconsultants

4.1 The Consultant shall be responsible for the performance of all services required under this agreement.

ARTICLE 5. Insurance

5.1 In accordance with the provision contained in the General Conditions (Appendix C), the following minimum limits of insurance coverage are required:

Type of Insurance	Limits of Liability Each Occurrence	Aggregate
Workers' Compensation	Statutory	Statutory
Employers' General	\$ 100,000	\$ 300,000
Commercial General Liability*	\$1,000,000	\$2,000,000
Comprehensive Automobile Liability	\$ 100,000	\$ 300,000
Professional Liability*	\$1,000,000	\$2,000,000

*(including Broad Form Property Damage Coverage and Completed Operations Coverage)

ARTICLE 6. Appendices

6.1 The following appendices are attached to this agreement and incorporated herein:

Appendix	<u>Title</u>
А	Scope of Work
В	Basis of Compensation
С	General Conditions



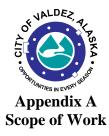
IN WITNESS WHEREOF, the parties to this presence have executed this CONTRACT in two (2) counterparts, each of which shall be deemed an original, in the year and day first mentioned above.

Bezek-Durst-Seiser, Inc.

CITY OF VALDEZ, ALASKA APPROVED:

Authorized Signature	Sharon Sheidt, Mayor
Printed name	Date:
Date:	ATTEST:
Title:	
FEDERAL ID #:	Sheri L. Pierce, MMC, City Clerk
	Date:
Mailing Address	Mark Datter Cite Manager
	Mark Detter, City Manager
City, State, Zip Code	Date:
	RECOMMENDED:
Signature of Company Secretary or Attest	Nathan Duval, Capital Facilities Director
	Date:
Date:	
	APPROVED AS TO FORM:
	Brena, Bell & Walker, P.C.
	Jon S. Wakeland

Date: _____



BASIC SERVICES

Provide all engineering and support services necessary to provide the City of Valdez: Provide bid ready drawings, construction administration and quality control services to replace the roof, siding and doors of HHES.

- An ASCE 41-17 Tier 1 seismic assessment is to be provided.
- Roof Replace all existing IRMA style roof systems with a 5-ply built-up asphalt roof system. The new roof structure will be upgraded to current snow load requirements as part of this effort.
- Exterior Doors All exterior doors to be replaced, providing ADA compliance as needed.
- Exterior Siding All exterior cedar and painted plywood siding to be replace. Options for replacement to be presented, discussed, and approved by COV.
- Upper-level Windows All upper-level windows will need replacement to match lower window style.

The scope of work is more specifically described in the attached proposal dated March 23, 2022 which is incorporated herein by reference.

Appendix B Basis of Compensation

On completion of work and submission of invoices, the City shall pay to consultant the compensation as follows:

Payment shall be made based on the proposed fee and shall not exceed \$646,756 per the proposal attached to Appendix A of this Agreement, without prior authorization by the City as required in Section V of the General Conditions (Appendix C).



Appendix C General Conditions

I. <u>Definitions:</u>

<u>Basic Services:</u> The identified work elements set forth in this Agreement for which the Consultant will receive prime compensation.

<u>Change:</u> An addition to, or reduction of, or other revision in the scope, complexity, character, or duration of the services or other provisions of this Agreement.

<u>City's Project Manager</u>: City's representative in charge of the project(s) and the consultant's primary point of contact for notice(s) to proceed, invoices, correspondence and interface with the City.

<u>Consultant's Project Manager</u>: The Consultant's representative in charge of the project(s) who is directly responsible and engaged in performing the required services.

<u>Extra Services:</u> Any services or actions required of the Consultant above and beyond provisions of this Agreement.

<u>Funding Agency(s)</u>: The agency(s) of the federal, state or municipal government which furnishes funds for the Consultant's compensation under this Agreement.

<u>Optional Services:</u> Identifiable and/or indeterminate work elements set forth in this Agreement, which are separate and distinct from those covered by the prime compensation, which the City has the option to authorize.

<u>Prime Compensation:</u> The dollar amount paid to the Consultant for basic services set forth in this Agreement. Prime compensation does not include payment for any optional or extra services.

<u>Scope of Work:</u> Basic and optional services required of the Consultant by provisions of this Agreement.

<u>Subconsultant:</u> Any person, firm, corporation, joint venture, partnership or other entity engaged through or by Consultant.



II. Information and Services from Others:

Provisions of information, data, budget, standards, and other materials by the City does not warrant their accuracy or quality nor provide approval of omissions or oversights or of any non-compliance with applicable regulation.

The City may, at its election, or in response to a request from the Consultant, furnish information or services from other Consultants. If, in the Consultant's opinion, such information or services are inadequate, the Consultant must notify the City of the specific service or material deemed inadequate and the extent of the inadequacy prior to use in the performance of this Agreement. Unless so notified by the Consultant, the City may assume the information or services provided are adequate.

III. <u>Indemnification</u>

To the fullest extent permitted by law, the Consultant shall indemnify, defend, and hold harmless the City from and against any claim of, or damages, losses, expenses and liability (including but not limited to fees and charges of engineers, architects, attorneys, and other professionals, and court, mediation and/or arbitration costs) for negligent acts, errors, and omissions of the Consultant, Subconsultant, persons or organizations directly or indirectly employed or engaged by Consultant or Subconsultant under this Agreement. The Consultant is not required to indemnify, defend, or hold harmless the City for a claim of, or liability for the independent negligent acts, errors, and omissions of the Consultant and the City. If there is a claim of, or liability for a joint negligent act, error, or omission of the Consultant and the City, the indemnification, defense, and hold harmless obligation of this provision shall be apportioned on a comparative fault basis. In this provision, "Consultant" and "City" include the employees, agents, and contractors who are directly responsible, respectively, to each. In this provision, "independent negligent acts, errors, and omissions" means negligence other than in the City's selection, administration, monitoring, or controlling of the Consultant, or in approving or accepting the Consultant's work.

IV. Insurance:

All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant.



Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

V. <u>Payments:</u>

The City shall pay to the Consultant the amount of any changes in the cost of insurance that are attributable to the Scope of Work created by change orders.

Payments shall be made in accordance with Appendix B. Consultant shall submit progress invoices to City in duplicate showing the itemized services performed during the invoice period and the charges therefore.

All progress invoices shall be prepared as a percentage of the work is completed except contracts performed on "time and expenses" basis which invoiced amounts shall not exceed the actual charges to the invoice date.

Under no circumstances will City pay for charges in excess of any lump-sum or not-to-exceed contract amount incurred prior to written authorization by City for an increase in the contract amount. Written request for an increase in the contract amount shall be given to City with sufficient notice to allow City to issue formal approval prior to the incurring of excess charges without delay to the work.

On "time and expenses" contract amounts, compensation for work included in the Scope of Work shall be for direct labor costs and the actual cost of reimbursable expenses. Direct labor costs shall be as shown on the current Standard Labor Rates for the Consultant, a copy of which is attached as Appendix D, times a factor of <u>n/a</u>, for services rendered by principals and employees of the firm. Reimbursable expenses mean the actual expenses incurred directly or indirectly in connection with the Project for: transportation and subsistence incidental thereto; obtaining bids or proposals from contractor(s); furnishing and maintaining field office facilities; toll telephone calls and telegrams; reproduction of reports, drawings, specifications, and similar project-related items and, if authorized in advance by City, overtime work requiring higher than regular rates. Reimbursable expenses shall also include the amount billed to Consultant by Subconsultant employed by consultant for such Subconsultants' services and reimbursable expenses times a factor of 1.05.

The sum of payments shall not exceed the allowable compensation stated in this Agreement. In the event items on an invoice are disputed, payment on those items will be withheld until the dispute is resolved.



The Consultant shall submit a final invoice and required documentation for services authorized by each Notice to Proceed within Ninety (90) days after final acceptance by the City. The City will not be held liable for payment of invoices submitted after this time unless prior written approval has been given.

VI. <u>Changes:</u>

Changes in the Scope of Work or of services may only be made by written amendment signed by both City and Consultant.

If at any time the City through its authorized representatives, either orally or in writing, requests or issues instructions for extra services or otherwise directs actions which conflict with any provisions of this Agreement, the Consultant shall, within ten (10) days of receipt and prior to pursuing such instructions, notify the City in writing, and to the extent possible, describe the scope and estimated cost of any extra services. Unless so notified by the Consultant, the City may assume such instructions have not changed any provisions of this Agreement nor require additional compensation. No additional payments shall be made to the Consultant without such notice.

VII. <u>Audits and Records:</u>

The Consultant shall maintain records of all performances, communications, documents, and correspondence pertinent to this Agreement, and the City of its authorized representatives shall have the right to examine such records and accounting procedures and practices.

The materials described in the Article shall be made available at the business office of the Consultant, at all reasonable times, for inspection, audit or reproduction by City or any funding agency, for a minimum of three years from the date (a) of final payment under this Agreement (b) final payment upon claims or disputes, and for such longer period, if any, as may be required by applicable statute or other provisions of this Agreement.

VIII. Inspections:

The City, or any funding agency, has the right to inspect, in the manner and at reasonable times it considers appropriate during the period of this Agreement, all facilities, materials and activities of the Consultant in the performance of this Agreement.

IX. Termination or Suspension:

This Agreement may be terminated by either party upon ten (10) day's written notice if the other party fails substantially to perform in accordance with its terms through no fault of the party initiating the termination (default termination). If the City terminates this



Agreement, the City will pay the Consultant a sum equal to the percentage of work completed that can be substantiated by the Consultant and the City. If the City becomes aware of any fault or defect in the work of the Consultant or nonconformance with this Agreement, the City will give prompt written notice thereof to the consultant. Should the Consultant's services remain in nonconformance with this Agreement, the percentage of total compensation attributable to the nonconforming work may be withheld.

The City at any time may terminate (convenience termination) or suspend this Agreement for its own needs or convenience. In the event of a convenience termination or suspension for more than three months, the Consultant will be compensated for authorized services and authorized expenditures performed to the date of receipt of written notice of termination plus reasonable termination expenses. NO fee or other compensation for the uncompleted portion of the services will be paid, except for already incurred indirect costs which the Consultant can establish and which would have been compensated for over the life of this Agreement, but because of the convenience termination would have to be absorbed by the Consultant without further compensation.

If state or federal funds support this Agreement, settlement in the event of default or convenience termination must be approved by the City and any appropriate state or federal agency.

X. <u>Officials Not to Benefit:</u>

No member of or delegate to Congress, United States Commissioner or other officials of federal, state or local government shall be admitted to any share or part of this Agreement or any benefit to arise therefrom. The Consultant warrants that it has not employed or retained any organization or person, other than a bona fide employee working for the Consultant, to solicit or secure this Agreement and that it has not paid or agreed to pay any consideration contingent upon or resulting from this Agreement.

XI. <u>Independent Consultant:</u>

Except in those instances specifically provided for herein, the Consultant and any of its agents and employees shall act in an independent capacity and not as agents of the City in the performance of the Agreement.

XII. <u>Ownership of Work Products:</u>

Work products produced under this Agreement, except items which have preexisting copyrights, are the property of the City. Payments to the Consultant for services hereunder includes full compensation for all work products, field notes, interim work, reports, and other materials produced by the Consultant and its Subconsultants pertaining to this Agreement. Any re-use the City might make of these work products shall be at the City's own



risk and the Consultant shall not incur any liability for the City's re-use of the work products on any project for which they were not intended.

XIII. Subconsultants, Successors and Assigns:

The City must concur in the selection of all Subconsultants for professional services to be engaged in performance of this Agreement.

As soon as practicable after the award of the contract, the Consultant shall furnish to the City in writing the names of the proposed Subconsultants for each of the principal portions of the work. The City shall promptly notify the Consultant if it has reasonable objection to any of the proposed Subconsultants. Failure of the City to give prompt notification shall constitute notice of no reasonable objection. The Consultant shall not contract with any Subconsultant to whom the City has made reasonable objection.

If this Agreement includes named firms or individuals, then such firms or individuals shall be employed for the designated services, unless the Agreement is changed by amendment.

The Consultant shall not assign, sublet or transfer any interest in this Agreement without the prior written consent of the City.

The Consultant binds itself, its partners, its Subconsultants, assigns and legal representatives to this Agreement and to the successors, assigns and legal representatives of the City with respect to all covenants of this Agreement.

The Consultant shall include provisions appropriate to effectuate the purposes of this Appendix C in all subcontracts executed to perform services under this Agreement in which subcontract amount exceeds \$40,000.

XIV. <u>Claims and Disputes:</u>

If the Consultant becomes aware, or reasonably should have become aware of any act or occurrence which may form the basis of a claim, the consultant shall immediately inform the City's Project Manager. If the matter cannot be resolved within seven (7) days, the Consultant shall within the next fourteen (14) days submit written notice of the facts which may form the basis of the claim.

In addition, all claims by the Consultant for additional compensation or an extension of the time for performance of any dispute regarding a question of fact or interpretation of this Agreement shall be presented in writing by the Consultant to the City's Project Manager within the next sixty (60) days unless the Project Manager agrees in writing to an extension of time for good cause shown. Good cause shown includes time for the Consultant to prepare the claim, and the City's Project Manager will grant an extension of not more than



sixty (60) days for preparation of the claim. The Consultant agrees that unless these written notices are provided, the Consultant shall not be entitled to additional time or compensation for such act, event or condition. The Consultant shall in any case continue diligent performance under this Agreement. The Consultant shall in any case continue to expeditiously accomplish disputed services pending future resolution of the Consultant's claim unless notified by the City to stop work on the disputed matter.

In presenting any claim, the Consultant shall specifically include, to the extent then possible, the following:

- The provisions of this Agreement that apply to the claim and under which it is made.
- The specific relief requested including any additional compensation claimed and the basis upon which it was calculated and/or the additional time requested and the basis upon which it was calculated.
- The claim will be acknowledged in writing by the City's Project Manager. If the claim is not disposed of within sixty (60) days of acknowledgement, provided additional time is not granted in writing by the City's Contract Officer, the claim will be decided by the City's Contract Officer. The Contract Officer reserves the right to make a written request to the Consultant at any time for additional information that the Consultant may possess to support the claims(s). The Consultant agrees to provide the City such additional information within thirty (30) days of receipt for such a request. The City's Contract Officer will allow a reasonable time extension for good cause if presented in writing prior to the expiration of the thirty (30) days. Failure to furnish such additional information constitutes a waiver of claim.
- The Consultant will be furnished a written, signed copy of the Contract Officer's decision within ninety (90) days of receipt of all necessary information from the Contractor upon which to base the decision. The Contract Officer's decision is final and conclusive unless, within thirty (30) days of receipt of the decision, the Consultant delivers a notice of appeal to the City Manager. The notice of appeal shall include specific exceptions to the City's decision including specific provision of this Agreement which the Consultant intends to rely upon on appeal. General assertions that the City's decision is contrary to law or to fact are not sufficient.
- The decision of the City Manager will be rendered within 120 days of notice of appeal and the decision constitutes the exhaustion of contractual and administrative remedies.



All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant. Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

XV. Extent of Agreement:

This Agreement, including appendices, represents the entire and integrated Agreement between the City and the Consultant and supersedes all prior negotiations, representations or agreements, either written or oral.

Nothing contained herein may be deemed to create any contractual relationship between the City and any Subconsultants or material suppliers; nor may anything contained herein be deemed to give any third party a claim or right of action against the City or the Consultant that does not otherwise exist without regard to this Agreement.

This Agreement may be changed only by written amendment executed by both the City and the Consultant.

All communications that affect this Agreement must be made or confirmed in writing.

The Consultant receiving final payment will execute a release, if required, relinquishing in full all claims against the City arising out of or by reason of the services and work products furnished under this Agreement.

The Consultant shall pay all federal, state and local taxes incurred by the Consultant and shall require payment of such taxes by any Subconsultant or any other persons in the performance of this Agreement.



XVI. <u>Governing Laws:</u>

This Agreement is governed by the laws of the State of Alaska and such federal and local laws and ordinances as are applicable to work performed. Any litigation arising out of the terms of this Agreement shall be brought in the Third Judicial District, Superior or District Court at Valdez.

XVII. <u>Minimum Wages:</u>

Minimum wages as determined by the Department of Labor shall be paid to all persons performing work on this Contract.



City of Valdez Contract Release Page 1 of 2

The undersigned, ________for itself, its owners, partners, successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, as set forth herein related to or arising out of the following described contract ("Contract"):

Project: HHES Roofs, Doors & Siding Design Project Number: 21-310-9516 / Contract Number: 1916

The undersigned hereby acknowledges receipt of the amount of <u>s</u>_____as full and final payment in consideration for all services, materials and labors rendered in connection with the Contract.

The undersigned hereby waives and releases any right or claim of lien, any state or federal statutory bond right, any private bond right, any claim for payment under the Contract, and any rights under any similar ordinance, rule, or statute related to claim or payment rights for itself, its owners, directors, officers, its successors in interest, assigns, agents, attorneys, trustees, administrators, subcontractors, suppliers, and laborers.

The undersigned certifies that no amounts payable under the Contract have been assigned to anyone.

The undersigned agrees that this Release is not executed as a result of financial disadvantage. No promise or inducement has been offered or made except as set forth in the above Contract. Accordingly, the undersigned voluntarily waives any and all rights to void this Release or any of its provisions, due to economic or business distress and/or compulsion. The undersigned represents that it is familiar with and has had the opportunity for its attorneys to explain the meaning of decisions of the Alaska Supreme Court applicable to this Release including, but not limited to, *Petroleum Sales, Ltd. v. Mapco of Alaska, Inc.*, 687 P.2d 923 (Alaska 1984); *Totem Marine T. & B. v. Alyeska Pipeline, et. al.*, 584 P.2d 15 (Alaska 1978); and *Witt v. Watkins*, 579 P.2d 1065 (Alaska 1978).

The undersigned hereby declares that the terms of this Release have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all payment claims, disputed or otherwise, arising under or by virtue of the Contract. The undersigned represents and warrants that it has the full and complete legal authority to enter into this Release, that the individuals executing this Release have the legal authority to do so, and that this Release shall be binding and enforceable upon it and its representatives, successors, and assigns, in accordance with its terms upon execution. The signature of the undersigned is an acknowledgement that the person signing has the authority to bind the party to this Release.



City of Valdez Contract Release Page 2 of 2

IN WITNESS WHEREOF, I have hereunto set my hand and seal this _	day of
, 20	-

))ss.

)

COMPANY

SIGNATURE

TITLE

STATE OF ALASKA

THIRD JUDICIAL DISTRICT

THIS IS TO CERTIFY that on this _____ day of _____, 20____, before me, Notary Public in and for the State of Alaska, personally appeared _______ of ______, known to me to be _______, known to me to be its _______ and acknowledged to me that he has read this foregoing RELEASE and knew contents thereof to be true and correct to the best of his knowledge and belief, and that he signed the same freely and voluntarily for the uses and purposes therein mentioned, and that he was duly authorized to execute the foregoing document according to the Bylaws or by Resolutions of said corporation.

WITNESS my hand and notarial seal this _____ day of _____, 20____.

Notary Public in and for Alaska

My Commission expires: _____



3330 C Street, Suite 200 Anchorage, Alaska 99305 T (907) 562-6076 | F (907) 562-6635 www.bdsak.com

March 23, 2022

Scott Benda, Senior Project Manager City of Valdez P.O. Box 307 | Pioneer Field STE. 201 Valdez, AK 99686

RE: HHES Roof, Doors, and Siding Replacement

Proposal for Professional Design Services

Scott,

Thank you for the opportunity to provide fee proposal for professional design services associated with the HHES Roof Door and Siding Replacement project in which BDS Architects will be acting as prime consultant to the Owner. For this project BDS Architects will be consulting with: Enterprise Engineering, Inc. for civil engineering, Reid Middleton, Inc. for structural engineering, RSA Engineering, Inc. for mechanical/electrical engineering, EHS-Alaska, Inc. for hazardous materials, and Estimations, Inc. for construction cost estimating.

It is understood that we are to provide fees for two separate design efforts listed below.

- I. <u>Condition Surveys</u> The Design Team will provide separate surveys for each of the four facilities:
 - A. Valdez High School: An ASCE 41-17 Tier 1 seismic assessment is to be provided with this survey. It is understood that COV would like to prioritize this survey to be due by mid-July 2022.
 - B. Valdez Middle School: Due August 2022.
 - C. Hermon Hutchens Elementary School: Due August 2022.
 - D. Valdez District Office: Due August 2022.

Surveys will strictly be assessments of existing facility conditions with no conceptual design or upgrade solutions. They will be used for COV to establish their own costs and priorities for any future repair, renovation, or replacement projects.

Overall total of design services for Condition Surveys is:

\$140,163

II. <u>HHES Roof, Doors, and Siding</u> - It is understood that this project will be competitively Bid under the traditional Design-Bid-Build project delivery method as one Bid Package. As it currently stands, the COV total construction cost target is \$8,000,000. The project is to follow the delivery in accordance with the attached *Approximated Design Schedule*, with a presumed Out to Bid date in May 2023, and an anticipated Construction completion date of August 2024. It is also understood that we will provide 95% Construction Documents by February 2023 so that COV put an accurate cost request for the project on their May Bond package. As always, we can incorporate alternate bid items (Additive or deductive) into the construction documents to maximize the amount of work performed under the construction contract.

General scoping items for the HHES building are:

- An ASCE 41-17 Tier 1 seismic assessment is to be provided.
- Roof Replace all existing IRMA style roof systems with a 5-ply built-up asphalt roof system. The new roof structure will be upgraded to current snow load requirements as part of this effort.
- Exterior Doors All exterior doors to be replaced, providing ADA compliance as needed.
- Exterior Siding All exterior cedar and painted plywood siding to be replace. Options for replacement to be presented, discussed, and approved by COV.
- Upper-level Windows All upper-level windows will need replacement to match lower window style.

Overall total of design services for HHES Roof, Doors, and Siding is:	\$646,756
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Design fees/OHP are based on a percentage of construction costs, and also based on past experiences with similarly scoped projects. This overall total covers all costs necessary to complete the work defined in the Scope of Services above and attached, including direct labor plus indirect costs, OHP, fees on sub consultants, and all other direct costs / expenses. Work requested beyond the defined scope of work, or the identified construction budget can be negotiated on an hourly basis at our current hourly billing rates, plus 10% fee on sub consultants, and at direct cost for other direct expenses.

The following Items / Design Services are not included, and an associated proposal can be provided upon Owner request:

- Fees for transportation while onsite in Valdez. COV will be providing all transportation while onsite in Valdez to all consultants.
- ASCE 41 Tier 2 and/or Tier 3 seismic evaluation.
- Building systems commissioning services.
- Any Permitting Fees not defined in the proposal.

BDS Architects HHES Roof, Door, and Siding Replacement Page 3 of 3

- Fees for Owner required Special Inspections.
- Fees associate with Furniture, Fixtures, and Equipment (FF&E) services.
- Fees associated with procurement of online construction management tools such as Procore, Submittal Exchange, etc.
- Fees associated with Documentation and effort for an official LEED Certification.
- Architectural renderings.
- Architectural physical scale models.

Please find attached detailed fee breakdowns for all proposed Tasks. We are prepared, upon a Notice to Proceed, to complete the work on this great project. If you have any questions or concerns regarding this proposal, please feel free to give me a call. Fees are negotiable, as always, and we are always willing to work with our clients. Once again, thank you for the opportunity to provide this fee proposal.

Sincerely,

Victor Valenote, AIA, LEED AP, A4LE Principal

Attachments

Overall Design Fee Summaries; Approximated Design Schedule; Fee Proposals from: BDS Architects; Enterprise Engineering, Inc.; Reid Middleton, Inc.; RSA Engineering, Inc.; EHS Alaska; and Estimations, Inc.,

SUMMARY OF DESIGN FEES - CONDITION SURVEYS

		PHASE, TASK OR SUBTASK	: Condition Survey : Overall Fee Sche : BDS Architects	vs (Valdez HS, Vald edule	ez MS, Hermon Hi	tchens ES, Valdez	z District Office)							
Task	Type of Service	Description	Project Management / Architecture <i>BDS</i>	Civil Engineering <i>R&M</i>	Structural Engineering <i>RMI</i>	Mechanical Engineering RSA	Electrical Engineering <i>RSA</i>			Design Labor Fees per Phase / Task	10% OHP (Architecture Only)	10% OHP (Subconsultants)	Subtotals per Phase / Task	TOTALS per Phase / Task (Labor + Reimbursables)
Ι	FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 60,752 \$ 3,300		\$ 21,300 \$ 1,688		\$ 11,760			\$ 121,172	\$ 6,075	\$ 6,042	\$ <u>133,289</u> \$ 6,874	\$ 140,163
			¢ 0,000		φ i,000	¢ 1,000				\$-	\$ -	\$-	\$-	\$-
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													GRAND TOT (Design + Re	AL / SERVICE pimbursables)
A	TOTAL Labor Expenses per Discipline		\$ 60,752	\$ 15,600	\$ 21,300	\$ 11,760	\$ 11,760 \$	- \$	- \$	\$ 121,172	\$ 6,075	\$ 6,042	\$ 133,289	\$ 140,163
в	TOTAL Reimbursable Direct Cost Expenses per Discipline		\$ 3,300	\$ -	\$ 1,688	\$ 1,886	\$-\$	- \$	- \$	\$-	\$ -	\$ -	\$ 6,874	

SUMMARY OF DESIGN FEES - HHES ROOF, DOORS, & SIDING REPLACEMENT

		PHASE, TASK OR SUBTASK:	HHES Roof, Door Overall Fee Sche BDS Architects		acement								
Task	Type of Service	Description	Project Management / Architecture <i>BDS</i>	Civil Engineering <i>R&M</i>	Structural Engineering <i>RMI</i>	Mechanical Engineering <i>RSA</i>	Electrical Engineering <i>RSA</i>	Hazardous Materials <i>EHS</i>	Cost Estimating <i>Estimations</i>	Design Labor Fees per Phase / Task	10% OHP 10% OHP (Architecture Only) (Subconsultants)	Subtotals per Phase / Task	TOTALS per Phase / Task (Labor + Reimbursables)
I	35% Schematic Design FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 91,808 \$ 7,750	\$ 6,700	\$ 25,920	\$ 1,800	\$ 1,200	\$ 11,110	\$ 6,119	\$ 144,657	\$ 9,181 \$ 5,285	\$ 159,123 \$ 7,750	\$ 166,873
II	65% Design Development FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 68,450	\$ 3,100	\$ 20,118	\$ 6,340	\$ 3,940	\$ 5,868	\$ 8,315	\$ 116,131	\$ 6,845 \$ 4,768	\$ 127,744 \$ -	\$ 127,744
ш	95% Construction Documents FIXED FEE	Labor Cost Expenses	\$ 68,354	\$ 3,100	\$ 16,476	\$ 7,285	\$ 4,585	\$ 2,872	\$ 8,315	\$ 110,987	\$ 6,835 \$ 4,263	\$ 122,086 \$ -	\$ 122,086
IV	100% Bid Documents FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 34,976	\$ 1,200	\$ 4,338	\$ 2,330	\$ 1,920	\$ 1,822		\$ 46,586	\$ 3,498 \$ 1,161	\$ 51,245 \$ -	\$ 51,245
V	Bidding & Permitting T & M (Not-to-Exceed)	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 9,396	\$ 1,500	\$ 1,512	\$ 1,200	\$ 950	\$ 1,915		\$ 16,473	\$ 940 \$ 708	\$ 18,120	\$ 18,120
VI	Construction Administration T & M (Not-to Exceed)	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 71,880	\$ 1,500		. ,	\$ 5,950	\$ 6,249		\$ 119,303	\$ 7,188 \$ 4,742	\$ 131,233	\$ 141,987
VII	Record Drawings LUMP SUM	Labor Cost Expenses	\$ 7,500 \$ 11,108	\$ 1,200	\$ 1,044 \$ 2,000			\$ 793		\$ 17,001	\$ 1,111 \$ 589	\$ 10,754 \$ 18,701	\$ 18,701
		Reimbursable Direct Cost Expenses											AL / SERVICE imbursables)
A	TOTAL Labor Expenses per Discipline		\$ 355,972	\$ 18,300	\$ 96,388	\$ 27,755	\$ 19,345	\$ 30,629	\$ 22,749 \$ -	\$ 571,138	\$ 35,597 \$ 21,517	\$ 628,252	\$ 646,756
В	TOTAL Reimbursable Direct Cost Expenses per Discipline		\$ 15,250	\$ -	\$ 1,044	\$ 1,105	\$ 1,105	\$-	\$ - \$ -	\$-	\$-\$-	\$ 18,504	• 040,700

0	Task Mode	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Qtr 1, 2022 Qtr 2, 2022 Qtr 3, 2022 Qtr 4, 2022 Qtr 1, 2023 Qtr 2, 2023 Qtr 3, 2023 Qtr 4, 2023 Qtr 1, 2024 Qtr 2, 2024 Qtr 3, 2024 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec Jun Jul Aug Sep Sep Sep Sep Sep Sep Sep </th <th></th>	
1	*	RFP Due	1 day	Mon 2/14/22	Mon 2/14/22			◆ 2/14	<u>- 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</u>
2	*	Contract Award	1 day	Tue 3/15/22	Tue 3/15/22			► 3/15	
3	*	NTP	1 day	Thu 3/31/22	Thu 3/31/22			♦ 3/31	
l.	*	Kick Off Meeting	1 day	Fri 5/13/22	Fri 5/13/22			◆ 5/13	
5	*	HHES Condition Surv	e4 days	Tue 5/31/22	Fri 6/3/22				
6	*	HHES Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22				
7	*	VMS Condition Surve	e 5 days	Mon 5/30/22	Fri 6/3/22				
8	*	VMS Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22				
9	*	VHS Condition Surve	y5 days	Mon 5/30/22	Fri 6/3/22				
10	*	VHS Condition Survey Report	40 days	Mon 6/6/22					
1	*	VSD Adminstration Building Condition Survey	5 days	Mon 5/30/22	Fri 6/3/22				
2	*	VSD Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22				
3	*	Community Design Meeting #1 (Community	1 day	Wed 7/13/22	Wed 7/13/22			◆ 7/13	
14	*	Community Design Meeting #2 (Options Presentation)		Wed 8/10/22	Wed 8/10/22			◆ 8/10	
15	*	Community Design Meeting #3 (Presentation of Developed Selected Option)	1 day	Wed 9/21/22	Wed 9/21/22			♦ 9/21	
16 📅		HHES 35% Design	65 days	Wed 6/8/22	Tue 9/6/22	5			
17		COV 35% Review	, 10 days		Tue 9/20/22				
18	-,	HHES 65% Design	35 days		Tue 11/8/22				
19		COV 65% Review	12 days		Thu 11/24/22				
20 📅		HHES 95% Design	41 days	Tue 12/6/22	Tue 1/31/23	19			
21		COV 95% Review	, 7 days			20			
2	-,		17 days	Wed 2/1/23		19		2/23	
3		HHES Bid Document	•	Fri 2/10/23	Mon 5/1/23				
24		Bidding	20 days		Mon 6/12/23				
25	*	Construction	57 days	Wed 5/29/24		,.			
26	*	Record Drawings	20 days		Thu 9/12/24				9
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				Task		Project Sur	mman/	Manual Task Start-only C Deadline	
oject: CO	V HHES R	loof, Door, and Siding I	Replacement			· · · · ·	2		
		esign Schedule		Split	•			Duration-only Finish-only Progress	
ate: Fri 3/	11/22			Milestone	•	Inactive Mi		Manual Summary Rollup External Tasks Manual Progress	
				Summary		Inactive Su	mmary	Manual Summary External Milestone	



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PHASE (FEE STRUCTURE):	Condition Su	irveys (LUMP	SUM)											
FIRM (PRIME):	BDS Archite	cts												
					Labor Ho	ours / Job C	assificatio	n / Rate						
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Existing Design Document Review / Investigation for each of the four COV Facilities: Valdez HS, Valdez MS, HHES, Valdez District Office.	4	4	8										16	
Site Visit: Investigate existing conditions at each of the four facilities, assessing each of the building component's current condition and life expectancy. Throroughly photograph all 4 facilities, both interior and exterior, for office reference. Confirm any major space planning / design conflicts with existing Record Drawings.	40		40										80	
Building Code Analysis for each of the four facilities, identifying any deficiencies associated with Fire/Life Safety, ADA, etc.	4		24										28	
Produce Draft copies of Condition Survey Reports for each of the four facilities for COV review and comment.	24	2	48									16		
Produce Final copies of Condition Survey Reports for each of the four facilities.	16	2	32									16	66	
Coordination with Sub Consultants	4		8										12	
Owner Meetings / Correspondence	4		8										12	
QA / QC for Reports	8	2											10	
SUBTOTAL (HOURS)	104	10	168	0	0	0	0	0	0	0	0	32	314	
SUBTOTAL (COST)	\$27,248	\$2,600	\$27,384	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,520		
											SUE	TOTAL DIRE	CT LABOR	\$60,752
											OHP O	N DIRECT LA	BOR - 10%	\$6.075
												OST OF DESI		\$66.827
REIMBURSABLE DIRECT COSTS / EXPENSES						COMMENTS						QTY/UNIT	RATE (\$)	400,0E1
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)	Includes 4 day	y / 3 night stay	in Valdez									2	\$1.650.00	\$3,300
RMI Site Visit (Air Fare, Room, wears, Airport Farking)		y / 3 night stay										2	\$1,630.00	\$3,300
RSA Site Visit		y / 2 night stay										1	\$1,886.00	\$1,886
	includes 5 da	y / 2 mgni siay	in vaidez										φ1,000.00	1,000 و
	-									тот	AL REIMBUR		CT COSTS	\$6.874

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering	Includes 2 day / 2 night stay in Valdez for one engineer	\$15,600
Reid Middleton Inc.	Structural Engineering	Includes Tier 1 Seismic Evaluation for Valdez High School	\$21,300
RSA Engineering	Mechanical Engineering		\$11,760
RSA Engineering	Electrical Engineering		\$11,760
		SUBTOTAL of SUB-CONSULTANT FEES	\$60,420
		OHP ON SUB-CONSULTANT FEES - 10%	\$6,042



	HHES Roof,													
PHASE (FEE STRUCTURE)			esign (LUM	P SUM)										
FIRM (PRIME)	BDS Archite	cts			L also a U			. / D					1	
	Principal	Roof Tech	Associate	Architect III	Architect II	Architect I	BIM	Interior	Intern	Intern	Intern	Admin		
	\$262.00	Specialist \$260.00	Architect \$163.00	\$152.00	\$145.00	\$140.00	Manager \$130.00	Designer \$120.00	Architect III \$120.00	Architect II \$115.00	Architect I \$110.00	Support \$110.00	-	
Description of Task	+												HOURS	COSTS
•														00313
Existing Design Document Review / Investigation	2	2	2				4						10	
Site Visit: As-built all roof items such as horizontal and vertical dimensions, roof drain sizes, deck slope, parapets, etc. Inspect building exterior for drainage, roof edge construction, etc. Determine underside roof drain accessibility. Walkthrough building interior to locate horizontal and vertical rain leaders and size.			20										20	
Develop as-built 3D model in Autodesk Revit for use in			16				40						56	
Construction Document production. Develop initial presentation graphics to COV and Stakeholders.	8		16									12	36	
Design Presentation #1 in Valdez: Discuss project parameters, process, and goals.	8		8										16	
Develop initial concept options for presentation to COV and Stakeholders.	4		16				24		1				44	
Design Presentation #2 in Valdez: Share initial conceptual design ideas/options.	8		8					1				1	16	
Develop final design for presentation to COV and stakeholders.	2		12				24						38	
Design Presentation #3 in Valdez: Present final design selected to move forward with construction documents.	8		8										16	
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.	2		8				12				4		26	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans: Proposed, design and drawing production.			8				16				8		32	
Roof Plans: Proposed, design and drawing production.		8	16				16				12		52	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		4	8				8				8		28	
Technical Specifications - Table of Contents only (CSI format).	4											2	6	
Coordination with Sub Consultants	4	2	16										22	
Owner Meetings / Correspondence	4	2	16				<u> </u>	-				-	22	
Review Construction Cost Estimate	2		2					ļ				ļ	4	
35% Submittal Review QA / QC	4	4	8	<u> </u>			<u> </u>						12 20	
QA / QC SUBTOTAL (HOURS)	16 76	4 26	212	0	0	0	176	0	0	0	56	14	20 560	
SUBTOTAL (HOURS) SUBTOTAL (COST)	\$19,912	\$6,760	\$34,556	\$0	\$0	\$0	\$22,880	\$0	\$0	\$0	\$6,160	14 \$1,540	300	
	ψ13,912	φ0,700	904,000	υų	ψU	υų	<i>⊎</i> ∠∠,000	ψU	ψU	υç		\$1,540 STOTAL DIRE	CTLAPOR	\$91.808
												N DIRECT LA		\$91,808
												OST OF DES		\$100,989
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)	Includes 2 day / 1 night stay in Valdez 1 \$1,250								\$1,250					
Investigative Roof Cuts & Repairs		ated with Haza		als site investi	gation							1	\$6,500	\$6,500
- •					-									\$0
	[\$0
	L									тот	AL REIMBUR	RSABLE DIRI	ECT COSTS	\$7,750

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$6,700
Reid Middleton Inc.	Structural Engineering	Includes Tier 1 Seismic Evaluation	\$25,920
RSA Engineering	Mechanical Engineering		\$1,800
RSA Engineering	Electrical Engineering		\$1,200
EHS Alaska	Hazardous Materials Engineering	Includes Hazardous Materials Survey and Report	\$11,110
Estimations, Inc.	Construction Cost Estimating		\$6,119
		SUBTOTAL of SUB-CONSULTANT FEES	\$52,849
		OHP ON SUB-CONSULTANT FEES - 10%	\$5,285



PROJECT:	HHES Roof,	Doors, and S	iding Repla	cement										
PHASE (FEE STRUCTURE):	Task II - 65%	Design Dev	elopment (L	UMP SUM)										
FIRM (PRIME):	BDS Archite	ots												
		1	1	1	Labor Ho	ours / Job C		1						
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.	2		8				12				4		26	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			8				16				8		32	
Roof Plans: Proposed, design and drawing production.		8	16				8				8		40	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		2	8				8				8		26	
Wall Sections / Details: Design and drawing production	2	4	16				16				8		46	
Schedules: Doors, Windows, Finishes			8				16				16		40	
Technical Specifications - CSI format.	24		4									24	52	
Coordination with Sub Consultants	4	4	4										12	
Owner Meetings / Correspondence	8	2	16										26	
Review Construction Cost Estimate	2		2										4	
65% Submittal Review	4		8										12	
QA / QC	16	4											20	
SUBTOTAL (HOURS)	62	28	122	0	0	0	108	Ū	0	0	76	24	420	
SUBTOTAL (COST)	\$16,244	\$7,280	\$19,886	\$0	\$0	\$0	\$14,040	\$0	\$0	\$0	\$8,360	\$2,640		
											SUE	BTOTAL DIRE	CT LABOR	\$68,450
											OHP O	N DIRECT LA	BOR - 10%	\$6,845
												OST OF DESI		\$75,295
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)												İ		\$0
														\$0
														\$0
														\$0
														**
										TOT	AL REIMBUR	RSABLE DIRE	CICOSTS	\$0

SERVICE, PRODUCT, ETC.	COMMENTS	
Civil Engineering		\$3,100
Structural Engineering		\$20,118
Mechanical Engineering		\$6,340
Electrical Engineering		\$3,940
Hazardous Materials Engineering		\$5,868
Construction Cost Estimating		\$8,315
	SUBTOTAL of SUB-CONSULTANT FEES	\$47,681
	OHP ON SUB-CONSULTANT FEES - 10%	\$4,768
	Civil Engineering Structural Engineering Mechanical Engineering Electrical Engineering Hazardous Materials Engineering	Civil Engineering

TOTAL OF FEES THIS TASK (Fixed Fee) \$127,744



		Doors, and S	• •											
PHASE (FEE STRUCTURE):			n Documen	ts (LUMP SU	M)									
FIRM (PRIME):	BDS Archite	cts												
		Labor Hours / Job Classification / Rate												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.	2		8				8				4		22	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			8				8				8		24	
Roof Plans: Proposed, design and drawing production.		8	16				8				8		40	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		2	8				8				8		26	
Wall Sections / Details: Design and drawing production	2	4	16				16				8		46	
Schedules: Doors, Windows, Finishes			8				8				8		24	
Color Boards for Finishes and Materials			8				16						24	
Technical Specifications - CSI format.	24		4									24	52	
Coordination with Sub Consultants	4	4	4										12	
Owner Meetings / Correspondence	8	2	16										26	
Review Construction Cost Estimate	2		2										4	
95% Submittal Review	4		8										12	
QA / QC	16	4											20	
SUBTOTAL (HOURS)	62	28	130	0	0	0	104	0	0	0	68	24	416	
SUBTOTAL (COST)	\$16,244	\$7,280	\$21,190	\$0	\$0	\$0	\$13,520	\$0	\$0	\$0	\$7,480	\$2,640		
											SUE	BTOTAL DIRE	ECT LABOR	\$68,354
											OHP O	N DIRECT LA	ABOR - 10%	\$6,835
											TOTAL C	OST OF DES	IGN LABOR	\$75,189
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0 \$0
														\$0
										TOT		RSABLE DIRI	CT COSTS	\$0

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$3,100
Reid Middleton Inc.	Structural Engineering		\$16,476
RSA Engineering	Mechanical Engineering		\$7,285
RSA Engineering	Electrical Engineering		\$4,585
EHS Alaska	Hazardous Materials Engineering		\$2,872
Estimations, Inc.	Construction Cost Estimating		\$8,315
		SUBTOTAL of SUB-CONSULTANT FEES	\$42,633
		OHP ON SUB-CONSULTANT FEES - 10%	\$4,263

TOTAL OF FEES THIS TASK (Fixed Fee) \$1	\$122,086
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PROJECT: PHASE (FEE STRUCTURE): FIRM (PRIME):	Task IV - 10		• •											
	DD0 / fronte	Labor Hours / Job Classification / Rate												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.			4				4				2		10	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			4				8				6		18	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			4				4				4		12	
Roof Plans: Proposed, design and drawing production.		2	8				8				8		26	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		2	4				8				8		22	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		2	8				4				4		18	
Wall Sections / Details: Design and drawing production	2	4	12				8				8		34	ĺ .
Schedules: Doors, Windows, Finishes			8				4				4		16	
Technical Specifications - CSI format.	8		4									12	24	ĺ .
Coordination with Sub Consultants	4	4	4										12	ĺ
Owner Meetings / Correspondence	4		8										12	
QA / QC	8	4											12	
SUBTOTAL (HOURS)	26	18	68	0	0	0	48	0	0	0	44	12	216	
SUBTOTAL (COST)	\$6,812	\$4,680	\$11,084	\$0	\$0	\$0	\$6,240	\$0	\$0	\$0	\$4,840	\$1,320		
											SUE	STOTAL DIRE	CT LABOR	\$34,976
											OHP O	N DIRECT LA	BOR - 10%	\$3,498
											TOTAL CO	OST OF DESI	GN LABOR	\$38,474
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0 \$0
														\$U
										TOT		RSABLE DIRE	CT COSTS	\$0
										101			01 00 313	φU

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,200
Reid Middleton Inc.	Structural Engineering		\$4,338
RSA Engineering	Mechanical Engineering		\$2,330
RSA Engineering	Electrical Engineering		\$1,920
EHS Alaska	Hazardous Materials Engineering		\$1,822
		SUBTOTAL of SUB-CONSULTANT FEES	\$11,610
		OHP ON SUB-CONSULTANT FEES - 10%	\$1,161

TOTAL OF FEES THIS TASK (Fixed Fee) \$51,245



DBO JECT	HHES Roof,	Doors and S	iding Popla	aamant										
PHASE (FEE STRUCTURE)			• •		n.									
· · · · · · · · · · · · · · · · · · ·		0		IOL TO EXCeed)									
FIRM (PRIME): BDS Architects Labor Hours / Job Classification / Rate													1	
		Poof Tools Associate PIM Interior Intern Intern Admin												
	Principal	Specialist	Associate	Architect III	Architect II	Architect I	BIM Manager	Designer	Architect III	Architect II	Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Pre-Bid Conference	1		1										2	
COV Permit Application and review responses			4										4	
Addenda Preparation	1	2	18				8						29	
Coordination with Sub Consultants			4										4	
Owner Meetings / Correspondence	3		5										8	
QA / QC	5												5	
SUBTOTAL (HOURS)	10	2	32	0	0	0	8	0	0	0	0	0	52	
SUBTOTAL (COST)	\$2,620	\$520	\$5,216	\$0	\$0	\$0	\$1,040	\$0	\$0	\$0	\$0	\$0		
											SUE	BTOTAL DIRE	CT LABOR	\$9,396
											OHP O	N DIRECT LA	BOR - 10%	\$940
											TOTAL CO	OST OF DESI	GN LABOR	\$10,336
REIMBURSABLE DIRECT COSTS / EXPENSES						COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0
														\$0
										тот	AL REIMBUR	RSABLE DIRE	ECT COSTS	\$0

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,500
Reid Middleton Inc.	Structural Engineering		\$1,512
RSA Engineering	Mechanical Engineering		\$1,200
RSA Engineering	Electrical Engineering		\$950
EHS Alaska	Hazardous Materials Engineering		\$1,915
		SUBTOTAL of SUB-CONSULTANT FEES	\$7,077
		OHP ON SUB-CONSULTANT FEES - 10%	\$708

TOTAL OF FEES THIS TASK (Fixed Fee)	\$18,120	
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PROJECT	HHES Roof,	Doors, and S	iding Repla	cement										
PHASE (FEE STRUCTURE):	Task VI - Co	nstruction Ad	ministration	(T&M Not to	Exceed)									
FIRM (PRIME):	BDS Archite	cts												
	Labor Hours / Job Classification / Rate													
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Pre-Bid Conference	4		4										8	1
Conformed Documents		2	8				16						26	1
Construction progress meetings	4	4	40										48	1
Site Visit Inspections (8 - includes Substantial Completion and Final inspections)	16		48										64	
Responses to Contractor Requests for Information (RFI's)	4	4	48				16						72	
Preparation of Architects Supplemental Instructions (ASI's)		2	16				4						22	
Submittal / Shop Drawing Review	8	8	80										96	
1% for Art: Meetings and Production	2		8				2						12	1
Coordination with Sub Consultants	2	2	16											I
Owner Meetings / Correspondence	4		24										28	ļ
QA / QC	8												8	1
SUBTOTAL (HOURS)	52	22	292	0	0	0	38	0	0	0	0	0	404	
SUBTOTAL (COST)	\$13,624	\$5,720	\$47,596	\$0	\$0	\$0	\$4,940	\$0	\$0	\$0	\$0	\$0		i
											SUE	BTOTAL DIRE	CT LABOR	\$71,880
											OHP O	N DIRECT LA	BOR - 10%	\$7,188
											TOTAL CO	OST OF DESI	GN LABOR	\$79,068
REIMBURSABLE DIRECT COSTS / EXPENSES						COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)	8 Day-trips / 1	Night										1	\$7,500	\$7,500
RMI Site Visit												1	\$1,044	\$1,044
RSA Site Visit												1	2210	\$2,210
														\$0
														1
										тот	AL REIMBUR	SABLE DIRE	ECT COSTS	\$10,754

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,500
Reid Middleton Inc.	Structural Engineering		\$26,024
RSA Engineering	Mechanical Engineering		\$7,700
RSA Engineering	Electrical Engineering		\$5,950
EHS Alaska	Hazardous Materials Engineering		\$6,249
		SUBTOTAL of SUB-CONSULTANT FEES	\$47,423
		OHP ON SUB-CONSULTANT FEES - 10%	\$4,742

TOTAL OF FEES THIS TASK (Fixed Fee)	\$141,987
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PROJEC	T: HHES Roof,	Doors, and S	iding Repla	cement											
PHASE (FEE STRUCTURE): Task VIII - R	ecord Drawin	gs (LUMP S	SUM)											
FIRM (PRIME): BDS Archite	cts													
		Labor Hours / Job Classification / Rate													
	Principal	incipal Roof Tech Associate Architect II Architect II Architect II Architect II BIM Manager Designer Architect II Intern Architect II Intern Architect II Support													
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00			
Description of Task													HOURS	COSTS	
Record Drawing Production from Contractor Redlines			12				32				24		68		
Coordination with Sub Consultants			4										4	1	
Owner Meetings / Correspondence			4										4		
QA / QC	4												4		
SUBTOTAL (HOURS)	4	0	20	0	0	0	32	0	0	0	24	0	80	1	
SUBTOTAL (COST)	\$1,048	\$0	\$3,260	\$0	\$0	\$0	\$4,160	\$0	\$0	\$0	\$2,640	\$0		1	
											SUE	STOTAL DIRE	CT LABOR	\$11,108	
											OHP O	N DIRECT LA	BOR - 10%	\$1,111	
											TOTAL CO	OST OF DESI	GN LABOR	\$12,219	
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)		
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0	
														\$0	
	1													\$0	
	1													\$0	
	1													<u> </u>	
										тот	AL REIMBUR	SABLE DIRE	CT COSTS	\$0	

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,200
Reid Middleton Inc.	Structural Engineering		\$2,000
RSA Engineering	Mechanical Engineering		\$1,100
RSA Engineering	Electrical Engineering		\$800
EHS Alaska	Hazardous Materials Engineering		\$793
		SUBTOTAL of SUB-CONSULTANT FEES	\$5,893
		OHP ON SUB-CONSULTANT FEES - 10%	\$589

TOTAL OF FEES THIS TASK (Fixed Fee) \$18,701
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March 17, 2022

Victor V. Valenote, AIA BDS Architects 3330 C Street Anchorage, AK 99503

SUBJECT: Letter of Understanding – Civil Design Services COV HHES School Repairs and Condition Surveys EEI Proposal No. 9910

Dear Mr. Valenote:

Enterprise Engineering, Inc. (EEI) is pleased to submit this proposal Letter of Understanding to provide Consulting Engineering services in connection with the above referenced project.

ENGINEERING, INC.

STATEMENT OF INTENT

The scope of the project is based on your email RFP dated March 10, 2022 and follow-up discussion. This Letter of Understanding presents our understanding of the required scope of services and our fees for providing these services. Please inform us if your understanding is other than described herein.

This proposal is for two projects in Valdez, Alaska: Hermon Hutchens Elementary School (HHES) Roof, Doors, and Siding Replacement project, and Condition Surveys for three school sites and the district office.

The HHES project will include design for minor civil issues related to the replacement of building components and those that may be identified during the site visit. EEI will also provide bidding, permitting and construction support.

The scope for the Condition Surveys consists of site visits to the four sites, evaluation of site conditions, and reports with the findings. The investigations and reports will follow State of Alaska Department of Education DEED guidelines for condition surveys.

The City of Valdez (COV) has requested that the Valdez High School condition survey be completed by mid-July, and the Valdez Middle School, Hermon Hutchens Elementary School and the Valdez District Office condition surveys be completed by Mid-August of this year. The four sites will be evaluated during the same site visit, which will need to be completed by mid-June 2022, in order to meet the July 2022 deadline. The HHES project 95% CDs are to be completed by February 2023.

We understand that BDS Architects will be the design project manager, and will coordinate with the client and governing review agencies. You will be our primary contact.

SCOPE OF SERVICES

CONDITION SURVEYS – 4 SITES

Site Visit

An engineer with Enterprise Engineering, Inc. will make a site visit to evaluate and assess the civil components of the four school sites. These components may include but are not limited to; building foundations for the school buildings (as observed from the building perimeter), site drainage, water and sewer systems outside of buildings, play areas, pavement and sidewalks, and fencing. We will have discussions with school personnel as appropriate, obtain photos, and otherwise gather information for use in the assessment.

Prior to the site visit, we will review available drawings, to become familiar with facility information and help form an understanding of system functions. The visit will be at the date you set for the team visit, but will likely be completed within 2 days, with 2 overnights.

Condition Survey Reports

Four separate condition survey reports will be written for the Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School and the Valdez District Office and will include descriptions of the existing sites, the school building foundations, the water and sewer systems, and drainage conditions. A list of observed deficiencies will be provided along with photos, and a key plan will be included as necessary.

Recommendations for repair or replacement of identified deficiencies will not be included in this report. Assessment of the Valdez High School swimming pool, football field, and baseball field is also not included in the condition survey.

HHES ROOF, DOORS, AND SIDING REPLACEMENT

Survey (Not Included)

Additional survey does not appear to be necessary for this project. Should elevation information be needed for door stoops or for basic drainage repairs, it can be obtained during the site visit for the condition surveys with the use of a hand level.

Site Basemap

EEI will prepare a basemap for the basis of the site design the CAD files provided by the owner, and supplemented as necessary based on as-builts for HHES original construction and upgrade projects. The basemap in AutoCAD format can be provided to the design team for their use.

Civil Site Design

The HHES was originally constructed in about 1980. There have been various upgrades to the school site and building since then. The current project will include a roof replacement, and repairs or replacement of the roof drainage system, doors, and siding. The civil scope will include an assessment of the roof drainage system, downstream of building piping, as shown by as-builts, and a review of reports of any problems experienced. If it is found there are any deficiencies, we will design repairs or replacement of drainage system components. Other possible site repairs may include providing new stoops or walkways adjacent to exterior doors, if

necessary to meet ADA accessibility requirements, or to otherwise provide safety improvements. Other potential site repair items might be identified as part of the Condition Survey.

EEI will prepare an overall site plan for the Hermon Hutchens Elementary School repair project. The site plan will be used for civil design upgrades discussed above. Potential construction access and staging areas can also be identified. General site work construction notes will be included.

EEI will provide a Site Details sheet which will contain details and sections to further define the work. Details may include storm drain repair details, and possibly an enlarged plan detail. It may include earthwork for an stoops or walkway repairs. The completed sheets will be provided for inclusion for owner review and permit submissions.

Specifications will be prepared for the site civil components as necessary, where notes on the plans are not sufficient. This may include storm drain improvements, including piping and structures.

We understand there will be design submittals at the 35%, 65%, 95%, and 100% design levels. We will attend coordination meetings via Teams as appropriate for the design phase of the work, and submittal review conferences. Otherwise, we assume that coordination will be by phone and emails. We will review civil components of construction cost estimates at the various submittals.

Bidding/Permitting (T&E)

During bidding and permitting, EEI will respond to comments or questions regarding our design. We assume that review submittals will be informal (accomplished with phone and email). Addenda sketches will be provided as necessary.

Engineering Support – Construction (T&E)

We anticipate that construction phase services will be requested of EEI. These services could include occasional consultation during construction for design clarification, changes, and possible unforeseen construction developments. We have included a minimal level of services, to include 8 office hours. No site visits are anticipated to be necessary during construction, and have not been included.

LIST OF DELIVERABLES

We will furnish the following documents for use in submittals. Drawings will be in pdf format that can be printed as necessary to meet requirements. We will provide you or the architect CAD drawing files at stages as necessary to coordinate the design.

HHES Project

- Site Plan
- Site Details (if applicable)
- Specifications
- Record Drawings

Condition Surveys

- Condition Survey Report #1 Valdez High School
- Condition Survey Report #2 Valdez Middle School
- Condition Survey Report #3 Hermon Hutchens Elementary School
- Condition Survey Report #4 Valdez District Office

EXCLUSIONS

As further clarification of our scope of services, the items listed below are not currently included.

- Off-site assessment
- Assessment of water or sewage storage or treatment systems inside buildings
- Cost estimating
- Survey
- Site drawings for condition surveys
- Gas, telephone, power, fire alarm, security, data systems, and site lighting are not included
- Travel delays
- Separate site visit for HHES Project

COMPENSATION

In accordance with your request, we propose to provide basic included services as described within this Letter of Understanding on a lump sum (fixed fee) basis as follows:

Condition Survey Service (LS)	Fee		
Site Visit (4 Sites)	\$ 6,200		
Condition Survey Reports (4 Reports)	\$ 9,400		
Lump Sum Fee	\$15,600		
HHES Design Service (LS)	Fee		
Site Basemap	\$ 4,200		
35% Schematic Design	\$ 2,500		
65% Design Development	\$ 3,100		
95% Construction Documents	\$ 3,100		
100% Bid Documents	\$ 1,200		
Record Drawings	\$ 1,200		
Lump Sum Fee	\$15,300		

Design Service (T & E)	Estimated Fee
Bidding/ Permitting	\$ 1,500
Construction Support	\$ 1,500
Total Estimated Fee (T & E)	\$ 3,000

We will bill on a monthly basis based on expenditures to date. The estimated T&E fees will not be exceeded without your written approval. Payment is expected within 30 days. Payment made after this time will incur a 1% interest charge.

SCHEDULE

EEI will be able to complete a basemap within 10 business days after receiving a Notice-to-Proceed (NTP) and a CAD file. Drawings for the 35% submittal can be completed within 2 weeks after we receive information regarding specific site repairs. Completion of the condition survey reports can be completed within 15 working days, after the site visit. We will make every effort to meet your schedule.

GENERAL CONDITIONS

A copy of our standard CONTRACT GENERAL CONDITIONS is attached. These general conditions become incorporated into this contract upon receipt of your signed authorization to proceed with the services stated in this Letter of Understanding.

AUTHORIZATION

Please sign and return one copy of this document to Enterprise Engineering, Inc. so that we may begin work on this project. Please call if you have any questions. We appreciate the opportunity to propose Consulting Engineering services.

Sincerely,

ENTERPRISE ENGINEERING, INC.

Carl Bassler

Carl A. Bassler, P.E. Principal, Chief Engineer-Civil

Attachments: Contract General Conditions

ACCEPTED BY:

DATE:

FOR:_____

ENTERPRISE ENGINEERING, INC. ATTACHMENT A - CONTRACT GENERAL CONDITIONS

Enterprise Engineering, Inc. is hereby defined as the CONSULTING ENGINEER. These Contract General Conditions apply to and are part of the Letter of Understanding for Scope of Services.

PAYMENT

Invoices will be submitted monthly and are due and payable within 30 days of invoice date. Balances unpaid within 30 days from date of invoice will be subject to a monthly service charge of 1% (12% per annum).

INSURANCE AND INDEMNITY

The CONSULTING ENGINEER shall maintain statutory workers compensation insurance coverage, employer's liability, comprehensive general liability insurance coverage, and professional liability insurance coverage.

The CONSULTING ENGINEER agrees, to the fullest extent permitted by law, to indemnify and hold harmless the CLIENT, its officers, directors and employees (collectively, CLIENT) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, to the extent caused by the CONSULTING ENGINEER's negligent performance of professional services under this agreement and that its subconsultants or anyone for whom the CONSULTING ENGINEER is legally liable.

The CLIENT agrees, to the fullest extent permitted by law, to indemnify and hold harmless the CONSULTING ENGINEER, its officers, directors and employees (collectively, CONSULTING ENGINEER) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, to the extent caused by the CLIENT's negligent acts in connection with the project and the acts of its contractors, subcontractors or consultants or anyone for whom the CLIENT is legally liable.

Neither the CLIENT nor the CONSULTING ENGINEER shall be obligated to indemnify the other party in any manner whatsoever for the other party's own negligence. In the event such claim, losses, damages, or expenses are legally determined to be caused by joint or concurrent negligence of CLIENT and the CONSULTING ENGINEER, they shall be borne by each party in proportion to its own negligence under comparative fault principles. Neither party shall have a duty to defend the other party, and no duty to defend is hereby created by this indemnity provision and such duty is explicitly waived under this agreement.

In the event that any portion of the indemnification undertaken by the CLIENT is determined by a court of competent jurisdiction to be invalid or unenforceable, the remaining indemnification provisions and the CLIENT's waiver of claims shall be considered severable and shall remain in full force and effect.

The CLIENT shall require any Contractor(s) or Subcontractor(s) who performs work in any way connected with this Project, and the Construction Contract Documents produced under this Agreement, to hold harmless, indemnify, and defend the CLIENT and the CONSULTING ENGINEER, their consultants, and each of their officers, and employees from any and all liability claims, losses, or damage arising out of, or alleged to arise from, the Contractor's or Subcontractor's negligence in the performance of the work described in the Construction Contract Documents, but not including liability due to the sole negligence of the CLIENT, the CONSULTING ENGINEER, their consultants, or their officers, and employees.

WAIVER OF CONSEQUENTIAL DAMAGES

Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the CLIENT nor the CONSULTING ENGINEER, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement. This mutual waiver of consequential damages shall include, but is not limited to, loss of use, loss of profit, loss of business, loss of income, loss of reputation and any other consequential damages that either party may have incurred from any cause of action including negligence, strict liability, breach of contract and breach of strict or implied warranty. Both the CLIENT and the CONSULTING ENGINEER shall require similar waivers of consequential damages protecting all the entities or persons named herein in all contracts and subcontracts with others involved in this project.

FIDUCIARY RESPONSIBILITY

CLIENT confirms that neither CONSULTING ENGINEER nor any of CONSULTING ENGINEER'S subconsultants or subcontractors has offered any fiduciary service to CLIENT and no fiduciary responsibility shall be owed to CLIENT by CONSULTING ENGINEER or any of CONSULTING ENGINEER's subconsultants or subcontractors, as a consequence of CONSULTING ENGINEER's entering into this agreement with CLIENT.

CONFLICT RESOLUTION

The CLIENT agrees that mandatory arbitration clauses will not be included in any contract between the CLIENT and CONSULTING ENGINEER.

To resolve any conflicts that arise during or following the completion of the project, the CLIENT and the CONSULTING ENGINEER agree that all disputes between them, arising out of or relating to this Agreement, shall be submitted to non-binding mediation unless the parties mutually agree otherwise. The CLIENT and the CONSULTING ENGINEER further agree to include a similar mediation provision in all agreements with independent contractors and consultants retained for the project and to require all independent contractors and consultants to likewise include a similar mediation provision in all agreements with subcontractors, subconsultants, suppliers or fabricators so retained, thereby providing for mediation as the primary method for dispute resolution between the parties to those agreements.

CLIENT'S RESPONSIBILITIES

The CLIENT shall be responsible to accomplish the following at no additional cost to the CONSULTING ENGINEER:

- Designate a person authorized to act as the CLIENT'S representative. The CLIENT'S representative shall receive and examine documents submitted by the CONSULTING ENGINEER, interpret and define the CLIENT'S policies, and render decisions and authorizations promptly to prevent unreasonable delay in the progress of the services.
- 2. Provide all criteria and standards and full information as to the CLIENT'S requirements for the project.
- Furnish right-of-entry, provide access, and make all other necessary provisions for the CONSULTING ENGINEER to enter upon public and private lands as required to complete the project.
- 4. Compensate the CONSULTING ENGINEER for all services described herein and for those authorized as additional reimbursable services.

STANDARD OF CARE

Service performed by the CONSULTING ENGINEER under this Agreement will be conducted in a manner consistent with that level of care and skill that is ordinarily exercised by members of the profession currently practicing under similar conditions. No other representations to CLIENT, express or implied, and no warranty or guarantee is included or intended in this agreement, or in any report, document, or other communications.

LIMITATION OF LIABILITY

The CLIENT agrees to limit the CONSULTING ENGINEER's liability to the CLIENT and to all construction Contractors and their Subcontractors on the project, due to the CONSULTING ENGINEER's negligent acts, errors, or omissions, such that the total aggregate liability of the CONSULTING ENGINEER to those named above shall not exceed \$250,000 or the CONSULTING ENGINEER's total fee for services rendered on this project, whichever is greater.

DOCUMENTS

All documents, designs, drawings, specifications, reports, and other work product of the CONSULTING ENGINEER for this project are instruments of service for this project only. Reuse of any of the instruments of service of the CONSULTING ENGINEER by the OWNER or CLIENT on extensions of this project or on any other project without the written permission of the CONSULTING ENGINEER shall be at the OWNER's or CLIENT's risk and the OWNER or CLIENT agrees to defend, indemnify, and hold harmless the CONSULTING ENGINEER from all claims, damages, and expenses including attorneys' fees arising out of such unauthorized reuse of the CONSULTING ENGINEER's instruments of service by the OWNER, CLIENT, or others acting through the OWNER or CLIENT.

JOBSITE SAFETY

Neither the professional activities of the CONSULTING ENGINEER, nor the presence of its employees or any of its subconsultants at a construction/project site, shall impose any duty on the CONSULTING ENGINEER, nor relieve any Contractor or Subcontractor who performs Construction work in any way connected with this Project and the Construction Contract Documents produced under this Agreement of its obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending and coordinating the Work in accordance with the Contract Documents and any health or safety precautions required by any regulatory agencies.

The CONSULTING ENGINEER and its personnel have no authority to exercise any control over any Construction Contractor or its employees in connection with their work or any health or safety programs or procedures. The CLIENT agrees that the Construction Contractor shall be solely responsible for jobsite and worker safety and warrants that this intent shall be carried out in the CLIENT's contract with the Construction Contractor. The CLIENT also agrees that the Construction Contractor shall defend and indemnify the CLIENT, the CONSULTING ENGINEER and its subconsultants. The CLIENT also agrees that the CONSULTING ENGINEER and its subconsultants, shall be made additional insureds under the General Contractor's policies of general liability insurance.

TERMINATION OF AGREEMENT

This agreement may be terminated by either party upon seven (7) days written notice. Upon termination, the CONSULTING ENGINEER shall be compensated for all services performed to the date of receipt of notice of termination, plus all reimbursable expenses then due, plus all reasonable additional expenses which may be incurred in the closing out of project records and project activities.

Upon termination, the CONSULTING ENGINEER shall deliver to the CLIENT one (1) copy of all otherwise deliverable studies, sketches, calculations, drawings, estimates, reports, records, schedules, and other such information and data accumulated in the performance of services under this Agreement, whether completed or not, provided, however, that: 1) the CLIENT shall hold harmless, indemnify and defend the CONSULTING ENGINEER against all losses, claims, and damages arising out of any use of such information and data for the completion of this project, extensions to this project, or for any other project; 2) it is understood and agreed that the CONSULTING ENGINEER's title block and seal shall be removed from all documents on which they might otherwise appear (whether previously delivered to the CLIENT or not); and 3) payment in full to the CONSULTING ENGINEER for all services rendered, reimbursable expenses incurred, and termination fees due is rendered at the time of delivery of such information and data.

March 16, 2022 File No. 402022.913.002

Mr. Victor V. Valenote,

BDS Architects 3330 C Street, #200 Anchorage, Alaska 99503

Subject: Agreement for Professional Services, City of Valdez Condition Assessments

Dear Mr. Valenote:

Thank you for considering Reid Middleton to provide professional structural engineering services for the Condition Assessment and Seismic Evaluation project in Valdez, Alaska. We look forward to working with you on this project.

A. PROJECT UNDERSTANDING

We understand that City of Valdez is considering four condition assessments and one seismic evaluation of existing buildings in Valdez, Alaska. Reid Middleton will provide design and construction phase structural engineering services as described in Section B.

B. SCOPE OF SERVICES

- 1. The City of Valdez Condition Assessments Project consists of condition assessments of four separate facilities; Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School, and the Valdez District Office. The Valdez High School will also undergo Seismic Evaluations.
- 2. Condition Assessments: Reid Middleton will perform site visits with the intent of visually inspecting each of the four aforementioned buildings to determine the condition of all structural systems. Existing available drawings will be reviewed to identify variations between plans and buildings, and to recognize any potential design issues. A condition assessment report for each facility will include an executive summary, information regarding the building's history, an overview of the structural systems, and structural observations and recommendations. Photos will be included to illustrate report findings.
- 3. Tier 1 Report: Reid Middleton will perform an American Society of Civil Engineers (ASCE) Tier 1 Seismic Evaluation of the Valdez High School. The seismic evaluation will be performed using the reference standard document titled ASCE 41-17, Seismic Evaluation and Retrofit of Existing Buildings. The Tier 1 analysis is a 'quick check' procedure that evaluates whole building and detects all potential seismic issues using checklists. Existing drawings will be reviewed to inform the site visit (performed concurrently with the condition assessment). A report will be produced that

ALASKA 4300 B Street Suite 302 Anchorage, AK 99503 907 562-3439

CORPORATE 728 134th Street SW Suite 200 Everett, WA 98204

425 741-3800

www.reidmiddleton.com

desired, this report can be appended to the Condition Assessment Report. Recommendations for repairs will be made with an emphasis on items that can be accomplished during the exterior envelope renovation project.

- 4. Task 1: Valdez High School Condition Assessment Report.
- 5. Task 2: Valdez High School Tier 1 Seismic Evaluation
- 6. Task 3: Hermon Hutchens Condition Assessment Report.
- 7. Task 4: Valdez District Office Condition Assessment Report
- 8. Task 5: Valdez Middle School Condition Assessment Report
- 9. Reid Middleton will provide the reports in pdf format for the final submittals.
- 10. Additional services may be requested by BDS architects on a Time and Expense basis. These additional services may include, but are not limited to, additional meetings, field investigation, additional site visits, engineers estimate, and additional design services.

C. PERIOD OF PERFORMANCE

Reid Middleton will begin services upon receipt of a signed agreement and will make every reasonable effort to complete the services in a timely manner considering the needs of the project.

We anticipate that we can have the reports complete within 4-5 months after receiving the NTP.

D. CLIENT'S RESPONSIBILITIES

BDS Architects shall provide available pertinent data, documents, plans, elevations, sections and details and other information to Reid Middleton as necessary to complete the services outlined in Part A (Project Understanding) or Part B (Scope of Services).

BDS Architects will coordinate all other disciplines, and the owner to ensure that information flows in a timely and efficient manner.

E. ASSUMPTIONS AND EXCLUSIONS

Our scope of work is based on the following assumptions and exclusions:

- 1. Record drawings of the existing building are available for review. No as-builting of the existing building is included. All as-builting time will be billed on a Time and Expense basis.
- 2. This project will not be subject to the normal review process at 35%, 65% or 95% design levels. Our budget does not include any time to attend design review meetings other than normal coordination with BDS Architects and meetings to discuss report findings with the owner at the completion of each report.

- 3. Design examples of items NOT part of our design fee:
 - a. Any ancillary facilities in relation to this project requiring our design services other than those outlined in Part A (Project Understanding) or Part B (Scope of Services).
 - b. Any structural design services.
 - c. Cost estimates
- 4. Reproduction and distribution of progress or final design drawings will be the responsibility of others.

Note that these non-scope items can be provided as additional services upon request on a Time and Expense basis.

F. COMPENSATION

For services described in Section B, Reid Middleton shall be paid the lump sum as outlined below:

Phase of Services	Staff Hours	Fee	Estimated Reimbursable Expenses
Task 1 (Valdez High School Condition Assessment)	26	\$ 4,350	
Task 2 (Valdez High School Tier 1 Seismic Evaluation)	37	\$5,640	
Task 3 (Valdez Middle School Condition Assessment)	20	\$ 3,720	
Task 4 (Hermon Hutchens School Condition Assessment)	22	\$ 4,190	
Task 5 (Valdez District Office)	14	\$ 3,400	
TOTAL Structural Services		\$21,300	\$1,688

One site visit is indicated for condition assessments and seismic evaluation. If we exceed the budgeted man-hours and expenses for reasons beyond our control (for example for multiple site visits or weather-related travel plan adjustment) we reserve the right to request for additional compensation.

For any items noted as Time and Expense, Reid Middleton shall be paid on a time-plusexpense basis in accordance with provisions of the attached Exhibit A (Schedule of Charges) Effective July 1, 2021, or on the basis of such other mutually satisfactory arrangements as may be negotiated.

G. REID MIDDLETON STAFF

Jason Kwiatkowski will be the primary contact for this proposal. However, other individuals at Reid Middleton will work on aspects of your project as required.

H. CONDITIONS OF AGREEMENT

The terms and conditions of the attached Exhibit B (Conditions of Agreement) are included as part of this agreement.

We appreciate the opportunity to submit this proposed agreement. The terms of this agreement will become effective when confirmed by your signature within 30 days. If you wish to pursue this project after that time, this agreement may then be renegotiated. If the terms are acceptable, please sign your acceptance below and return one executed copy to Reid Middleton.

If you have any questions or comments, please call me to discuss.

Sincerely, **Reid Middleton, Inc**.

Anthe

Jason Kwiatkowski, P.E. Project Manager – Alaska Office March 16, 2022

ACCEPTED:
BDS Architects

Ву	_
Title	_
Date	_

Attachments

Reid Middleton Exhibit A, "Schedule of Charges – Alaska" Reid Middleton Exhibit B, "Conditions of Agreement" Fee Proposal, "City of Valdez Condition Assessments 2022"

Reid Middleton, Inc. Exhibit "A" Schedule of Charges - Alaska Effective July 1, 2021 through June 30, 2022

Compensation shall be based on time and expenses directly attributable to the project and shall follow the schedule below unless another method of compensation has been expressed in the written agreement.

I. Personnel

Hourly Rate

Principal \$230.00)
Principal	Ĵ
Associate \$200.0)
Senior Engineer \$178.00 Project Engineer \$158.00 Design Engineer/Designer II/Design Technician \$143.00 Designer I \$127.00 Project Administrator \$122.00)
Project Engineer\$ 158.00)
Design Engineer/Designer II/Design Technician \$143.00)
Designer I\$ 127.00)
Project Administrator\$ 122.00)
CAD Technician II \$ 127.00)

Expert Witness/Forensic Engineering 1.5 times usual hourly rate (4 hour minimum)

Individuals not in the regular employ of Reid Middleton may occasionally be engaged to meet specific project requirements. Charges for such personnel will be comparable to charges for regular Reid Middleton personnel.

A premium of 1.5 times the usual hourly rate may be charged if project requirements make overtime work necessary.

II. Reimbursable Expenses

The following charges shall apply to all agreements unless specifically stated otherwise. For fixed fee or lump sum agreements, these charges shall be over and above the stated fixed fee or lump sum.

Mileage.....\$ 0.56/mile

Expenses other than Reid Middleton's professional services that are directly attributable to the project are invoiced at cost plus 15%. These expenses include, but are not limited to, subconsultant or subcontractor services, travel and subsistence, communications, couriers, postage, fees and permits, document reproduction, special instrumentation and field equipment rental, premiums for additional insurance where required, special supplies, and other costs directly applicable to the project.

A new schedule of charges is issued and becomes effective July 1 each year. Unless the agreement states otherwise, charges for all work, including continuing projects initiated in prior years, will be based on the latest schedule of charges.

III. Payments

Fees and all other charges are billed monthly as services progress. The full amount of each invoice is due and payable thirty (30) days after the date of such invoice. Any amount not paid within thirty (30) days of the date of the invoice shall be considered delinquent and shall bear a delinquency charge of 1-1/2 percent per month (or, if lower, the maximum rate allowed by law) from the date of the invoice. Failure to make a payment by the due date is a substantial breach of a material term of the parties' agreement, and Reid Middleton may, at its option, suspend services or terminate this agreement in that event. The delinquency charge or payment thereof shall not extend the due date or affect the right to suspend services or terminate. Payments received on delinquent accounts will be applied first to accrued delinquency charges and then to the unpaid principal amount.



Reid Middleton. Inc. Exhibit "B" Conditions of Agreement - Alaska

Charges for Additional Services performed are in addition to charges specified in the agreement and shall I. be included on invoices sent to the client Additional Services shall be performed at the rates specified in the current Exhibit "A," Schedule of Charges – Alaska.

Reid Middleton shall notify the client if it believes that any direction given by the client or any circumstances presented by the project requires the performance of services beyond the scope of the agreement. If the client disagrees that the services are beyond the scope of the agreement, or if the client prefers that the identified services not be performed, it shall notify Reid Middleton within one week of its receipt of Reid Middleton's original notice. If no such notice is received, Reid Middleton shall be authorized to perform the identified services as Additional Services.

- Additional Services shall include, without limitation, the following: 1. Replacement of stakes destroyed by parties other than Reid Middleton or by an act of God;
- Making revisions to drawings, specifications or other documents which are inconsistent with approvals or instructions previously given by the client, required due to changes in the law or required due to 2. changes in the overall project;
- Providing services due to default or defective performance on the part of the construction contractor; 3
- 4. Providing services to address unanticipated or unforeseen site conditions; or
- Providing other services beyond the scope of services described in the agreement. 5.
- II. All drawings, specifications, electronic media, and other documents prepared by Reid Middleton for this project are instruments of Reid Middleton's service for use solely with respect to this project. Reid Middleton shall be deemed to be the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The client shall be entitled to retain copies of the instruments of service for reference in connection with its use and occupancy of the project. Reid Middleton shall remove all indices of its ownership, professional corporation name, and/or involvement from each electronic media. Reid Middleton's drawings, specifications, electronic media, or other documents shall not be used by the client or by others on other projects, for additions to this project or for completion of this project by others, except by agreement in writing signed by Reid Middleton and with appropriate compensation to Reid Middleton. Any unauthorized use of the documents shall be at the client's sole risk, and the client shall indemnify, defend and hold Reid Middleton harmless from all claims, damages, losses or expenses, including attorney fees, related to or arising from such unauthorized use. Submission or distribution of documents to meet regulatory requirements or for similar purposes in connection with this project is not to be construed as publication in derogation of Reid Middleton's reserved rights.
- III. Reid Middleton shall not be liable for damages resulting from the actions or inactions of governmental agencies, and Reid Middleton shall act only as an advisor in all governmental communications and relations. Reid Middleton does not guarantee that requisite permits or authorizations will be issued.
- Reid Middleton shall have no responsibility for the discovery, presence, handling, removal or disposal of IV. pollutants or hazardous materials (including but not limited to asbestos, asbestos products, PCB or other toxic substances) in any form at the project site. In no event Shall Reid Middleton (or its officers, directors, employees or consultants) be liable for costs, losses or damages -- including but not limited to delay costs or damages due to personal injury, sickness or death, or damage to property -- resulting from or related to the presence of pollutants or hazardous materials at the project site.
- V. In the event of a dispute arising out of or related to the agreement, or the breach or alleged breach hereof, which dispute cannot be resolved through negotiations between the parties, the parties agree that the dispute shall be submitted to nonbinding mediation. Unless the parties subsequently agree upon a different mediation service or mediator, the dispute shall be submitted to the American Arbitration Association, acting under its construction mediation rules and procedures. Either party may make the initial submission. Each party shall pay its own costs (including, if applicable, its attorney and expert witness costs) and one-half of the charge levied by the mediation service and mediator.

If any dispute is not resolved through nonbinding mediation, venue for litigation arising under or related to this agreement, or the breach or alleged breach hereof, shall be in the Superior Court for the State of Alaska, 3rd Judicial District, at Anchorage, Alaska. The substantially prevailing party in litigation shall be awarded its costs, attorney fees and expert witness fees incurred for trial preparation, trial and, if applicable, any and all appeals. The agreement shall be governed by the internal laws of the State of Álaska.

VI. Causes of action between the parties related to or arising out of the agreement shall be deemed to have accrued, and the applicable statute of limitations shall commence to run, no later than the date on which Reid Middleton last performs substantial services under this agreement.



PREPARED FOR: BDS												
PREPARED BY: Jason Kwiatkowski, PE							Terms:	LUMP SUN	И			
PROPOSAL NO: 402022.913.002												
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TEM		PRINCIPAL		ENGINEER	ENGINEER	ENGINEER	I	ADMIN	TOTALS	TOTALS	to Task F	lee
PMProject Management												
Contract Review/Project Setup								1	\$ 122			
Misc. Project Management	1			4					\$ 942			
											Task break	out
Final QC Review	4								\$ 920		amount	
Subtotal Task PM	5	0	0	4	0	0	0	1	10	\$ 1,984	\$	397
											1	
1 Condition Survey High School											+	
Site visit				8					\$ 1,424			
mmeting				0	1				\$ 158		+	
Report	1				15				\$ 2,370		ł	
	0	0	0	8	15	0	0	0	, ,	¢ 2052	¢	4 2 4 0
Subtotal Task 1	U	U	U	8	16	U	U	U	24	\$ 3,952	\$ 4	4,349
3 Condition Survey Middle School												
Site visit				8					\$ 1,424			
meeting					1				\$ 158			
Report					11				\$ 1,738			
Subtotal Task 3	0	0	0	8	12	0	0	0	20	\$ 3,320	\$ 3	3,717
4 Condition Survey HHES												
Site visit				8					\$ 1,424			
Report					14				\$ 2,212			
Meeting					1				\$ 158		+	
Subtotal Task 4	0	0	0	8	15	0	0	0	23	\$ 3,794	\$ 4	4,191
Subtotal Lask 4	v	v	v	0	15	Ū	v	v	20	\$ 5,774	Ψ 1	,,,,,
5 Condition Survey Valdez District Office											+	
Site visit				8					\$ 1,424		+	
				8	0						+	
Report					9				\$ 1,422			
Meeting					1				\$ 158			
									\$ -		l	
									\$ -		L	
Subtotal Task 5	0	0	0	8	10	0	0	0	18	\$ 3,004	\$ 3	3,401
2 Tier 1 Valdez High School												
Tier 1					16	19			\$ 5,245]
meeting accounted in condition survey									\$-			
Subtotal Task 2	0	0	0	0	16	19	0	0	35	\$ 5,245	\$ 5	5,642
											1	
TOTAL HOURS:	5	0	0	36	69	19	0	1		\$ 21,299	\$ 21	1,299
HOURLY RATE:	\$ 230	\$ 210	\$ 200	\$ 178	\$ 158	\$ 143	\$ 127	\$ 122	1	J 21,277	<u> </u>	.,_,,
SUBTOTAL LABOR:	\$ 230	\$ 210	\$ 200 \$0	\$ 178	\$ 138	\$ 143	\$ 127	\$ 122	\$21,299		╂────	
SUBTOTAL LABOR: ESTIMATED REIMBURSABLE EXPENSES	\$1,150	\$0	\$0	30,408	\$10,902	\$2,/1/	20	\$122	\$21,299		╂────	
											┼────	
FOTAL EST FEE:	1	1	1	1	1	1	1	1	\$22,987	1	1	

REID MIDDLETON, INC. STRUCTURAL ENGINEER'S FEE ESTIMATE

PROJECT: CITY OF VALDEZ CONDITION SURVEYS 2022 PROJECT. ---PREPARED FOR: BDS

ITEM	PRINCIPAL	ASSOCIATE PRINCIPAL	ASSOCIATE	SENIOR ENGINEER	PROJECT ENGINEER	DESIGN ENGINEER	DESIGNER I	PROJECT ADMIN	LINE TOTALS		TASK DTALS	Mangem	Project 1ent added 1sk Fee
		TRINCITAL		ENGINEER	ENGINEER	EIGHTEEK		ADMIN	IOTALS	10	JIALS	10 1 4	SK FCC
PMProject Management													-
Contract Review/Project Setup		-	-					1	\$ 122				
Misc. Project Management	1	-	-	4				1	\$ 122 \$ 942				
Mise. Floject Management	1			4					\$ 942			Task bre	eek out
F. LOGD	4								6 020			amount	
Final QC Review	4				0	0			\$ 920	٩	1 00 1		
Subtotal Task PM	5	0	0	4	0	0	0	1	10	\$	1,984	\$	397
1 Condition Survey High School				0					6 1 424				
Site visit				8					\$ 1,424				
mmeting					1				\$ 158				
Report					15				\$ 2,370				
Subtotal Task 1	0	0	0	8	16	0	0	0	24	\$	3,952	\$	4,349
3 Condition Survey Middle School													
Site visit				8					\$ 1,424				
meeting					1				\$ 158				
Report					11				\$ 1,738				
Subtotal Task 3	0	0	0	8	12	0	0	0	20	\$	3,320	\$	3,717
4 Condition Survey HHES													
Site visit				8					\$ 1,424				
Report					14				\$ 2,212				
Meeting					1	-			\$ 158				-
Subtotal Task 4	0	0	0	8	15	0	0	0	23	\$	3,794	\$	4,191
			0	Ū	10		v	•		Ψ		Ψ	.,
5 Condition Survey Valdez District Office													
Site visit				8					\$ 1,424				
Report				0	9				\$ 1,422				
Meeting					1				\$ 158				-
Meeting					1				\$ 156				-
		-	-						\$ -				
Subtotal Task 5	0	0	0	8	10	0	0	0	18	\$	3,004	\$	3,401
Subtotal Lask 5	U	U	U	0	10	U	U	U	10	3	3,004	3	3,401
2 Tier 1 Valdez High School					16	10			0 5 2 1 5				
Tier 1	-				16	19			\$ 5,245				
meeting accounted in condition survey						10			\$ -				
Subtotal Task 2	0	0	0	0	16	19	0	0	35	\$	5,245	\$	5,642
TOTAL HOURS:	5	0	0	36	69	19	0	1		\$	21,299	\$	21,299
HOURLY RATE:	\$ 230	\$ 210	\$ 200	\$ 178	\$ 158	\$ 143	\$ 127	\$ 122					
SUBTOTAL LABOR:	\$1,150	\$0	\$0	\$6,408	\$10,902	\$2,717	\$0	\$122	\$21,299				
ESTIMATED REIMBURSABLE EXPENSES	8								\$1,688	1			
TOTAL EST FEE:									\$22,987				

A: REIMBURSABLES INCLUDE PHOTOS, MILEAGE, PER DIEM COSTS, PLOTTING & COURIER CHARGES. B: REFER TO REID MIDDLETON, INC EXHIBITS A & B.

Date: 3/16/2022

March 16, 2022 File No. 402022.913.002

Mr. Victor V. Valenote,

BDS Architects 3330 C Street, #200 Anchorage, Alaska 99503

Subject: Agreement for Professional Services, Hermon Hutchens Elementary School Upgrades

Dear Mr. Valenote:

Thank you for considering Reid Middleton to provide professional structural engineering services for the Hermon Hutchens Elementary school (HHES) Seismic Evaluation, Roof and Envelope Upgrade project in Valdez, Alaska. We look forward to working with you on this project.

A. PROJECT UNDERSTANDING

We understand that City of Valdez is considering upgrades to the Hermon Hutchens Elementary School in Valdez, Alaska. Reid Middleton will provide design and construction phase structural engineering services as described in Section B.

B. SCOPE OF SERVICES

- 1. The City of Valdez HHES Elementary School Upgrade Project consists of a seismic evaluation, reroof of the main building, roof structure upgrade design, and siding replacement,
- 2. Tier 1 Report: Reid Middleton will perform an American Society of Civil Engineers (ASCE) Tier 1 Seismic Evaluation of the Hermon Hutchens Elementary school. The seismic evaluation will be performed using the reference standard document titled ASCE 41-17, Seismic Evaluation and Retrofit of Existing Buildings. The Tier 1 analysis is a 'quick check' procedure that evaluates whole building and identifies all potential seismic issues using checklists. Existing drawings will be reviewed to inform the site visit (performed concurrently with the condition assessments). A report will be produced that summarizes the findings of the evaluation. Photos will be included to clarify findings. Recommendations for repairs will be made with an emphasis on items that can be accomplished during the reroof and siding repair project.
- 3. Roof Replacement: Reid Middleton will perform an analysis to determine effects of a replacement roofing and provide recommendations for minimizing complications with new roof. The roof structure will be analyzed for snow drift accumulation. A current code (ASCE 7-16) based gravity analysis of all roof structural members and associated gravity components will be performed. This analysis will result in retrofit solutions,

ALASKA

4300 B Street Suite 302 Anchorage, AK 99503 907 562-3439

CORPORATE

728 134th Street SW Suite 200 Everett, WA 98204 425 741-3800

www.reidmiddleton.com

where possible, and replacement of structural members. The intent of the retrofits and repairs is to increase roof capacity to handle full design snow loads. Connection capacities of steel and concrete connections will be analyzed for compliance. The findings of this analysis will be presented in the structural design drawings as part of the milestone submittals.

- 4. Siding Replacement: Reid Middleton will provide analysis and design services for the proposed replacement of the existing system with a new metal panel system. Guidance will be provided to ensure code compliance of new product with the goal of avoiding substantial structural retrofit requirements. Information to support the new siding will be presented in the structural design drawings as part of the milestone submittals
- 5. Task 1 (Schematic Design, 35% and Tier 1 Report): Reid Middleton will provide structural schematic plan drawings. The Tier 1 Seismic Evaluation Report will be provided as part of this submittal. Structural specifications and calculations will not be provided for this Task.
- 6. Task 2 (Design Development, 65%): Reid Middleton will provide structural analysis and design for the design development phase. Structural drawings and specifications, developed to 65% of completion will be provided for this Task.
- 7. Task 3 (Construction Documents,95%): Reid Middleton will provide structural analysis and design for the Construction documents. Structural drawings and specifications, developed to 95% of completion will be provided for this Task.
- 8. Task 4 (Bid Documents, 100%): Reid Middleton will provide structural analysis and design for the Bid Documents. Structural drawings and specifications, developed to completion will be provided for this Task The analysis and design will be limited to the roof-including associated gravity components, and the siding. These drawings will be stamped and sealed per Alaska state law.
- 9. Reid Middleton will provide the Tier 1 report in PDF format. Reid Middleton will provide structural PDFs for 35%, 65%, 95%, and Construction Documents submittals.
- 10. We anticipate using Autodesk Revit to prepare our drawings and will use the Architect's Revit model as a background for our Revit drawings. A precise level of detail and quantities are not intended or guaranteed. The Revit file will only contain enough information to produce printed construction documents (including a mix of 2D and 3D information) and will not contain the level of precision or detail needed for fabricators and contractors to produce shop or fabrication drawings directly from the Revit file or the final submittals.
- 11. Task 5 (Biding and Permitting): Reid Middleton will provide services as requested to assist in facilitation of the bidding process as well as evaluating bids as requested. Reid Middleton will resolve structural permit comments in a timely manner to the Authorities Having Jurisdiction.
- 12. Task 6 (Construction Administration): Reid Middleton will respond to RFIs and submittals associated with the structural design. We will provide one site visit and structural observation report during construction.

- a. Task 6A (Special Inspection Services): Reid Middleton will assist in coordinating with the Project Special Inspection and Testing Firm as detailed in Item E.4 in the Assumptions and Exclusions section.
- 13. Additional services may be requested by BDS architects on a Time and Expense basis. These additional services may include, but are not limited to, additional meetings, field investigation, additional site visits, engineers estimate, and additional design services.

C. PERIOD OF PERFORMANCE

Reid Middleton will begin services upon receipt of a signed agreement and will make every reasonable effort to complete the services in a timely manner considering the needs of the project.

We anticipate that we can have the reports complete within project timeline as provided by the Architect.

D. CLIENT'S RESPONSIBILITIES

BDS Architects shall provide available pertinent data, documents, plans, elevations, sections and details and other information to Reid Middleton as necessary to complete the services outlined in Part A (Project Understanding) or Part B (Scope of Services).

BDS Architects will coordinate all other disciplines, and the owner to ensure that information flows in a timely and efficient manner.

E. ASSUMPTIONS AND EXCLUSIONS

Our scope of work is based on the following assumptions and exclusions:

- 1. Record drawings of the existing building are available for review. No as-builting of the existing building is included. All as-builting time will be billed on a Time and Expense basis.
- 2. The site visit to evaluate the building and perform the Tier 1 Evaluation will be accomplished and expensed as part of the four-building condition assessment project and is not included in this fee.

- 3. Design examples of items NOT part of our design fee:
 - a. Any ancillary facilities in relation to this project requiring our design services other than those outlined in Part A (Project Understanding) or Part B (Scope of Services).
 - b. Seismic upgrade design or drawings as recommended in the Tier 1 Report.
 - c. Lateral (seismic) analysis of the school.
 - d. Attachment of roofing and siding to the building these calculations are produced and stamped by manufacturer as part of the deferred submittal.
 - e. Engineering for the seismic anchorage of mechanical or electrical equipment.
- 4. Cost Estimates
- 5. Construction Administration examples of items not in our CA fee:
 - a. Calculations to assist with the Contractor's Means and Methods, such as shoring, temporary conditions, partially completed structures or sequencing.
 - b. As-built drawings
- 6. Special Inspection services are anticipated for this project.
 - a. Special inspection services that are included with this fee proposal
 - i. Assistance with locating a qualified special inspection firm. Office based coordination, scheduling, communication, distribution of reports to stakeholder, and interpretation of all Special Inspection reports and tests.
 - b. Special Inspection services that are not in our part of our fees:
 - i. Reid Middleton understands that the Special Inspection and Testing Firm will contract directly with the Owner who will compensate for all fees and expenses associated with the project.
- 7. Reproduction and distribution of progress or final design drawings will be the responsibility of others.

Note that these non-scope items can be provided as additional services upon request on a Time and Expense basis.

F. COMPENSATION

For services described in Section B, Reid Middleton shall be paid the lump sum as outlined below:

Phase of Services	Staff Hours	Fee	Estimated Reimbursable Expenses
Task 1 (35% Schematic Design and Tier 1 report- Lumps Sum)	161	\$ 25,920	
Task 2 (65% Design Development – Lump Sum)	128	\$20,118	
Task 3 (95% Construction Documents -Lump Sum)	104	\$ 16,476	
Task 4 (100% Bid Documents- Lump Sum)	25	\$ 4,338	
Task 5 (Bidding and Permitting – T&E NTE)	9	\$ 1,512	
Task 6 (CA Services – T&E NTE)	158	\$26,024	
Task 7 (Record Drawings – T&E)	11	\$2000	
TOTAL Structural Services		\$96388	\$1,044

One site visit is indicated for a visit during the CA processes to complete a structural observation report. If we exceed the budgeted man-hours and expenses for reasons beyond our control (for example for multiple site visits or weather-related travel plan adjustment) we reserve the right to request for additional compensation.

For any items noted as Time and Expense, Reid Middleton shall be paid on a time-plusexpense basis in accordance with provisions of the attached Exhibit A (Schedule of Charges) Effective July 1, 2021, or on the basis of such other mutually satisfactory arrangements as may be negotiated.

G. REID MIDDLETON STAFF



Jason Kwiatkowski will be the primary contact for this proposal. However, other individuals at Reid Middleton will work on aspects of your project as required.

H. CONDITIONS OF AGREEMENT

The terms and conditions of the attached Exhibit B (Conditions of Agreement) are included as part of this agreement.

We appreciate the opportunity to submit this proposed agreement. The terms of this agreement will become effective when confirmed by your signature within 30 days. If you wish to pursue this project after that time, this agreement may then be renegotiated. If the terms are acceptable, please sign your acceptance below and return one executed copy to Reid Middleton.

ACCEPTED:

If you have any questions or comments, please call me to discuss.

Sincerely, **Reid Middleton, Inc**.

Anthe

Jason Kwiatkowski, P.E. Project Manager – Alaska Office March 18, 2022

BDS Architects	
Ву	
Title	
Date	

Attachments

Reid Middleton Exhibit A, "Schedule of Charges – Alaska" Reid Middleton Exhibit B, "Conditions of Agreement" Fee Proposal, "HHES Upgrades"



Reid Middleton, Inc. Exhibit "A" Schedule of Charges - Alaska Effective July 1, 2021 through June 30, 2022

Compensation shall be based on time and expenses directly attributable to the project and shall follow the schedule below unless another method of compensation has been expressed in the written agreement.

I. Personnel

Hourly Rate

Expert Witness/Forensic Engineering 1.5 times usual hourly rate (4 hour minimum)

Individuals not in the regular employ of Reid Middleton may occasionally be engaged to meet specific project requirements. Charges for such personnel will be comparable to charges for regular Reid Middleton personnel.

A premium of 1.5 times the usual hourly rate may be charged if project requirements make overtime work necessary.

II. Reimbursable Expenses

The following charges shall apply to all agreements unless specifically stated otherwise. For fixed fee or lump sum agreements, these charges shall be over and above the stated fixed fee or lump sum.

Mileage.....\$ 0.56/mile

Expenses other than Reid Middleton's professional services that are directly attributable to the project are invoiced at cost plus 15%. These expenses include, but are not limited to, subconsultant or subcontractor services, travel and subsistence, communications, couriers, postage, fees and permits, document reproduction, special instrumentation and field equipment rental, premiums for additional insurance where required, special supplies, and other costs directly applicable to the project.

A new schedule of charges is issued and becomes effective July 1 each year. Unless the agreement states otherwise, charges for all work, including continuing projects initiated in prior years, will be based on the latest schedule of charges.

III. Payments

Fees and all other charges are billed monthly as services progress. The full amount of each invoice is due and payable thirty (30) days after the date of such invoice. Any amount not paid within thirty (30) days of the date of the invoice shall be considered delinquent and shall bear a delinquency charge of 1-1/2 percent per month (or, if lower, the maximum rate allowed by law) from the date of the invoice. Failure to make a payment by the due date is a substantial breach of a material term of the parties' agreement, and Reid Middleton may, at its option, suspend services or terminate this agreement in that event. The delinquency charge or payment thereof shall not extend the due date or affect the right to suspend services or terminate. Payments received on delinquent accounts will be applied first to accrued delinquency charges and then to the unpaid principal amount.



Reid Middleton. Inc. Exhibit "B" Conditions of Agreement - Alaska

Charges for Additional Services performed are in addition to charges specified in the agreement and shall I. be included on invoices sent to the client Additional Services shall be performed at the rates specified in the current Exhibit "A," Schedule of Charges – Alaska.

Reid Middleton shall notify the client if it believes that any direction given by the client or any circumstances presented by the project requires the performance of services beyond the scope of the agreement. If the client disagrees that the services are beyond the scope of the agreement, or if the client prefers that the identified services not be performed, it shall notify Reid Middleton within one week of its receipt of Reid Middleton's original notice. If no such notice is received, Reid Middleton shall be authorized to perform the identified services as Additional Services.

- Additional Services shall include, without limitation, the following: 1. Replacement of stakes destroyed by parties other than Reid Middleton or by an act of God;
- Making revisions to drawings, specifications or other documents which are inconsistent with approvals or instructions previously given by the client, required due to changes in the law or required due to 2. changes in the overall project;
- Providing services due to default or defective performance on the part of the construction contractor; 3
- 4. Providing services to address unanticipated or unforeseen site conditions; or
- Providing other services beyond the scope of services described in the agreement. 5.
- II. All drawings, specifications, electronic media, and other documents prepared by Reid Middleton for this project are instruments of Reid Middleton's service for use solely with respect to this project. Reid Middleton shall be deemed to be the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The client shall be entitled to retain copies of the instruments of service for reference in connection with its use and occupancy of the project. Reid Middleton shall remove all indices of its ownership, professional corporation name, ad/or involvement from each electronic media. Reid Middleton's drawings, specifications, electronic media, or other documents shall not be used by the client or by others on other projects, for additions to this project or for completion of this project by others, except by agreement in writing signed by Reid Middleton and with appropriate compensation to Reid Middleton. Any unauthorized use of the documents shall be at the client's sole risk, and the client shall indemnify, defend and hold Reid Middleton harmless from all claims, damages, losses or expenses, including attorney fees, related to or arising from such unauthorized use. Submission or distribution of documents to meet regulatory requirements or for similar purposes in connection with this project is not to be construed as publication in derogation of Reid Middleton's reserved rights.
- III. Reid Middleton shall not be liable for damages resulting from the actions or inactions of governmental agencies, and Reid Middleton shall act only as an advisor in all governmental communications and relations. Reid Middleton does not guarantee that requisite permits or authorizations will be issued.
- IV. Reid Middleton shall have no responsibility for the discovery, presence, handling, removal or disposal of pollutants or hazardous materials (including but not limited to asbestos, asbestos products, PCB or other toxic substances) in any form at the project site. In no event Shall Reid Middleton (or its officers, directors, employees or consultants) be liable for costs, losses or damages -- including but not limited to delay costs or damages due to personal injury, sickness or death, or damage to property -- resulting from or related to the presence of pollutants or hazardous materials at the project site.
- V. In the event of a dispute arising out of or related to the agreement, or the breach or alleged breach hereof, which dispute cannot be resolved through negotiations between the parties, the parties agree that the dispute shall be submitted to nonbinding mediation. Unless the parties subsequently agree upon a different mediation service or mediator, the dispute shall be submitted to the American Arbitration Association, acting under its construction mediation rules and procedures. Either party may make the initial submission. Each party shall pay its own costs (including, if applicable, its attorney and expert witness costs) and one-half of the charge levied by the mediation service and mediator.

If any dispute is not resolved through nonbinding mediation, venue for litigation arising under or related to this agreement, or the breach or alleged breach hereof, shall be in the Superior Court for the State of Alaska, 3rd Judicial District, at Anchorage, Alaska. The substantially prevailing party in litigation shall be awarded its costs, attorney fees and expert witness fees incurred for trial preparation, trial and, if applicable, any and all appeals. The agreement shall be governed by the internal laws of the State of Álaska.

Causes of action between the parties related to or arising out of the agreement shall be deemed to have VI. accrued, and the applicable statute of limitations shall commence to run, no later than the date on which Reid Middleton last performs substantial services under this agreement.



REID MIDDLETON, INC. STRUCTURAL ENGINEER'S FEE ESTIMATE

PROJECT: HHES TIER 1, Roof and Envelope Upgrades PREPARED FOR: BDS

PREPARED BY: Jason Kwiatkowski, PE PROPOSAL NO: 402022.913.002

	TROFOSALINO. 402022.715.002	PRINCIPAL	ASSOCIATE	ASSOCIATE	SENIOR	PROJECT	DESIGN	DESIGNER	PROJECT	LINE	TASK	TASK
												TOTALS w/PM
ITEM	I		PRINCIPAL		ENGINEER	ENGINEER	ENGINEER	I	ADMIN	TOTALS	TOTALS	dist among phases
								-				
PM	Project Management											
	Project Setup, Billing	1							2	\$ 474		
	QA / QC	4								\$ 920		
	Internal Coordination				2					\$ 356		
	Misc. Project Management	4			8					\$ 2,344		
	Subtotal Task 1	9	0	0	10	0	0	0	2	21	\$ 4,094	\$ 1,023.50
1	35% SDs + Tier 1											
	Review Existing Drawings (assumption 1)				3		4			\$ 1,106		
	Tier 1 Report				32					\$ 5,696		
	Load Summary						3			\$ 429		
	Gravity and snow drift analyis				6		20			\$ 3,928		
	Siding analysis				3		3			\$ 963		
	Concept level repairs and framing				12		20			\$ 4,996		
	35% submittal - 5 sheets				16		32			\$ 7,424		
	Review meeting				2					\$ 356		
										\$ -		
	0.1		0	0		0		0	0	\$ -		A 05 004 50
	Subtotal Task 1	0	0	0	74	0	82	0	0	156	\$ 24,898	\$ 25,921.50
-	65% DDs		-						-			
2	Calcs and analysis				12		32			\$ 6,712		
	Specs				6		32			\$ 0,712 \$ 1,068		
	Specs S0.1 - General Structural Notes	-			2		2			\$ 642		
-	S0.2 - Quality Assurance Program				2		2			\$ 042 \$ 286		
	S0.3 - Schedules and Tables						2			\$ 286		
	S0.4 - Wind uplift plan						2			\$ 286		
	S0.5 - Snow drift plan						2			\$ 286		
	S1.1 - L1 Framing - upgrade/replacement only				2		4			\$ 928		
	S1.2 - Roof Framing Plan				4		4			\$ 1,284		
	S2.1 Sections				1		6			\$ 1,036		
	S2.2 Sections				1		6			\$ 1,036		
	S3.1 - Gravity Upgrade Framing Details				4		6			\$ 1,570		
	S3.2 - Gravity Framing Deteils				2		4			\$ 928		
	S3.3 - Misc siding and Roof framing details				1		4			\$ 750		
	Submittal Review and Prep				6		4			\$ 1,640		
	Review Meeting				2					\$ 356		
	Subtotal Task 2	0	0	0	43	0	80	0	0	123	\$ 19,094	\$ 20,117.50
3	95% CDs											
	Cales and analysis				6		10			\$ 2,498		
	Specs				3					\$ 534		
	S0.1 - General Structural Notes				1		1			\$ 321		
	S0.2 - Quality Assurance Program						1			\$ 143		
	S0.3 - Schedules and Tables						2			\$ 286		
	S0.4 - Wind uplift plan						1			\$ 143		
	S0.5 - Snow drift plan						1			\$ 143		
	S1.1 - L1 Framing - upgrade/replacement only				2		4			\$ 928		
	S1.2 - Roof Framing Plan				3		4			\$ 1,106		
	S2.1 Sections	I			2		1			\$ 499 \$ 400		
	S2.2 Sections				2		1			\$ 499 \$ 1,500		
	S3.1 - Gravity Upgrade Framing Details				2		8			\$ 1,500 \$ 1,500		
	S3.2 - Gravity Framing Details S3.3 - Misc siding and Roof framing details						8			\$ 1,500 \$ 2,498		
	S3.3 - Misc siding and Roof framing details Submittal Prep				6 6		10			\$ 2,498 \$ 2,498		
	Review Meeting				6 2		10			\$ 2,498 \$ 356		
	Subtotal Task 3	0	0	0	37	0	62	0	0	\$ 550 99	\$ 15.452	\$ 16,475.50
	Subtotal 143K 5	0	0	0	57	0	02	0	0	"	\$ 13,432	φ 10,473.30

Design Phase TERMS: LUMP SUM

REID MIDDLETON, INC. STRUCTURAL ENGINEER'S FEE ESTIMATE								Date:	3.16.22			
PROJECT: HHES TIER 1, Roof and Er	ivelope Upgra	des					Design Ph	ase				
PREPARED FOR: BDS							TERMS: LUMP SUM					
PREPARED BY: Jason Kwiatkowski, PE												
PROPOSAL NO: 402022.913.002												
4 100% Bid Docs												
Calcs and analysis												
S0.1 - General Structural Notes									s -			
S0.2 - Quality Assurance Program									s -			
S0.3 - Schedules and Tables									s -			
S0.4 - Wind uplift plan									s -			
S0.5 - Snow drift plan									s -			
S1.1 - L1 Framing - upgrade/replacement only									s -			
S1.2 - Roof Framing Plan									\$-			
S2.1 Sections									s -			
S2.2 Sections									s -			
S3.1 - Gravity Upgrade Framing Details				1		1			\$ 321			
S3.2 - Gravity Framing Deteils				1		1			\$ 321			
S3.3 - Misc siding and Roof framing details				1		1			\$ 321			
Submittal Prep				8		4			\$ 1,996			
Review Meeting				2					\$ 356			
Subtotal Task 4	0	0	0	13	0	7	0	0	20	\$ 3,315	\$ 4,338.5	
5 Bidding and Permitting -T&M NTE												
Bidder questions				2					\$ 356			
Permitting and Plan Review				6.5					\$ 1,157			
Subtotal Task 5	0	0	0	8.5	0	0	0	0	9	\$ 1,513	\$ 1,513.0	
6 CA T&M NTE												
Special Inspection Coordination				40					\$ 7,120			
Submittal Review and Contractor coordination				50		60			\$ 17,480			
Respond to Review Comments				8					\$ 1,424			
Subtotal Task 6	0	0	0	98	0	60	0	0	158	\$ 26,024	\$ 26,024.0	
7 Record Drawings Lump Sum				11.235					\$ 2,000	+		
Subtotal Task 7				11.235					\$ 2,000	\$ 2,000	\$ 1,999.83	
				11.235					11	⊕ <u>2</u> ,000	ψ 1,559.0	
TOTAL HOURS:	9	0	0	283.5	0	291	0	2		\$96,390	\$ 96,389.8	
HOURLY RATE:	\$ 230			\$ 178		\$ 143						
SUBTOTAL LABOR:	\$2,070	\$0	\$0	\$50,463	\$0	\$41,613	\$0	\$244	\$94,390			
ESTIMATED REIMBURSABLE EXPENSES									\$1,044			
FOTAL EST FEE:									\$95,434			

A: REIMBURSABLES INCLUDE MILEAGE, PER DEM COSTS, AIRFARE & COURIER CHARGES. B: REFER TO REID MIDDLETON, INC EXHIBITS A & B.

By Submitta	al: 35%	\$	25,921.50
	65%	\$	20,117.50
	95%	\$	16,475.50
	100%	\$	4,338.50
	Design Fee + Tier 1 Evaluation	n \$6	6,853

Assumptions: Site visit is accomplished as part of the Condition Assessment 2022 Project ; no as built, no seismic repairs, no seismic analysis



March 21, 2022

BDS Architects 3330 C Street Anchorage, AK 99503

ATTENTION: Victor Valenote

Dear Victor,

REFERENCE: COV Schools - Mechanical and Electrical Condition Survey

RSA Engineering is pleased to offer a fee proposal for mechanical and electrical engineering services for the referenced project. We have based our scope of work on your e-mail correspondence dated 03/10/22, along with the following assumptions:

- The project will consist of condition surveys of the Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School, and Valdez District Office.
- We will provide a three-day, two-night site visit to survey the condition of the existing mechanical and electrical systems in the buildings. Following the site visit, we will provide a survey report for each facility. We have included travel expenses in our fee for the site visit.

Exclusions:

- Travel delays are not included in our fee for site visits outside of Anchorage. Travel delays will be billed up to 8 hours per day of actual time including reimbursable expenses incurred.
- Cost estimation services are not included in our proposal.

RSA proposes the following lump sum fee for this project:

			Travel	
Project Deliverables	<u>Mechanical</u>	Electrical	Expenses	<u>Total</u>
Site Visit	\$5,040.00	\$5,040.00	\$1,886.00	\$11,966.00
Survey Reports	\$6,720.00	\$6,720.00	\$0.00	\$13,440.00
Design Subtotal:	\$11,760.00	\$11,760.00	\$1,886.00	\$25,406.00

Please review and advise if this proposal is acceptable by sending us notice to proceed. We look forward to working with you on this project.

Sincerely,

Brian Pekar, P.E. Vice President, Principal Mechanical Engineer

bpp/rlw/hhm 22-0109/P22-024 March 21, 2022





BDS Architects 3330 C Street Anchorage, AK 99503

ATTENTION: Victor Valenote

Dear Victor,

REFERENCE: City of Valdez, Hermon Hutchins Elementary School Roof, Doors, and Siding Replacement Mechanical and Electrical Fee Proposal

RSA Engineering is pleased to offer a fee proposal for mechanical and electrical engineering services for the referenced project. We have based our scope of work on your e-mail correspondence dated 03/10/22, along with the following assumptions:

General:

- The project will consist of a re-roof, re-siding, and door replacement of the approximately 92,786 square foot building.
- The project will be delivered using a design-bid-build method.
- Deliverables: We will provide the following design submittals, 35% Schematic Design, 65% Design Development, 95% Construction Documents, and 100% Bid Documents. The 35% schematic design will include narratives and specification index only, no drawings will be provided with the 35% submittal. 65%, 95% and 100% submittals will include drawings and specifications.
- Specifications will be prepared using CSI Master Format as part of a bound project manual.
- Design Site Visits: We have not included a design phase site visit in this proposal. We assume that we will visit the site to do as-builting for this project as part of the condition survey project.
- Bid phase services include preparation of addenda material.
- Permitting: We will answer any questions that come up during the plan review process and issue any sketches or clarifications as required.
- Review Meetings: We have included time for owner review meetings and responding to comments following the 35%, 65% and 95% submittals.
- In Office Construction phase services include submittal review, DCVR review/response, review of operation and maintenance manuals and preparation of record drawings based upon contractor generated redline mark-ups.
- On-site Construction phase services include 2 mechanical and 2 electrical inspections. We have assumed inspections will be done as a day trip to Valdez.

Mechanical:

• Mechanical scope includes replacement/relocation/extension of vent piping, louvers, hose bibbs, fuel piping and boiler venting to support the remodel.

Electrical:

• Electrical scope includes replacement/relocation of conduits, electrical devices, and lighting to support the remodel.

Exclusions:

- Travel delays are not included in our fee for site visits outside of Anchorage. Travel delays will be billed up to 8 hours per day of actual time including reimbursable expenses incurred.
- Commissioning services and cost estimation services are not included in our proposal. If these services are desired in the future, we propose to negotiate costs for the work at that time.

Tuesdal

RSA proposes the following fees for this project:

			Travel	
Lump Sum Services:	<u>Mechanical</u>	Electrical	Expenses	<u>Total</u>
35% Schematic Design	\$1,800.00	\$1,200.00	\$0.00	\$3,000.00
65% Design Development	\$6,340.00	\$3,940.00	\$0.00	\$10,280.00
95% Construction Documents	\$7,285.00	\$4,585.00	\$0.00	\$11,870.00
100% Bid Documents	\$2,330.00	\$1,920.00	\$0.00	\$4,250.00
Lump Sum Subtotal:	\$17,755.00	\$11,645.00	\$0.00	\$29,400.00
Time & Expenses Services:				
Bidding & Permitting	\$1,200.00	\$950.00	\$0.00	\$2,150.00
Construction Administration	\$4,700.00	\$2,950.00	\$0.00	\$7,650.00
Site Inspections	\$3,000.00	\$3,000.00	\$2,210.00	\$8,210.00
Record Drawings	\$1,100.00	\$800.00	\$0.00	\$1,900.00
C/A Subtotal:	\$10,000.00	\$7,700.00	\$2,210.00	\$19,910.00
GRAND TOTALS:	\$27,755.00	\$19,345.00	\$2,210.00	\$49,310.00

Please review and advise if this proposal is acceptable by sending us a notice to proceed. We look forward to working with you on this project.

Sincerely,

Brian Pekar, P.E. Vice President, Principal Mechanical Engineer

bpp/rlw/hhm 22-0108/P22-024

EHS - Alaska, Inc. **REVISED DATE:** NA FILENAME: P22-017 HERMON HUTCHENS ES ROOF, DOORS, SIDING.XLSX **ORIGINAL DATE:** 03/21/22 **PROJECT:** HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENT **CONTACT:** BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL **ASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICES AUTHOR: ROBERT FRENCH** SUMMARY OF FEES AND COSTS FIXED T&M NTE SURVEY & REPORT (PART OF 35%) Page 2 \$6,220 \$4,890 35% DESIGN Page 3 65% DESIGN Page 4 \$5,868 95% DESIGN Page 5 \$2,872 100% BID DOCUMENTS Page 6 \$1,822 **BID & PERMITTING SERVICES, T&M NTE** Page 7 \$1,915 CONSTRUCTION PHASE SERVICES, T&M NTE Page 8 \$6,249 **RECORD DRAWINGS** Page 9 \$793 **SUBTOTALS** \$22,464 \$8,164 TOTAL PROPOSED FEE; FIXED FEE, PLUS T&M NTE: \$30,628 **SCOPE OF WORK & ASSUMPTIONS** 1. This fee proposal is an estimate for professional services in accordance with EHS-Alaska's standard 2022 fee schedule, to support the renovation of the Hermon Hutchens Elementary School Roof, Doors & Siding Replacement, located in Valdez, Alaska.

2. EHS-Alaska will conduct a limited hazardous materials survey for asbestos, lead and interior PCB materials, building upon the previous sampling data that EHS-Alaska has for the building. EHS-Alaska will prepare an abbreviated survey report, prepare a hazardous materials removal and disposal design and provide limited "in-house" oversight of the hazardous materials portion of the construction phase.

- 3. EHS-Alaska will conduct the survey of the roof and other affected components during a single trip, in conjunction with the trip made by BDS Architects, and others, who will provide professional roof cutting and patching. It is assumed that the design team will share rides from the airport to the site, and back. Due to limited flight availability, EHS-Alaska proposes to bring a laptop computer to start the laboratory paperwork, etc. instead of standby time while waiting for the return flight.
- 4. Sampling will cause minor damage to finishes and surfaces sampled. Samples will be collected from inconspicuous locations where possible. However, repairs to damaged finishes are not included other than to prevent subsequent release of potential asbestos fibers. Roof samples will be collected from various areas on the roof, if safe to do so. Permanent professional roof repairs are not included in this proposal and are the responsibility of others. Representative painted surfaces will be tested by a portable X-Ray Fluorescence (XRF) lead analyzer. Other hazardous materials such as suspect mercury or PCB-containing materials will be noted, but not sampled, including PCB's in paints or sealants. Materials suspected of containing PCBs or mercury will be assumed to contain PCBs or mercury unless it is labeled "PCB Free" or "No PCBs" or previous testing has determined it to be PCB or mercury free. Free and complete access to all spaces will be provided by the Owner, and copies of available as-built information and floor plans will be provided to EHS by the Owner. BDS will provide AutoCAD backgrounds of the existing floor plans to EHS-Alaska for use in the report and design.
- 5. EHS-Alaska will supply a preliminary drawings and a survey report for the 35% design package, along with spec listings for the table of contents. EHS-Alaska will provide technical specifications and full size contract drawings at the 65%, 95%, and 100% bid document phases. Bidding and Contract Requirements and General Requirements as well as electronic copies of all coordination deliverables will be provided by BDS Architects
- 6. Bid phase services include attendance at a telephonic pre-bid meeting, addenda to hazardous materials specifications and revisions to drawings as required.
- 7. EHS-Alaska will provide the following construction phase services for one construction season:
 - a. Review 2 sets of initial hazardous materials work plan submittals,
 - b. Review of contractor's periodic submittals,
 - c. Review 2 sets of close-out submittals, and
 - d. Prepare an AHERA Response Action Report, for inclusion into the Valdez City Schools AHERA asbestos management plan.

Expedited schedules, additional review of contractor submittals, standby time due to conditions (weather, air travel, local support, emergency orders, etc.) out of the control of EHS-Alaska will be charged to BDS at the hourly rates provided in this proposal.

To authorize the work described above under the terms contained in this proposal, please sign this page and return as a Notice to Proceed.

Signature

Date

REVISED DATE:NAFILENAME:P22-017 HERMON HUTCHENS ES ROOF, DOORS, SIDING.XLSXORIGINAL DATE: 03/21PROJECT:HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENTCONTACT:BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPALAUTHOR:ROBERT FRENCHASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICESCODE \TASKPRINCMIH/SPMIH-OTPM-2CADAD60PROJECT TRAVEL0.00.02.52.50.00.0PRINCMPM-2CADAD60PROJECT TRAVEL0.00.02.52.50.0 <th co<="" th=""></th>	
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CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL AUTHOR: ROBERT FRENCH ASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICES SURVEY & REPORT (PART OF 35%) CODE \ TASK PRIN CM IH/SPM IH-OT PM-2 CAD AD 60 PROJECT TRAVEL 0.0 0.0 2.5 2.5 0.0 0.0 44 TRIP PREP, REVIEW EXISTING DATA 0.0 0.0 3.0 0.0 0.0 0.0 50 FACILITY SURVEY 0.0 0.0 6.0 2.0 0.0 0.0 48 SURVEY REPORT, PART IN VALDEZ 1.0 0.0 6.0 2.0 0.0 3.0 44 PROJECT MGMT. 0.5 1.0 18.0 4.5 0.0 3.0 48 SURVEY REPORT, PART IN VALDEZ 1.0 18.0 4.5 0.0 3.0 3.0 44 PROJECT MGMT. 1.5 1.0 18.0 4.5 0.0 3.0 3.0 50 Billing Rate: \$184.00 \$103.00 \$165.00 \$247.50 \$144.00	
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Billing Rate: \$184.00 \$103.00 \$165.00 \$247.50 \$144.00 \$17	
Billing Rate: \$184.00 \$103.00 \$165.00 \$247.50 \$144.00 \$17	
\$270 $$103$ $$2.70$ $$1.114$ $$0$ $$452$	
LABOR COSTS:	
DIRECT LABOR SUBTOTAL: \$4,895	
DIRECT COSTS:	
PHOTOGRAPHY: \$15	
REPROGRAPHICS: \$20	
COURIER (NONE, ELECTRONIC): \$0	
EQUIPMENT (XRF LEAD ANALYZER, DAYS): 1.0 @ \$155/DAY \$155	
SURVEY CONSUMABLES: \$10	
SAMPLE SHIPPING: 1 @ \$35 EACH \$35	
DIRECT COST SUBTOTAL: \$235	
DIRECT COST MARK UP (a) $10.00\% = $ \$24	
LABORATORY COSTS:	
ASB. BULK PLM EPA 600/R93/116, 3 DAY 35 @ \$8.00/LAYER \$280	
ASB. BULK ROOF PLM EPA 600, 3 DAY 20 @ \$12.00/LAYER \$240	
ASB. MICROVAC DUST ASTM D5756, 5 DAY 0 @ \$150/SAMPLE \$0	
Pb PAINT/SOIL/DUST SW 846-7000B:7420, 5 DAY 0 @ \$5.45/SAMPLE \$0	
Pb TCLP SW 846-1311, 5 DAY 0 @ \$56/SAMPLE \$0	
PCB BULK CAULK/CONC/PAINT SW846, 1 WK 0 @ \$174/SAMPLE \$0	
PCB AIR NIOSH 5503, MODIFIED, 1 WEEK 0 @ \$361/SAMPLE \$0	
PCB WIPE/SOIL EPA SW-846 3550C/8082A, 1 WK 0 @ \$156/SAMPLE \$0	
LABORATORY COST SUBTOTAL: \$520	
LABORATORY COST MARK UP (a) $20.00\% = $ \$104	
TRANSPORTATION COSTS:	
AIRFARE: \$350	
TAXI (NONE) W-DESIGN TEAM: \$0	
AIRPORT PARKING (1 DAYS @ \$16/DAY): \$16	
LODGING (NONE): \$0	
MEALS (1 DAYS @ \$50/DAY): \$50	
MILEAGE @ = \$0.585 45 miles \$26	
TRANSPORTATION COST SUBTOTAL: \$442	
TOTAL COSTS, THIS SHEET:\$6,220	

EHS - Alaska, Inc. REVISED DATE: NA									
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	ENAME:	P22-017 HERMON HUTCHE						AL DATE:	
	OJECT:	HERMON HUTCHENS ELE			-	-		LACEMEN	11
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CO	DE\TASK		PRIN	35% DESI CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
48		NALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
		LE OF CONTENTS	0.0	0.0	0.0	0.0	0.0	0.0	0.0
32		DRAWINGS	0.5	0.0	8.0	0.0	0.0	10.0	0.0
41		NIC MEETING	0.0	0.0	1.0	0.0	0.0	0.0	0.0
28		ARY QUANTITIES	0.0	0.0	2.0	0.0	0.0	1.0	0.0
54		COMMENTS	0.5	0.0	1.5	0.0	0.0	0.0	0.0
46	QA/QC		1.0	0.0	1.0	0.0	0.0	0.0	0.0
44	PROJECT	MGMT	1.0	1.0	2.0	0.0	0.0	0.0	0.0
	TROJECT		1.0	1.0	2.0	0.0	0.0	0.0	0.0
Ηοι	ır Totals:		3.0	1.0	16.0	0.0	0.0	11.0	0.0
Bill	ing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wa	ge Subtotals:		\$552	\$103	\$2,640	\$0	\$0	\$1,584	\$0
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		DIRECT LABOR SUBTO	ΓAL:					\$4,879	
	DIDI								
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		REPROGRAPHICS:						\$10 \$0	
		COURIER (NONE, ELECTR	· ·					\$0 \$0	
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	MIL	EAGE @ =	\$0.585	0 r	niles			\$0	
	ТОТ	AL COSTS, THIS SHEET:						\$4,890	
								·	

	ska, Inc.					REVISEI) DATE:	NA
FILENAME:	P22-017 HERMON HUTCHEN	S ES ROOF,	DOORS, S	DING.XLS	X	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEMI							
CONTACT:	BDS ARCHITECTS, VICTOR V			-	-			
AUTHOR:	ROBERT FRENCH		NMENT: S				SERVICES	
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CODE \ TASK		PRIN	СМ	IH/SPM	PM-1	PM-2	CAD	ADMIN
	ANALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52 SPECIFIC	ATIONS	1.0	0.0	6.0	0.0	0.0	0.0	0.0
32 DESIGN &	& DRAWINGS	1.0	0.0	6.0	0.0	0.0	8.0	0.0
41 TELEPHC	ONIC MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
28 QUANTIT	TY ESTIMATE	0.0	0.0	2.0	0.0	0.0	1.0	0.0
	COMMENTS	0.5	0.0	1.5	0.0	0.0	0.0	0.0
	NIC REVIEW MEETING	0.0	0.0	2.0	0.0	0.0	0.0	0.0
46 QA/QC		1.0	0.0	1.0	0.0	0.0	0.0	0.0
44 PROJECT	MGMT.	1.0	1.0	2.0	0.0	0.0	0.0	0.0
Hour Totals:		4.5	1.0	22.0	0.0	0.0	9.0	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$828	\$103	\$3,630	\$0	\$0	\$1,296	\$0
ΙΛF	BOR COSTS:							
LAL	DIRECT LABOR SUBTOTA	L:					\$5,857	
DIR	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRON	VIC):					\$0	
	CAD PLOTTING (NONE, ELE	CTRONIC):					\$0	
	DIRECT COST SUBTOTAL	:					\$10	
	DIRECT COST MARK UP @				10.00%	=	\$1	
MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
	TAL COSTS, THIS SHEET:						\$5,868	

FI	EHS - Alaska, Inc. REVISED DATE: NA								
						137			
	LENAME:	P22-017 HERMON HUTCHEN						AL DATE:	
	OJECT:	HERMON HUTCHENS ELEM			-	-		LACEMEN	N 1
	NTACT: THOR:	BDS ARCHITECTS, VICTOR ROBERT FRENCH		, AIA, A4LI NMENT: S				EDVICES	
AU	THUK:	ROBERT FRENCH	A551G	95% DESI		LSION, D	ID & CA S	DERVICES	
CO	DE\TASK		PRIN	95% DESI CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
48		NALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52	SPECIFIC		0.5	0.0	1.5	0.0	0.0	0.0	0.0
32		DRAWINGS	1.0	0.0	4.0	0.0	0.0	4.0	0.0
41		NIC MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
28		Y ESTIMATE	0.0	0.0	0.5	0.0	0.0	0.5	0.0
54	-	COMMENTS	0.0	0.0	0.5	0.0	0.0	0.0	0.0
46	QA/QC		0.5	0.0	1.0	0.0	0.0	0.0	0.0
44	PROJECT	MGMT.	0.5	1.0	1.0	0.0	0.0	0.0	0.0
Hou	ur Totals:		2.5	1.0	10.0	0.0	0.0	4.5	0.0
Bill	ling Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wa	ge Subtotals:		\$460	\$103	\$1,650	\$0	\$0	\$648	\$0
	LAB	OR COSTS:							
		DIRECT LABOR SUBTOTA	AL:					\$2,861	
	DIRI	ECT COSTS:							
		REPROGRAPHICS:						\$10	
		COURIER (NONE, ELECTRO	/					\$0	
		CAD PLOTTING (NONE, ELE						\$0	
		DIRECT COST SUBTOTAI						\$10	
		DIRECT COST MARK UP @				10.00%	=	\$1	
	MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
	тот	AL COSTS, THIS SHEET:						\$2,872	
	101	ME COSTS, 1110 SHEE1,						φ 2 ,072	

EHS - Alaska, Inc. REVISED DATE: NA								
FILENAME:	P22-017 HERMON HUTCHEN	S ES ROOF,	DOORS, SI	DING.XLS	SX	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEM	ENTARY SC	CHOOL ROO	OF, DOORS	S, AND SI	DING REP	LACEMEN	Т
CONTACT:	BDS ARCHITECTS, VICTOR	VALENOTE	, AIA, A4LI	E, LEED AI	P, PRINCI	PAL		
AUTHOR:	ROBERT FRENCH		NMENT: S		DESIGN, B	ID & CA S	SERVICES	
			D DOCUMI					
CODE \ TASK		PRIN	CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
	ANALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52 SPECIFIC		0.5	0.0	0.5	0.0	0.0	0.0	0.0
	& DRAWINGS	0.5	0.0	2.0	0.0	0.0	3.0	0.0
	NIC MEETING	0.0	0.0	1.0	0.0	0.0	0.0	0.0
	Y ESTIMATE	0.0	0.0	0.5	0.0	0.0	0.0	0.0
	COMMENTS	0.0	0.0	0.5	0.0	0.0	0.0	0.0
46 QA/QC		1.0	0.0	0.0	0.0	0.0	0.0	0.0
44 PROJECT	MGMT.	0.0	1.0	1.0	0.0	0.0	0.0	0.0
Hour Totals:		2.0	1.0	5.5	0.0	0.0	3.0	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$368	\$103	\$908	\$0	\$0	\$432	\$0
LAB	OR COSTS:							
	DIRECT LABOR SUBTOTA	AL:					\$1,811	
DIR	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRO	NIC):					\$0	
	CAD PLOTTING (NONE, ELE	CTRONIC):					\$0	
	DIRECT COST SUBTOTAL	<i>_</i> :					\$10	
	DIRECT COST MARK UP @				10.00%	=	\$1	
MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
тот	TAL COSTS, THIS SHEET:						\$1,822	

EHS - Alaska, Inc. REVISED DATE: NA								
FILENAME:	P22-017 HERMON HUTCHEN	NS ES ROOF.	DOORS, SI	DING.XLS	X	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEM		-					
CONTACT:	BDS ARCHITECTS, VICTOR			· ·	· ·			
AUTHOR:	ROBERT FRENCH		NMENT: S				SERVICES	
	BID & PERMITTING SERVICES, T&M NTE							
CODE \ TASK		PRIN	СМ	IH/SPM	PM-1	PM-2	CAD	ADMIN
	ONIC PRE-BID MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
	NG REVISIONS	0.5	0.0	1.5	0.0	0.0	2.0	0.0
52 ADDENI		0.5	0.0	1.0	0.0	0.0	0.0	0.0
	RMED DRAWINGS	0.5	0.0	1.5	0.0	0.0	1.5	0.0
44 PROJEC	T MGMT.	0.0	0.5	1.0	0.0	0.0	0.0	0.0
Hour Totals:		1.5	0.5	6.5	0.0	0.0	3.5	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotal	s:	\$276	\$52	\$1,073	\$0	\$0	\$504	\$0
LA	BOR COSTS: DIRECT LABOR SUBTOT	AL:					\$1,904	
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	DIRECT COST MARK UP @				10.00%	=	\$1	
MI	LEAGE @ =	\$0.585	0 n	niles			\$0	
тс	TAL COSTS, THIS SHEET:						\$1,915	

DILO TAILS INC. DATE DATE PILEAME: P22-017 HERMON HUTCHENS ES ROOF, DOORS, SIDING, XLSX ORGINAL DATE:: 037.2 PROJECT: HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REDLACEMENT ORGINAL DATE:: 037.2 CONTACT: EDS ARCHITECTS, VICTOR VALENOTE, ALA, ALE, LEED AP, PRINCIPAL AUTHIOR: ROBERT FRENCH ASSIGNMENT: SURVEY, DESIGN, BID & CA SURVICES CODE \TASK RUN MONTOR, AND N. 1.0 0.0 2.0 0.0 0.0 0.0 26 CONSTR, ADMIN. 1.0 0.0 2.0 0.0 0.0 0.0 26 CONST, ADMIN. 1.5 0.0 8.0 2.0 0.0 0.0 0.0 26 CONST, ADMIN. 1.5 0.0 8.0 2.0 0.0 0.0 0.0 26 CONST, MEETING 0.0 <t< th=""><th>EHS - Alas</th><th>ka. Inc.</th><th></th><th></th><th></th><th></th><th>REVISEI</th><th>) DATE ·</th><th>NA</th></t<>	EHS - Alas	ka. Inc.					REVISEI) DATE ·	NA
PRODECT: IERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENT CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, ALA, A4LE, LEED AP, PRINCIPAL X AUTHOR: ROBERT REACH ASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICES CODE: NAME RUNYEY, DESIGN, BID & CA SERVICES ASSIGNMENT: VICTOR 26 CONSTR. ADMIN. 1.0 0.0 2.0 0.0 0.0 0.0 26 CONSTR. ADMIN. 1.0 0.0 2.0 0.0 0.0 0.0 26 CONSTR. ADMIN. 1.0 0.0			S ES ROOF	DOORS S	SIDING XL	SX			
CONTACT: AUTHOR: BOB ARCHITECTS, VICTOR VALENOTE, AL, AJLE, LEED AP, PRINCIPAL ASSIGNMENT: SURVEY, DESIGN, BID & CAS SERVICES CONSTRUCTION PHASE SERVICES, T&W NTE CONSTRUCTION PHASE SERVICES, T&W NTE CONSTRUCTION PHASE SERVICES, T&W NTE CONSTRUCTION PLASE ASERVICES, T&W NTE CONSTRUENT DAI PMASE SERVICES, T&W NTE CONSTRUENT I.0 0.0 2.0 0.0 0.0 26 CONSTRUENT I.0 0.0 0.0 0.0 0.0 0.0 37 OPAL CAR ANCE TESTING (NONE) 0.0 0.0 0.0 0.0 0.0 0.0 30 VISUAL INSPECTION (NONE) 0.0 0.0 0.0 0.0 0.0 0.0 0.0 30 VISUAL INSPECTION (NONE) 0.0 0.0 0.0 0.0 0.0 30 VISUAL INSPECTION (NONE) 0.0 0.0 <td></td> <td></td> <td></td> <td>-</td> <td></td> <td></td> <td></td> <td></td> <td></td>				-					
AUTHOR: ROBERT FRENCH ASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICES CODE \TASK PRIN CM HIVEPM PM-1 PM-2 CAD ADMIN 26 CONSTR, ADMIN. 1.0 0.0 20 0.					-	-			
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Billing Rate: \$184.00 \$103.00 \$165.00 \$144.00 \$144.00 \$144.00 \$144.00 \$103.00 \$165.00 \$144.00 \$144.00 \$103.00 \$100 Wage Subtotals: \$1,104 \$103 \$4,455 \$576 \$0 \$0 \$0 LABOR COSTS: LABOR SUBTOTAL: \$6,238 \$10 \$6,238 \$10 EQUIP, (HI-FLO BATTERY AIR PUMP, DAYS): 0.0 @ \$20/DAY \$0 \$0 EQUIP, (HI-FLO BATTERY AIR PUMP, DAYS): 0.0 @ \$20/DAY \$0 \$0 COURLER (NONE, ELECTRONIC): \$0 \$0 \$20/DAY \$0 COURIER (NONE, ELECTRONIC): \$0 \$0 \$35 EACH \$0 SAMPLE SHIPPING: \$0 \$0 \$35 EACH \$0 DIRECT COST SUBTOTAL: \$10 \$10 \$10 \$10 DIRECT COST SUBTOTAL: \$10 \$10 \$10 \$10 DIRECT COST SUBTOTAL: \$10 \$10 \$10 \$10 DIRECT COST SUBTOTAL: \$0 \$81/SAMPLE \$0 \$81/SAMPLE \$0 ASB. AIR PCM 7400 LOCAL CLEAR. RUSH, 6 HR	Hour Totals:		6.0	1.0	27.0	4.0	0.0	0.0	0.0
Wage Subtotals: \$1,104 \$103 \$4,455 \$576 \$0 \$0 \$0 LABOR COSTS: LABOR SUBTOTAL: \$6,238 \$6,238 \$10 \$6,238 \$10 DIRECT COSTS: REPROGRAPHICS: \$10 \$20/DAY \$0 \$6,238 \$10 EQUIP, (H-FLO BATTERY AIR PUMP, DAYS): 0.0 $@$ \$20/DAY \$0 \$0 COURIER (NONE, ELECTRONIC): \$0 \$20/DAY \$0 \$0 \$0 \$0 CAD PLOTTING (NONE, ELECTRONIC): \$0 \$0 \$35 EACH \$0 \$0 CAD PLOTTING (NONE, ELECTRONIC): \$0 \$0 \$35 EACH \$0 \$0 DIRECT COST MARK UP @ 10.00% \$10 \$10 \$10 \$10 DIRECT COST MARK UP @ 10.00% \$11 \$10 \$10 \$10 \$10 DIRECT COST MARK UP @ 10.00% \$10 \$10 \$10 \$10 \$10 \$10 ASB. AIR PCM 7400 OUTSIDE, 1 DAY 0 @\$22.50/SAMPLE \$0 \$250 \$10 \$10 \$10 \$10 \$10 \$10 \$10 \$10									
LABOR COSTS: LABOR SUBTOTAL:\$6,238DIRECT COSTS: REPROGRAPHICS:\$10EQUIP. (HI-FLO BATTERY AIR PUMP, DAYS):0.0@ \$20/DAYEQUIP. (ELEC. AIR PUMP, DAYS):0.0@ \$20/DAYCOURIER (NONE, ELECTRONIC):\$0CAD PLOTTING (NONE, ELECTRONIC):\$0SAMPLE SHIPPING:0@ \$35 EACHDIRECT COST SUBTOTAL:\$10DIRECT COST SUBTOTAL:\$10DIRECT COST MARK UP @10.00% =ASB. AIR PCM 7400 LOCAL CLEAR. RUSH, 6 HR0@ \$22.50/SAMPLEASB. AIR PCM 7400 OUTSIDE, 1 DAY0@ \$9/SAMPLEASB. AIR PCM 7400 OUTSIDE, 1 DAY0@ \$12/SAMPLEASB. AIR PCM 7400 OUTSIDE, 1 DAY0@ \$12/SAMPLEASB. AIR PCM 7400 OUTSIDE, 1 DAY0@ \$12/SAMPLEASB. AIR PCM 7400 COST SUBTOTAL:\$0LABORATORY COST SUBTOTAL:\$0LABORATORY COST SUBTOTAL:\$0LABORATORY COST SUBTOTAL:\$0TRANSPORTATION COSTS:\$0MILEAGE @ =\$0.585O miles\$0TRANSPORTATION COST SUBTOTAL:\$0									
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TRANSPORTATION COSTS:MILEAGE @ = $\$0.585$ 0 miles $\$0$ TRANSPORTATION COST SUBTOTAL: $\$0$	LAB	ASB. AIR PCM 7400 LOCAL C ASB. AIR PCM 7400 OUTSIDE ASB. AIR TEM AHERA CLEA Pb PAINT/SOIL/DUST SW 846	E, 1 DAY R. RUSH, 6 5-7000B:742	HR	0 0	@ \$9/SAN @ \$81/SA	MPLE AMPLE	\$0 \$0 \$0	
MILEAGE @ = $\$0.585$ 0 miles $\$0$ TRANSPORTATION COST SUBTOTAL: $\$0$		LABORATORY COST MARK	UP @			20.00%	=	\$0	
TOTAL COSTS, THIS SHEET:\$6,249	TRA	MILEAGE @ =			miles				
		TOTAL COSTS, THIS SHEET	:					\$6,249	

EHS - Alas	ka, Inc.					REVISEI) DATE:	NA
FILENAME:	P22-017 HERMON HUTCHENS	S ES ROOF,	DOORS, SI	DING.XLS	SX	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEME	ENTARY SC	CHOOL ROO	OF, DOORS	S, AND SI	DING REF	LACEMEN	T
CONTACT:	BDS ARCHITECTS, VICTOR V	ALENOTE	, AIA, A4LI	E, LEED AI	P, PRINCI	PAL		
AUTHOR:	ROBERT FRENCH	ASSIG	NMENT: S	URVEY, D	DESIGN, B	ID & CA S	SERVICES	
			RECORD	DRAWINC	GS			
CODE \ TASK		PRIN	CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
44 FINAL DR	AWING COORDINATION	0.0	0.0	0.5	0.0	0.0	0.0	0.0
	DRAWINGS	0.5	0.0	1.0	0.0	0.0	1.5	0.0
44 PROJECT	MGMT.	0.5	0.5	0.5	0.0	0.0	0.0	0.0
Hour Totals:		1.0	0.5	2.0	0.0	0.0	1.5	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$184	\$52	\$330	\$0	\$0	\$216	\$0
LAB	OR COSTS:							
	DIRECT LABOR SUBTOTAL	L:					\$782	
DIR	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRON	IC):					\$0	
	CAD PLOTTING (NONE, ELEC	CTRONIC):					\$0	
	DIRECT COST SUBTOTAL:	:					\$10	
	DIRECT COST MARK UP @				10.00%	=	\$1	
MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
тот	TAL COSTS, THIS SHEET:						\$793	

ESTIMATIONS

March 17, 2022

Victor Valenote BDS Architects 3330 C Street, Suite 200 Anchorage, AK 99503

Re: COV HHES Roof, Doors, and Siding Replacement Fee Proposal

Victor,

We can provide you with cost estimating services for this project for the fees, outlined below. We have based our fee on the SOW outlined in your email of 10MARCH22.

Please Allow 2 weeks for us to develop a draft for your review at each submittal.

	Ac	Admin		Estimator		stimator	Fixed Fee		
Item	Rate	\$99.00		\$84.00		\$155.00	Тс	otals	
Construction Cost Estim	nating								
35% Design Level	1	\$99	20	\$1,680	28	\$4,340	49	\$6,119	
65% Design Level	1	\$99	24	\$2,016	40	\$6,200	65	\$8,315	
95% Design Level	1	\$99	24	\$2,016	40	\$6,200	65	\$8,315	
Project Totals	3	\$297	68	\$5,712	108	\$16,740	179	\$22,749	

Sincerely,

Mfairi

Jay Lavoie President



Legislation Text

File #: 22-0208, Version: 1

ITEM TITLE: Approval of a Contract with Bezek-Durst-Seiser, Inc., for the Valdez Schools Condition Survey in the amount of \$140,163.00. **SUBMITTED BY:** Scott Benda, Senior Project Manager

FISCAL NOTES:

Expenditure Required: \$140,163.00 Unencumbered Balance: \$900,000.00 Funding Source: 310-9516-58000

RECOMMENDATION:

Approve Contract with Bezek-Durst-Seiser, Inc., for the Valdez Schools Condition Survey in the amount of \$140,163.00.

SUMMARY STATEMENT:

The Request for Qualifications was advertised from January 13 through February 14, 2022. Three Architectural firms responded to the RFQ. Review and scoring the RFQ was completed in early March and Bezek-Durst-Seiser, Inc., was selected to provide a formal proposal for the work.

This contract will provide the City with condition surveys for HHES, GMS and VHS along with the District Office.

The intent of this contract is to set the baseline for evaluation at the High School in preparation for the renovation project.



City of Valdez Agreement for Professional Services

THIS AGREEMENT between the CITY OF VALDEZ, ALASKA, ("City") and Bezek-Durst-Seiser, Inc., ("Consultant") is effective on the ______day of ______, 2022.

All work under this agreement shall be referred to by the following:

Project: Valdez Schools Condition Survey Project No: 21-310-9516 Contract No.: 1915 Cost Code: 310-9516-58000

Consultant's project manager under this agreement is Bryce Hamels.

Consultant's project manager may not be changed without the written consent of the City.

City's project manager is ______.

ARTICLE 1. Scope of Work

1.1 The scope of work to be performed hereunder is more completely described in Appendix A which is incorporated herein by reference.

ARTICLE 2. Compensation

2.1 Compensation shall be paid in accordance with the Basis of Compensation Schedule attached hereto as Appendix B and incorporated herein by reference.

ARTICLE 3. Period of Performance

3.1 The Consultant agrees to commence work under this agreement only as authorized by and in accordance with written notice to proceed and to complete the work in accordance with the Scope of Work (Appendix A).

3.2 The period of performance under this agreement shall end and Consultant shall have completed all work under this agreement within 360 days of the written Notice to Proceed. Work shall proceed in accordance with the schedule set forth in Appendix A.



ARTICLE 4. Subconsultants

4.1 The Consultant shall be responsible for the performance of all services required under this agreement.

ARTICLE 5. Insurance

5.1 In accordance with the provision contained in the General Conditions (Appendix C), the following minimum limits of insurance coverage are required:

Type of Insurance	Limits of Liability Each Occurrence	Aggregate
Workers' Compensation	Statutory	Statutory
Employers' General	\$ 100,000	\$ 300,000
Commercial General Liability*	\$1,000,000	\$2,000,000
Comprehensive Automobile Liability	\$ 100,000	\$ 300,000
Professional Liability*	\$1,000,000	\$2,000,000

*(including Broad Form Property Damage Coverage and Completed Operations Coverage)

ARTICLE 6. Appendices

6.1 The following appendices are attached to this agreement and incorporated herein:

Appendix	<u>Title</u>
А	Scope of Work
В	Basis of Compensation
С	General Conditions



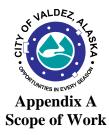
IN WITNESS WHEREOF, the parties to this presence have executed this CONTRACT in two (2) counterparts, each of which shall be deemed an original, in the year and day first mentioned above.

Bezek-Durst-Seiser, Inc.

CITY OF VALDEZ, ALASKA APPROVED:

Authorized Signature	Sharon Sheidt, Mayor
Printed name	Date:
Date:	ATTEST:
Title:	
FEDERAL ID #:	Sheri L. Pierce, MMC, City Clerk
	Date:
Mailing Address	
	Mark Detter, City Manager
City, State, Zip Code	Date:
	RECOMMENDED:
Signature of Company Secretary or Attest	Nathan Duval, Capital Facilities Director
	Date:
Date:	
	APPROVED AS TO FORM:
	Brena, Bell & Walker, P.C.
	Jon S. Wakeland

Date: _____



BASIC SERVICES

Provide all engineering and support services necessary to provide the City of Valdez: Provide separate surveys for each of the four facilities:

- A. Valdez High School: An ASCE 41-17 Tier 1 seismic assessment is to be provided with this survey. It is understood that COV would like to prioritize this survey to be due by mid-July 2022.
- B. Valdez Middle School: Due August 2022.
- C. Hermon Hutchens Elementary School: Due August 2022.
- D. Valdez District Office: Due August 2022.

The scope of work is more specifically described in the attached proposal dated March 23, 2022 which is incorporated herein by reference.

Appendix B Basis of Compensation

On completion of work and submission of invoices, the City shall pay to consultant the compensation as follows:

Payment shall be made based on the proposed fee and shall not exceed \$140,163.00 per the proposal attached to Appendix A of this Agreement, without prior authorization by the City as required in Section V of the General Conditions (Appendix C).



Appendix C General Conditions

I. <u>Definitions:</u>

<u>Basic Services:</u> The identified work elements set forth in this Agreement for which the Consultant will receive prime compensation.

<u>Change:</u> An addition to, or reduction of, or other revision in the scope, complexity, character, or duration of the services or other provisions of this Agreement.

<u>City's Project Manager:</u> City's representative in charge of the project(s) and the consultant's primary point of contact for notice(s) to proceed, invoices, correspondence and interface with the City.

<u>Consultant's Project Manager</u>: The Consultant's representative in charge of the project(s) who is directly responsible and engaged in performing the required services.

<u>Extra Services:</u> Any services or actions required of the Consultant above and beyond provisions of this Agreement.

<u>Funding Agency(s)</u>: The agency(s) of the federal, state or municipal government which furnishes funds for the Consultant's compensation under this Agreement.

<u>Optional Services:</u> Identifiable and/or indeterminate work elements set forth in this Agreement, which are separate and distinct from those covered by the prime compensation, which the City has the option to authorize.

<u>Prime Compensation:</u> The dollar amount paid to the Consultant for basic services set forth in this Agreement. Prime compensation does not include payment for any optional or extra services.

<u>Scope of Work:</u> Basic and optional services required of the Consultant by provisions of this Agreement.

<u>Subconsultant:</u> Any person, firm, corporation, joint venture, partnership or other entity engaged through or by Consultant.



II. Information and Services from Others:

Provisions of information, data, budget, standards, and other materials by the City does not warrant their accuracy or quality nor provide approval of omissions or oversights or of any non-compliance with applicable regulation.

The City may, at its election, or in response to a request from the Consultant, furnish information or services from other Consultants. If, in the Consultant's opinion, such information or services are inadequate, the Consultant must notify the City of the specific service or material deemed inadequate and the extent of the inadequacy prior to use in the performance of this Agreement. Unless so notified by the Consultant, the City may assume the information or services provided are adequate.

III. <u>Indemnification</u>

To the fullest extent permitted by law, the Consultant shall indemnify, defend, and hold harmless the City from and against any claim of, or damages, losses, expenses and liability (including but not limited to fees and charges of engineers, architects, attorneys, and other professionals, and court, mediation and/or arbitration costs) for negligent acts, errors, and omissions of the Consultant, Subconsultant, persons or organizations directly or indirectly employed or engaged by Consultant or Subconsultant under this Agreement. The Consultant is not required to indemnify, defend, or hold harmless the City for a claim of, or liability for the independent negligent acts, errors, and omissions of the Consultant act, error, or omission of the Consultant and the City, the indemnification, defense, and hold harmless obligation of this provision shall be apportioned on a comparative fault basis. In this provision, "Consultant" and "City" include the employees, agents, and contractors who are directly responsible, respectively, to each. In this provision, "independent negligent acts, errors, and omissions" means negligence other than in the City's selection, administration, monitoring, or controlling of the Consultant, or in approving or accepting the Consultant's work.

IV. Insurance:

All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant.



Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

V. <u>Payments:</u>

The City shall pay to the Consultant the amount of any changes in the cost of insurance that are attributable to the Scope of Work created by change orders.

Payments shall be made in accordance with Appendix B. Consultant shall submit progress invoices to City in duplicate showing the itemized services performed during the invoice period and the charges therefore.

All progress invoices shall be prepared as a percentage of the work is completed except contracts performed on "time and expenses" basis which invoiced amounts shall not exceed the actual charges to the invoice date.

Under no circumstances will City pay for charges in excess of any lump-sum or not-to-exceed contract amount incurred prior to written authorization by City for an increase in the contract amount. Written request for an increase in the contract amount shall be given to City with sufficient notice to allow City to issue formal approval prior to the incurring of excess charges without delay to the work.

On "time and expenses" contract amounts, compensation for work included in the Scope of Work shall be for direct labor costs and the actual cost of reimbursable expenses. Direct labor costs shall be as shown on the current Standard Labor Rates for the Consultant, a copy of which is attached as Appendix D, times a factor of <u>n/a</u>, for services rendered by principals and employees of the firm. Reimbursable expenses mean the actual expenses incurred directly or indirectly in connection with the Project for: transportation and subsistence incidental thereto; obtaining bids or proposals from contractor(s); furnishing and maintaining field office facilities; toll telephone calls and telegrams; reproduction of reports, drawings, specifications, and similar project-related items and, if authorized in advance by City, overtime work requiring higher than regular rates. Reimbursable expenses shall also include the amount billed to Consultant by Subconsultant employed by consultant for such Subconsultants' services and reimbursable expenses times a factor of 1.05.

The sum of payments shall not exceed the allowable compensation stated in this Agreement. In the event items on an invoice are disputed, payment on those items will be withheld until the dispute is resolved.



The Consultant shall submit a final invoice and required documentation for services authorized by each Notice to Proceed within Ninety (90) days after final acceptance by the City. The City will not be held liable for payment of invoices submitted after this time unless prior written approval has been given.

VI. <u>Changes:</u>

Changes in the Scope of Work or of services may only be made by written amendment signed by both City and Consultant.

If at any time the City through its authorized representatives, either orally or in writing, requests or issues instructions for extra services or otherwise directs actions which conflict with any provisions of this Agreement, the Consultant shall, within ten (10) days of receipt and prior to pursuing such instructions, notify the City in writing, and to the extent possible, describe the scope and estimated cost of any extra services. Unless so notified by the Consultant, the City may assume such instructions have not changed any provisions of this Agreement nor require additional compensation. No additional payments shall be made to the Consultant without such notice.

VII. <u>Audits and Records:</u>

The Consultant shall maintain records of all performances, communications, documents, and correspondence pertinent to this Agreement, and the City of its authorized representatives shall have the right to examine such records and accounting procedures and practices.

The materials described in the Article shall be made available at the business office of the Consultant, at all reasonable times, for inspection, audit or reproduction by City or any funding agency, for a minimum of three years from the date (a) of final payment under this Agreement (b) final payment upon claims or disputes, and for such longer period, if any, as may be required by applicable statute or other provisions of this Agreement.

VIII. Inspections:

The City, or any funding agency, has the right to inspect, in the manner and at reasonable times it considers appropriate during the period of this Agreement, all facilities, materials and activities of the Consultant in the performance of this Agreement.

IX. <u>Termination or Suspension:</u>

This Agreement may be terminated by either party upon ten (10) day's written notice if the other party fails substantially to perform in accordance with its terms through no fault of the party initiating the termination (default termination). If the City terminates this



Agreement, the City will pay the Consultant a sum equal to the percentage of work completed that can be substantiated by the Consultant and the City. If the City becomes aware of any fault or defect in the work of the Consultant or nonconformance with this Agreement, the City will give prompt written notice thereof to the consultant. Should the Consultant's services remain in nonconformance with this Agreement, the percentage of total compensation attributable to the nonconforming work may be withheld.

The City at any time may terminate (convenience termination) or suspend this Agreement for its own needs or convenience. In the event of a convenience termination or suspension for more than three months, the Consultant will be compensated for authorized services and authorized expenditures performed to the date of receipt of written notice of termination plus reasonable termination expenses. NO fee or other compensation for the uncompleted portion of the services will be paid, except for already incurred indirect costs which the Consultant can establish and which would have been compensated for over the life of this Agreement, but because of the convenience termination would have to be absorbed by the Consultant without further compensation.

If state or federal funds support this Agreement, settlement in the event of default or convenience termination must be approved by the City and any appropriate state or federal agency.

X. <u>Officials Not to Benefit:</u>

No member of or delegate to Congress, United States Commissioner or other officials of federal, state or local government shall be admitted to any share or part of this Agreement or any benefit to arise therefrom. The Consultant warrants that it has not employed or retained any organization or person, other than a bona fide employee working for the Consultant, to solicit or secure this Agreement and that it has not paid or agreed to pay any consideration contingent upon or resulting from this Agreement.

XI. Independent Consultant:

Except in those instances specifically provided for herein, the Consultant and any of its agents and employees shall act in an independent capacity and not as agents of the City in the performance of the Agreement.

XII. <u>Ownership of Work Products:</u>

Work products produced under this Agreement, except items which have preexisting copyrights, are the property of the City. Payments to the Consultant for services hereunder includes full compensation for all work products, field notes, interim work, reports, and other materials produced by the Consultant and its Subconsultants pertaining to this Agreement. Any re-use the City might make of these work products shall be at the City's own



risk and the Consultant shall not incur any liability for the City's re-use of the work products on any project for which they were not intended.

XIII. Subconsultants, Successors and Assigns:

The City must concur in the selection of all Subconsultants for professional services to be engaged in performance of this Agreement.

As soon as practicable after the award of the contract, the Consultant shall furnish to the City in writing the names of the proposed Subconsultants for each of the principal portions of the work. The City shall promptly notify the Consultant if it has reasonable objection to any of the proposed Subconsultants. Failure of the City to give prompt notification shall constitute notice of no reasonable objection. The Consultant shall not contract with any Subconsultant to whom the City has made reasonable objection.

If this Agreement includes named firms or individuals, then such firms or individuals shall be employed for the designated services, unless the Agreement is changed by amendment.

The Consultant shall not assign, sublet or transfer any interest in this Agreement without the prior written consent of the City.

The Consultant binds itself, its partners, its Subconsultants, assigns and legal representatives to this Agreement and to the successors, assigns and legal representatives of the City with respect to all covenants of this Agreement.

The Consultant shall include provisions appropriate to effectuate the purposes of this Appendix C in all subcontracts executed to perform services under this Agreement in which subcontract amount exceeds \$40,000.

XIV. <u>Claims and Disputes:</u>

If the Consultant becomes aware, or reasonably should have become aware of any act or occurrence which may form the basis of a claim, the consultant shall immediately inform the City's Project Manager. If the matter cannot be resolved within seven (7) days, the Consultant shall within the next fourteen (14) days submit written notice of the facts which may form the basis of the claim.

In addition, all claims by the Consultant for additional compensation or an extension of the time for performance of any dispute regarding a question of fact or interpretation of this Agreement shall be presented in writing by the Consultant to the City's Project Manager within the next sixty (60) days unless the Project Manager agrees in writing to an extension of time for good cause shown. Good cause shown includes time for the Consultant to prepare the claim, and the City's Project Manager will grant an extension of not more than



sixty (60) days for preparation of the claim. The Consultant agrees that unless these written notices are provided, the Consultant shall not be entitled to additional time or compensation for such act, event or condition. The Consultant shall in any case continue diligent performance under this Agreement. The Consultant shall in any case continue to expeditiously accomplish disputed services pending future resolution of the Consultant's claim unless notified by the City to stop work on the disputed matter.

In presenting any claim, the Consultant shall specifically include, to the extent then possible, the following:

- The provisions of this Agreement that apply to the claim and under which it is made.
- The specific relief requested including any additional compensation claimed and the basis upon which it was calculated and/or the additional time requested and the basis upon which it was calculated.
- The claim will be acknowledged in writing by the City's Project Manager. If the claim is not disposed of within sixty (60) days of acknowledgement, provided additional time is not granted in writing by the City's Contract Officer, the claim will be decided by the City's Contract Officer. The Contract Officer reserves the right to make a written request to the Consultant at any time for additional information that the Consultant may possess to support the claims(s). The Consultant agrees to provide the City such additional information within thirty (30) days of receipt for such a request. The City's Contract Officer will allow a reasonable time extension for good cause if presented in writing prior to the expiration of the thirty (30) days. Failure to furnish such additional information constitutes a waiver of claim.
- The Consultant will be furnished a written, signed copy of the Contract Officer's decision within ninety (90) days of receipt of all necessary information from the Contractor upon which to base the decision. The Contract Officer's decision is final and conclusive unless, within thirty (30) days of receipt of the decision, the Consultant delivers a notice of appeal to the City Manager. The notice of appeal shall include specific exceptions to the City's decision including specific provision of this Agreement which the Consultant intends to rely upon on appeal. General assertions that the City's decision is contrary to law or to fact are not sufficient.
- The decision of the City Manager will be rendered within 120 days of notice of appeal and the decision constitutes the exhaustion of contractual and administrative remedies.



All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant. Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

XV. Extent of Agreement:

This Agreement, including appendices, represents the entire and integrated Agreement between the City and the Consultant and supersedes all prior negotiations, representations or agreements, either written or oral.

Nothing contained herein may be deemed to create any contractual relationship between the City and any Subconsultants or material suppliers; nor may anything contained herein be deemed to give any third party a claim or right of action against the City or the Consultant that does not otherwise exist without regard to this Agreement.

This Agreement may be changed only by written amendment executed by both the City and the Consultant.

All communications that affect this Agreement must be made or confirmed in writing.

The Consultant receiving final payment will execute a release, if required, relinquishing in full all claims against the City arising out of or by reason of the services and work products furnished under this Agreement.

The Consultant shall pay all federal, state and local taxes incurred by the Consultant and shall require payment of such taxes by any Subconsultant or any other persons in the performance of this Agreement.

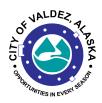


XVI. <u>Governing Laws:</u>

This Agreement is governed by the laws of the State of Alaska and such federal and local laws and ordinances as are applicable to work performed. Any litigation arising out of the terms of this Agreement shall be brought in the Third Judicial District, Superior or District Court at Valdez.

XVII. <u>Minimum Wages:</u>

Minimum wages as determined by the Department of Labor shall be paid to all persons performing work on this Contract.



City of Valdez Contract Release Page 1 of 2

The undersigned, ________for itself, its owners, partners, successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, as set forth herein related to or arising out of the following described contract ("Contract"):

Project: Valdez Schools Condition Survey Project Number: 21-310-9516 / Contract Number:1915

The undersigned hereby acknowledges receipt of the amount of <u>s</u>_____as full and final payment in consideration for all services, materials and labors rendered in connection with the Contract.

The undersigned hereby waives and releases any right or claim of lien, any state or federal statutory bond right, any private bond right, any claim for payment under the Contract, and any rights under any similar ordinance, rule, or statute related to claim or payment rights for itself, its owners, directors, officers, its successors in interest, assigns, agents, attorneys, trustees, administrators, subcontractors, suppliers, and laborers.

The undersigned certifies that no amounts payable under the Contract have been assigned to anyone.

The undersigned agrees that this Release is not executed as a result of financial disadvantage. No promise or inducement has been offered or made except as set forth in the above Contract. Accordingly, the undersigned voluntarily waives any and all rights to void this Release or any of its provisions, due to economic or business distress and/or compulsion. The undersigned represents that it is familiar with and has had the opportunity for its attorneys to explain the meaning of decisions of the Alaska Supreme Court applicable to this Release including, but not limited to, *Petroleum Sales, Ltd. v. Mapco of Alaska, Inc.*, 687 P.2d 923 (Alaska 1984); *Totem Marine T. & B. v. Alyeska Pipeline, et. al.*, 584 P.2d 15 (Alaska 1978); and *Witt v. Watkins*, 579 P.2d 1065 (Alaska 1978).

The undersigned hereby declares that the terms of this Release have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all payment claims, disputed or otherwise, arising under or by virtue of the Contract. The undersigned represents and warrants that it has the full and complete legal authority to enter into this Release, that the individuals executing this Release have the legal authority to do so, and that this Release shall be binding and enforceable upon it and its representatives, successors, and assigns, in accordance with its terms upon execution. The signature of the undersigned is an acknowledgement that the person signing has the authority to bind the party to this Release.



City of Valdez Contract Release Page 2 of 2

IN WITNESS WHEREOF, I have hereunto set my hand and seal this _	day of
, 20	-

))ss.

)

COMPANY

SIGNATURE

TITLE

STATE OF ALASKA

THIRD JUDICIAL DISTRICT

THIS IS TO CERTIFY that on this _____ day of _____, 20____, before me, Notary Public in and for the State of Alaska, personally appeared _______ of ______, known to me to be _______, known to me to be its _______ and acknowledged to me that he has read this foregoing RELEASE and knew contents thereof to be true and correct to the best of his knowledge and belief, and that he signed the same freely and voluntarily for the uses and purposes therein mentioned, and that he was duly authorized to execute the foregoing document according to the Bylaws or by Resolutions of said corporation.

WITNESS my hand and notarial seal this _____ day of _____, 20____.

Notary Public in and for Alaska

My Commission expires: _____



March 23, 2022

Scott Benda, Senior Project Manager City of Valdez P.O. Box 307 | Pioneer Field STE. 201 Valdez, AK 99686

RE: HHES Roof, Doors, and Siding Replacement Proposal for Professional Design Services

Scott,

Thank you for the opportunity to provide fee proposal for professional design services associated with the HHES Roof Door and Siding Replacement project in which BDS Architects will be acting as prime consultant to the Owner. For this project BDS Architects will be consulting with: Enterprise Engineering, Inc. for civil engineering, Reid Middleton, Inc. for structural engineering, RSA Engineering, Inc. for mechanical/electrical engineering, EHS-Alaska, Inc. for hazardous materials, and Estimations, Inc. for construction cost estimating.

It is understood that we are to provide fees for two separate design efforts listed below.

- I. <u>Condition Surveys</u> The Design Team will provide separate surveys for each of the four facilities:
 - A. Valdez High School: An ASCE 41-17 Tier 1 seismic assessment is to be provided with this survey. It is understood that COV would like to prioritize this survey to be due by mid-July 2022.
 - B. Valdez Middle School: Due August 2022.
 - C. Hermon Hutchens Elementary School: Due August 2022.
 - D. Valdez District Office: Due August 2022.

Surveys will strictly be assessments of existing facility conditions with no conceptual design or upgrade solutions. They will be used for COV to establish their own costs and priorities for any future repair, renovation, or replacement projects.

Overall total of design services for Condition Surveys is:

\$140,163

II. <u>HHES Roof, Doors, and Siding</u> - It is understood that this project will be competitively Bid under the traditional Design-Bid-Build project delivery method as one Bid Package. As it currently stands, the COV total construction cost target is \$8,000,000. The project is to follow the delivery in accordance with the attached *Approximated Design Schedule*, with a presumed Out to Bid date in May 2023, and an anticipated Construction completion date of August 2024. It is also understood that we will provide 95% Construction Documents by February 2023 so that COV put an accurate cost request for the project on their May Bond package. As always, we can incorporate alternate bid items (Additive or deductive) into the construction documents to maximize the amount of work performed under the construction contract.

General scoping items for the HHES building are:

- An ASCE 41-17 Tier 1 seismic assessment is to be provided.
- Roof Replace all existing IRMA style roof systems with a 5-ply built-up asphalt roof system. The new roof structure will be upgraded to current snow load requirements as part of this effort.
- Exterior Doors All exterior doors to be replaced, providing ADA compliance as needed.
- Exterior Siding All exterior cedar and painted plywood siding to be replace. Options for replacement to be presented, discussed, and approved by COV.
- Upper-level Windows All upper-level windows will need replacement to match lower window style.

Overall total of design services for HHES Roof, Doors, and Siding is:	\$646,756
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Design fees/OHP are based on a percentage of construction costs, and also based on past experiences with similarly scoped projects. This overall total covers all costs necessary to complete the work defined in the Scope of Services above and attached, including direct labor plus indirect costs, OHP, fees on sub consultants, and all other direct costs / expenses. Work requested beyond the defined scope of work, or the identified construction budget can be negotiated on an hourly basis at our current hourly billing rates, plus 10% fee on sub consultants, and at direct cost for other direct expenses.

The following Items / Design Services are not included, and an associated proposal can be provided upon Owner request:

- Fees for transportation while onsite in Valdez. COV will be providing all transportation while onsite in Valdez to all consultants.
- ASCE 41 Tier 2 and/or Tier 3 seismic evaluation.
- Building systems commissioning services.
- Any Permitting Fees not defined in the proposal.

BDS Architects HHES Roof, Door, and Siding Replacement Page 3 of 3

- Fees for Owner required Special Inspections.
- Fees associate with Furniture, Fixtures, and Equipment (FF&E) services.
- Fees associated with procurement of online construction management tools such as Procore, Submittal Exchange, etc.
- Fees associated with Documentation and effort for an official LEED Certification.
- Architectural renderings.
- Architectural physical scale models.

Please find attached detailed fee breakdowns for all proposed Tasks. We are prepared, upon a Notice to Proceed, to complete the work on this great project. If you have any questions or concerns regarding this proposal, please feel free to give me a call. Fees are negotiable, as always, and we are always willing to work with our clients. Once again, thank you for the opportunity to provide this fee proposal.

Sincerely,

Victor Valenote, AIA, LEED AP, A4LE Principal

Attachments

Overall Design Fee Summaries; Approximated Design Schedule; Fee Proposals from: BDS Architects; Enterprise Engineering, Inc.; Reid Middleton, Inc.; RSA Engineering, Inc.; EHS Alaska; and Estimations, Inc.,

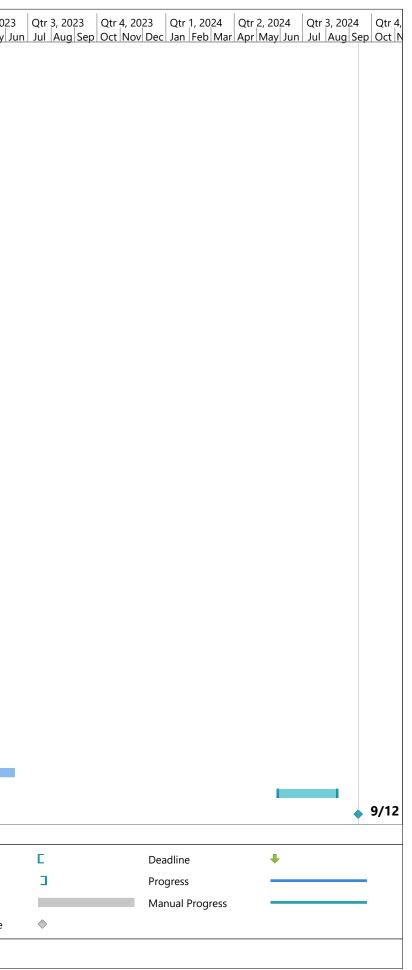
SUMMARY OF DESIGN FEES - CONDITION SURVEYS

		PHASE, TASK OR SUBTASK	Condition Survey Overall Fee Sche BDS Architects	s (Valdez HS, Valdo Idule	ez MS, Hermon Hi	tchens ES, Valdez	2 District Office)								
Task	Type of Service	Description	Project Management / Architecture <i>BDS</i>	Civil Engineering <i>R&M</i>	Structural Engineering <i>RMI</i>	Mechanical Engineering RSA	Electrical Engineering <i>RSA</i>				Design Labor Fees per Phase / Task	10% OHP (Architecture Only)	10% OHP (Subconsultants)	Subtotals per Phase / Task	TOTALS per Phase / Task (Labor + Reimbursables)
Ι	FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 60,752 \$ 3,300		\$ 21,300 \$ 1,688		\$ 11,760				\$ 121,172	\$ 6,075	\$ 6,042	\$ <u>133,289</u> \$ 6,874	\$ 140,163
			÷ 0,000		÷ 1,000	φ 1,000					\$-	\$ -	\$ -	\$-	\$-
											\$-	\$-	\$-	\$	\$-
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														\$-	
														GRAND TOT (Design + Re	AL / SERVICE eimbursables)
A	TOTAL Labor Expenses per Discipline		\$ 60,752	\$ 15,600	\$ 21,300	\$ 11,760	\$ 11,760	\$ -	\$-	\$-	\$ 121,172	\$ 6,075	\$ 6,042	\$ 133,289	\$ 140,163
В	TOTAL Reimbursable Direct Cost Expenses per Discipline		\$ 3,300	\$-	\$ 1,688	\$ 1,886	\$-	\$ -	\$-	\$-	\$-	\$-	\$ -	\$ 6,874	

SUMMARY OF DESIGN FEES - HHES ROOF, DOORS, & SIDING REPLACEMENT

		PHASE, TASK OR SUBTASK	HHES Roof, Door Overall Fee Sche BDS Architects		acement								
Task	Type of Service	Description	Project Management / Architecture <i>BDS</i>	Civil Engineering <i>R&M</i>	Structural Engineering <i>RMI</i>	Mechanical Engineering <i>RSA</i>	Electrical Engineering <i>RSA</i>	Hazardous Materials <i>EHS</i>	Cost Estimating <i>Estimations</i>	Design Labor Fees per Phase / Task	10% OHP 10% OHP (Architecture Only) (Subconsultants)	Subtotals per Phase / Task	TOTALS per Phase / Task (Labor + Reimbursables)
I	35% Schematic Design FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 91,808 \$ 7,750	\$ 6,700	\$ 25,920	\$ 1,800	\$ 1,200	\$ 11,110	\$ 6,119	\$ 144,657	\$ 9,181 \$ 5,285	\$ 159,123 \$ 7,750	\$ 166,873
II	65% Design Development FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 68,450	\$ 3,100	\$ 20,118	\$ 6,340	\$ 3,940	\$ 5,868	\$ 8,315	\$ 116,131	\$ 6,845 \$ 4,768	\$ 127,744 \$ -	\$ 127,744
ш	95% Construction Documents FIXED FEE	Labor Cost Expenses	\$ 68,354	\$ 3,100	\$ 16,476	\$ 7,285	\$ 4,585	\$ 2,872	\$ 8,315	\$ 110,987	\$ 6,835 \$ 4,263	\$ 122,086 \$ -	\$ 122,086
IV	100% Bid Documents FIXED FEE	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 34,976	\$ 1,200	\$ 4,338	\$ 2,330	\$ 1,920	\$ 1,822		\$ 46,586	\$ 3,498 \$ 1,161	\$ 51,245 \$ -	\$ 51,245
V	Bidding & Permitting T & M (Not-to-Exceed)	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 9,396	\$ 1,500	\$ 1,512	\$ 1,200	\$ 950	\$ 1,915		\$ 16,473	\$ 940 \$ 708	\$ 18,120	\$ 18,120
VI	Construction Administration T & M (Not-to Exceed)	Labor Cost Expenses Reimbursable Direct Cost Expenses	\$ 71,880	\$ 1,500		. ,	\$ 5,950	\$ 6,249		\$ 119,303	\$ 7,188 \$ 4,742	\$ 131,233	\$ 141,987
VII	Record Drawings LUMP SUM	Labor Cost Expenses	\$ 7,500 \$ 11,108	\$ 1,200	\$ 1,044 \$ 2,000			\$ 793		\$ 17,001	\$ 1,111 \$ 589	\$ 10,754 \$ 18,701	\$ 18,701
		Reimbursable Direct Cost Expenses											AL / SERVICE imbursables)
A	TOTAL Labor Expenses per Discipline		\$ 355,972	\$ 18,300	\$ 96,388	\$ 27,755	\$ 19,345	\$ 30,629	\$ 22,749 \$ -	\$ 571,138	\$ 35,597 \$ 21,517	\$ 628,252	\$ 646,756
В	TOTAL Reimbursable Direct Cost Expenses per Discipline		\$ 15,250	\$ -	\$ 1,044	\$ 1,105	\$ 1,105	\$-	\$ - \$ -	\$-	\$-\$-	\$ 18,504	• 040,700

D	0	Task Mode	Task Name	Duration	Start	Finish	Predece	essors	Resource Na		tr 1, 202 n Feb N	2 Qtr 2, 2022 Mar Apr May Jun	Qtr 3, 202 Jul Aug	2 Qtr 4, 2022 Sep Oct Nov De	Qtr 1, 2023 Q c Jan Feb Mar Ar	tr 2, 2023 pr May J
1		*	RFP Due	1 day	Mon 2/14/22	Mon 2/14/22					♦ 2	/14	Jul /lug			<u></u>
2		*	Contract Award	1 day	Tue 3/15/22	Tue 3/15/22						3/15				
3		*	NTP	1 day	Thu 3/31/22	Thu 3/31/22						3/31				
4		*	Kick Off Meeting	1 day	Fri 5/13/22	Fri 5/13/22						♦ 5/13	3			
5		*	HHES Condition Surv	e4 days	Tue 5/31/22	Fri 6/3/22										
6		*	HHES Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22						-				
7		*	VMS Condition Surve	e 5 days	Mon 5/30/22	Fri 6/3/22										
8		*	VMS Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22						-				
9		*	VHS Condition Surve	y5 days	Mon 5/30/22	Fri 6/3/22										
10		*	VHS Condition Survey Report	40 days	Mon 6/6/22	Fri 7/29/22						-				
11		*	VSD Adminstration Building Condition Survey	5 days	Mon 5/30/22	Fri 6/3/22										
12		*	VSD Condition Survey Report	50 days	Mon 6/6/22	Fri 8/12/22						-				
13		*	Community Design Meeting #1 (Community	1 day	Wed 7/13/22	Wed 7/13/22							◆ 7/13			
14		*	Community Design Meeting #2 (Options Presentation)	1 day	Wed 8/10/22	Wed 8/10/22							♦ 8	/10		
15		*	Community Design Meeting #3 (Presentation of Developed Selected Option)	1 day	Wed 9/21/22	Wed 9/21/22								9/21		
16			HHES 35% Design	65 days	Wed 6/8/22	Tue 9/6/22	5							հ		
17		->	COV 35% Review	10 days	Wed 9/7/22	Tue 9/20/22	16							Т́.		
18			HHES 65% Design	35 days	Wed 9/21/22	Tue 11/8/22	17									
19			COV 65% Review	12 days	Wed 11/9/22	Thu 11/24/22	18							1]	
20			HHES 95% Design	41 days	Tue 12/6/22	Tue 1/31/23	19									
21			COV 95% Review	7 days	Wed 2/1/23	Thu 2/9/23	20								X	
			95% Cost Estimate	17 days	Wed 2/1/23	Thu 2/23/23	19								🍒 2/23	\$
23			HHES Bid Documents	s 57 days	Fri 2/10/23	Mon 5/1/23	21									
24			Bidding	20 days	Tue 5/16/23	Mon 6/12/23	23FS+2	10 days								*
25		*	Construction	57 days	Wed 5/29/24	Thu 8/15/24										
26		*	Record Drawings	20 days	Fri 8/16/24	Thu 9/12/24										
					Task			Project Sumn	nary	0		Manual Task			Start-only	
			Roof, Door, and Siding F	Replacement	Split			Inactive Task				Duration-only			Finish-only	
		oximate L '11/22	Design Schedule		Milestone	•		Inactive Miles	tone			Manual Summa	ry Rollup		External Tas	ks
Dute.		,			Summary		1	Inactive Sum		0	[Manual Summa			External Mil	
					,		_		,		-		,			





PROPOSED DESIGN FEES

		Doors, and S	• •	cement										
PHASE (FEE STRUCTURE):	Condition Su	irveys (LUMP	SUM)											
FIRM (PRIME):	BDS Archite	cts												
		Labor Hours / Job Classification / Rate												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Existing Design Document Review / Investigation for each of the four COV Facilities: Valdez HS, Valdez MS, HHES, Valdez District Office.	4	4	8										16	
Site Visit: Investigate existing conditions at each of the four facilities, assessing each of the building component's current condition and life expectancy. Throroughly photograph all 4 facilities, both interior and exterior, for office reference. Confirm any major space planning / design conflicts with existing Record Drawings.	40		40										80	
Building Code Analysis for each of the four facilities, identifying any deficiencies associated with Fire/Life Safety, ADA, etc.	4		24										28	
Produce Draft copies of Condition Survey Reports for each of the four facilities for COV review and comment.	24	2	48									16		
Produce Final copies of Condition Survey Reports for each of the four facilities.	16	2	32									16	66	
Coordination with Sub Consultants	4		8										12	
Owner Meetings / Correspondence	4		8										12	
QA / QC for Reports	8	2											10	
SUBTOTAL (HOURS)	104	10	168	0	0	0	0	0	0	0	0	32	314	
SUBTOTAL (COST)	\$27,248	\$2,600	\$27,384	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,520		
											SUE	STOTAL DIRE	CT LABOR	\$60,752
												N DIRECT LA	BOB 10%	\$6.075
														1.1.
											TOTAL CO	OST OF DESI	GN LABOR	\$66,827
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)	Includes 4 day	y / 3 night stay	in Valdez									2	\$1,650.00	\$3,300
RMI Site Visit	Includes 4 day	y / 3 night stay	in Valdez									1	\$1,688.00	\$1,688
RSA Site Visit	Includes 3 day	y / 2 night stay	in Valdez									1	\$1,886.00	\$1,886
										тот	AL REIMBUR	SABLE DIRE	CT COSTS	\$6,874

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering	Includes 2 day / 2 night stay in Valdez for one engineer	\$15,600
Reid Middleton Inc.	Structural Engineering	Includes Tier 1 Seismic Evaluation for Valdez High School	\$21,300
RSA Engineering	Mechanical Engineering		\$11,760
RSA Engineering	Electrical Engineering		\$11,760
		SUBTOTAL of SUB-CONSULTANT FEES	\$60,420
		OHP ON SUB-CONSULTANT FEES - 10%	\$6,042



PROJECT:	HHES Roof,	Doors, and S	iding Repla	cement										
PHASE (FEE STRUCTURE):	Task I - 35%	Schematic D	esign (LUM	P SUM)										
FIRM (PRIME):	BDS Archite	cts												
			1	1	Labor Ho	ours / Job C				1		1		
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Existing Design Document Review / Investigation	2	2	2				4						10	
Site Visit: As-built all roof items such as horizontal and vertical dimensions, roof drain sizes, deck slope, parapets, etc. Inspect building exterior for drainage, roof edge construction, etc. Determine underside roof drain accessibility. Walkthrough building interior to locate horizontal and vertical rain leaders and size.			20										20	
Develop as-built 3D model in Autodesk Revit for use in Construction Document production.			16				40						56	1
Develop initial presentation graphics to COV and Stakeholders.	8		16									12	36	
Design Presentation #1 in Valdez: Discuss project parameters, process, and goals.	8		8										16	1
Develop initial concept options for presentation to COV and Stakeholders.	4		16				24						44	
Design Presentation #2 in Valdez: Share initial conceptual design ideas/options.	8		8										16	
Develop final design for presentation to COV and stakeholders.	2		12				24						38	
Design Presentation #3 in Valdez: Present final design selected to move forward with construction documents.	8		8										16	
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.	2		8				12				4		26	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans: Proposed, design and drawing production.			8				16				8		32	1
Roof Plans: Proposed, design and drawing production.		8	16				16				12		52	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		4	8				8				8		28	
Technical Specifications - Table of Contents only (CSI format).	4											2	6	ļ
Coordination with Sub Consultants Owner Meetings / Correspondence	4	2	16 16										22 22	
Review Construction Cost Estimate	4	4	2					<u> </u>	<u> </u>				4	
35% Submittal Review	4		8	<u> </u>		<u> </u>	<u> </u>						12	
QA / QC	16	4	Ť										20	
SUBTOTAL (HOURS)	76	26	212	0	0	0	176	0	0	0	56	14	560	
SUBTOTAL (COST)	\$19,912	\$6,760	\$34,556	\$0	\$0	\$0	\$22,880	\$0	\$0	\$0	\$6,160	\$1,540	000	
											•	TOTAL DIRE	ECT LABOR	\$91,808
											OHP O	N DIRECT LA	ABOR - 10%	\$9,181
											TOTAL CO	OST OF DES	IGN LABOR	\$100,989
REIMBURSABLE DIRECT COSTS / EXPENSES	COMMENTS QTY/UNIT RATE										RATE (\$)			
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)		y / 1 night stay										1	\$1,250	\$1,250
Investigative Roof Cuts & Repairs	1 day coordin	ated with Haza	rdous Materi	als site investi	gation							1	\$6,500	\$6,500
														\$0
														\$0
	L										AL REIMBUR			A
										IOT	AL KEIMBUR	SABLE DIR	ECTUDEIS	\$7,750

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$6,700
Reid Middleton Inc.	Structural Engineering	Includes Tier 1 Seismic Evaluation	\$25,920
RSA Engineering	Mechanical Engineering		\$1,800
RSA Engineering	Electrical Engineering		\$1,200
EHS Alaska	Hazardous Materials Engineering	Includes Hazardous Materials Survey and Report	\$11,110
Estimations, Inc.	Construction Cost Estimating		\$6,119
		SUBTOTAL of SUB-CONSULTANT FEES	\$52,849
		OHP ON SUB-CONSULTANT FEES - 10%	\$5,285

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	HHES Roof,		• •											
PHASE (FEE STRUCTURE):		•	elopment (L	UMP SUM)										
FIRM (PRIME):	BDS Archite	cts												
	Principal Roof Tech Associate Architect III Architect II Architect I Architect													
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COST
nformation Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing ndex, etc.	2		8				12				4		26	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			8				16				8		32	
Roof Plans: Proposed, design and drawing production.		8	16				8				8		40	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
/ertical and Horizontal Assemblies: Existing and proposed, lesign and drawing production.		2	8				8				8		26	
Vall Sections / Details: Design and drawing production	2	4	16				16				8		46	
Schedules: Doors, Windows, Finishes			8				16				16		40	
echnical Specifications - CSI format.	24		4									24	52	
Coordination with Sub Consultants	4	4	4										12	
Owner Meetings / Correspondence	8	2	16										26	
Review Construction Cost Estimate	2		2										4	
55% Submittal Review	4		8					1					12	
QA / QC	16	4											20	
SUBTOTAL (HOURS)	62	28	122	0	0	0	108	0	0	0	76	24	420	
UBTOTAL (COST)	\$16,244	\$7,280	\$19,886	\$0	\$0	\$0	\$14,040	\$0	\$0	\$0	\$8,360	\$2,640		
											SUE	BTOTAL DIRE	CT LABOR	\$68,45
											OHP O	N DIRECT LA	BOR - 10%	\$6.84
											TOTAL C	OST OF DESI	GN LABOR	\$75,29
REIMBURSABLE DIRECT COSTS / EXPENSES COMMENTS QTY/UNIT R										RATE (\$)				
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0
														\$0
	I											I		
										тот	AL REIMBUR	RSABLE DIRE	CT COSTS	\$0

SERVICE, PRODUCT, ETC.	COMMENTS	
Civil Engineering		\$3,100
Structural Engineering		\$20,118
Mechanical Engineering		\$6,340
Electrical Engineering		\$3,940
Hazardous Materials Engineering		\$5,868
Construction Cost Estimating		\$8,315
	SUBTOTAL of SUB-CONSULTANT FEES	\$47,681
	OHP ON SUB-CONSULTANT FEES - 10%	\$4,768
	Civil Engineering Structural Engineering Mechanical Engineering Electrical Engineering Hazardous Materials Engineering	Civil Engineering Structural Engineering Mechanical Engineering Electrical Engineering Hazardous Materials Engineering Construction Cost Estimating Construction Cost Estimating SubtrotAL of SUB-CONSULTANT FEES

TOTAL OF FEES THIS TASK (Fixed Fee) \$127,744



		Doors, and S	• •											
PHASE (FEE STRUCTURE):	Task III - 959	6 Constructio	n Documen	ts (LUMP SU	M)									
FIRM (PRIME):	BDS Archite	cts											1	
		Incrinal Roof Tech Associate Architect II Architect II Architect II BIM Interior Intern Intern Admin												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.	2		8				8				4		22	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			8				16				12		36	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			8				8				8		24	
Roof Plans: Proposed, design and drawing production.		8	16				8				8		40	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		4	16				16				12		48	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		2	8				8				8		26	
Wall Sections / Details: Design and drawing production	2	4	16				16				8		46	
Schedules: Doors, Windows, Finishes			8				8				8		24	
Color Boards for Finishes and Materials			8				16						24	
Technical Specifications - CSI format.	24		4									24	52	
Coordination with Sub Consultants	4	4	4										12	
Owner Meetings / Correspondence	8	2	16										26	
Review Construction Cost Estimate	2		2										4	
95% Submittal Review	4		8										12	
QA / QC	16	4											20	
SUBTOTAL (HOURS)	62	28	130	0	0	0	104	0	0	0	68	24	416	
SUBTOTAL (COST)	\$16,244	\$7,280	\$21,190	\$0	\$0	\$0	\$13,520	\$0	\$0	\$0	\$7,480	\$2,640		
											SUE	BTOTAL DIRE	CT LABOR	\$68,354
											OHP O	N DIRECT LA	ABOR - 10%	\$6,835
											TOTAL CO	OST OF DES	GN LABOR	\$75,189
REIMBURSABLE DIRECT COSTS / EXPENSES						COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0
														\$0
	<u> </u>									707	AL REIMBUR		CT COSTS	\$0

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$3,100
Reid Middleton Inc.	Structural Engineering		\$16,476
RSA Engineering	Mechanical Engineering		\$7,285
RSA Engineering	Electrical Engineering		\$4,585
EHS Alaska	Hazardous Materials Engineering		\$2,872
Estimations, Inc.	Construction Cost Estimating		\$8,315
		SUBTOTAL of SUB-CONSULTANT FEES	\$42,633
		OHP ON SUB-CONSULTANT FEES - 10%	\$4,263

TOTAL OF FEES THIS TASK (Fixed Fee)	\$122,086
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PROJECT: PHASE (FEE STRUCTURE): FIRM (PRIME):	Task IV - 10		• •											
	DD0 / fronte	515			Labor Ho	ours / Job C	lassificatio	n / Rate						
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Information Sheets production: Title, Site Plan, Symbols, Abbreviations, General Notes, Code Information, Drawing Index, etc.			4				4				2		10	
Demolition Sheets production: Floor Plans, Roof Plans, Exterior Elevations.			4				8				6		18	
Floor Plans / Reflected Ceiling Plans: Proposed, design and drawing production.			4				4				4		12	
Roof Plans: Proposed, design and drawing production.		2	8				8				8		26	
Exterior Elevations / Building Sections: Proposed, design and drawing production.		2	4				8				8		22	
Vertical and Horizontal Assemblies: Existing and proposed, design and drawing production.		2	8				4				4		18	
Wall Sections / Details: Design and drawing production	2	4	12				8				8		34	ĺ .
Schedules: Doors, Windows, Finishes			8				4				4		16	
Technical Specifications - CSI format.	8		4									12	24	ĺ .
Coordination with Sub Consultants	4	4	4										12	ĺ
Owner Meetings / Correspondence	4		8										12	
QA / QC	8	4											12	
SUBTOTAL (HOURS)	26	18	68	0	0	0	48	0	0	0	44	12	216	
SUBTOTAL (COST)	\$6,812	\$4,680	\$11,084	\$0	\$0	\$0	\$6,240	\$0	\$0	\$0	\$4,840	\$1,320		
											SUE	STOTAL DIRE	CT LABOR	\$34,976
											OHP O	N DIRECT LA	BOR - 10%	\$3,498
											TOTAL CO	OST OF DESI	GN LABOR	\$38,474
REIMBURSABLE DIRECT COSTS / EXPENSES												RATE (\$)		
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0 \$0
														\$U
										TOT		RSABLE DIRE	CT COSTS	\$0
										101			01 00 313	φU

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,200
Reid Middleton Inc.	Structural Engineering		\$4,338
RSA Engineering	Mechanical Engineering		\$2,330
RSA Engineering	Electrical Engineering		\$1,920
EHS Alaska	Hazardous Materials Engineering		\$1,822
		SUBTOTAL of SUB-CONSULTANT FEES	\$11,610
		OHP ON SUB-CONSULTANT FEES - 10%	\$1,161

TOTAL OF FEES THIS TASK (Fixed Fee) \$51,245



BBO JECT	HHES Roof,	Doors and S	iding Penla	coment										
PROJECT: PHASE (FEE STRUCTURE):			• •		、									
FIRM (PRIME):		0)									
FIRM (PRIME):	BDS Archite	CIS			Labor H	ours / Job C	lassificatio	n / Rate						
		Roof Tech	Associate		Labor II		BIM	Interior	Intern	Intern	Intern	Admin	-	
	Principal	Specialist	Architect	Architect III	Architect II	Architect I	Manager	Designer	Architect III	Architect II	Architect I	Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Pre-Bid Conference	1		1										2	
COV Permit Application and review responses			4										4	
Addenda Preparation	1	2	18				8						29	
Coordination with Sub Consultants			4										4	
Owner Meetings / Correspondence	3		5										8	
QA / QC	5												5	
SUBTOTAL (HOURS)	10	2	32	0	0	0	8	0	0	0	0	0	52	
SUBTOTAL (COST)	\$2,620	\$520	\$5,216	\$0	\$0	\$0	\$1,040	\$0	\$0	\$0	\$0	\$0		
											SUI	BTOTAL DIRE	ECT LABOR	\$9,396
											OHP O	N DIRECT LA	ABOR - 10%	\$940
											TOTAL C	OST OF DES	IGN LABOR	\$10,336
REIMBURSABLE DIRECT COSTS / EXPENSES						COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
														\$0
														\$0
												I		L
										тот	AL REIMBUR	RSABLE DIR	ECT COSTS	\$0

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,500
Reid Middleton Inc.	Structural Engineering		\$1,512
RSA Engineering	Mechanical Engineering		\$1,200
RSA Engineering	Electrical Engineering		\$950
EHS Alaska	Hazardous Materials Engineering		\$1,915
		SUBTOTAL of SUB-CONSULTANT FEES	\$7,077
		OHP ON SUB-CONSULTANT FEES - 10%	\$708

TOTAL OF FEES THIS TASK (Fixed Fee) \$11
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PROJECT	HHES Roof,	Doors, and S	iding Repla	cement										
PHASE (FEE STRUCTURE):	Task VI - Co	nstruction Ad	ministration	(T&M Not to	Exceed)									
FIRM (PRIME):	BDS Archite	cts												
		Labor Hours / Job Classification / Rate												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Pre-Bid Conference	4		4										8	
Conformed Documents		2	8				16						26	
Construction progress meetings	4	4	40										48	[
Site Visit Inspections (8 - includes Substantial Completion and Final inspections)	16		48										64	
Responses to Contractor Requests for Information (RFI's)	4	4	48				16						72	
Preparation of Architects Supplemental Instructions (ASI's)		2	16				4						22	
Submittal / Shop Drawing Review	8	8	80										96	
1% for Art: Meetings and Production	2		8				2						12	
Coordination with Sub Consultants	2	2	16											
Owner Meetings / Correspondence	4		24										28	
QA / QC	8												8	
SUBTOTAL (HOURS)	52	22	292	0	0	0	38	0	0	0	0	0	404	1
SUBTOTAL (COST)	\$13,624	\$5,720	\$47,596	\$0	\$0	\$0	\$4,940	\$0	\$0	\$0	\$0	\$0		1
											SUE	TOTAL DIRE	CT LABOR	\$71,880
											OHP O	N DIRECT LA	ABOR - 10%	\$7,188
											TOTAL CO	OST OF DESI	GN LABOR	\$79,068
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)	8 Day-trips / 1	Night										1	\$7,500	\$7,500
RMI Site Visit	· · · ·											1	\$1,044	\$1,044
RSA Site Visit												1	2210	\$2,210
	1													\$0
										тот	AL REIMBUR	SABLE DIRE	ECT COSTS	\$10,754

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,500
Reid Middleton Inc.	Structural Engineering		\$26,024
RSA Engineering	Mechanical Engineering		\$7,700
RSA Engineering	Electrical Engineering		\$5,950
EHS Alaska	Hazardous Materials Engineering		\$6,249
		SUBTOTAL of SUB-CONSULTANT FEES	\$47,423
		OHP ON SUB-CONSULTANT FEES - 10%	\$4,742

TOTAL OF FEES THIS TASK (Fixed Fee) \$141,987



PROJEC	T: HHES Roof,	Doors, and S	iding Repla	cement										
PHASE (FEE STRUCTURE): Task VIII - R	ecord Drawin	gs (LUMP S	SUM)										
FIRM (PRIME): BDS Archite	cts												
		Labor Hours / Job Classification / Rate												
	Principal	Roof Tech Specialist	Associate Architect	Architect III	Architect II	Architect I	BIM Manager	Interior Designer	Intern Architect III	Intern Architect II	Intern Architect I	Admin Support		
	\$262.00	\$260.00	\$163.00	\$152.00	\$145.00	\$140.00	\$130.00	\$120.00	\$120.00	\$115.00	\$110.00	\$110.00		
Description of Task													HOURS	COSTS
Record Drawing Production from Contractor Redlines			12				32				24		68	
Coordination with Sub Consultants			4										4	1
Owner Meetings / Correspondence			4										4	
QA / QC	4												4	
SUBTOTAL (HOURS)	4	0	20	0	0	0	32	0	0	0	24	0	80	1
SUBTOTAL (COST)	\$1,048	\$0	\$3,260	\$0	\$0	\$0	\$4,160	\$0	\$0	\$0	\$2,640	\$0		1
											SUE	STOTAL DIRE	CT LABOR	\$11,108
											OHP O	N DIRECT LA	BOR - 10%	\$1,111
											TOTAL CO	OST OF DESI	GN LABOR	\$12,219
REIMBURSABLE DIRECT COSTS / EXPENSES					(COMMENTS						QTY/UNIT	RATE (\$)	
BDS Site Visit (Air Fare, Room, Meals, Airport Parking)														\$0
														\$0
	1													\$0
	1													\$0
	1													<u> </u>
										тот	AL REIMBUR	SABLE DIRE	CT COSTS	\$0

SUB-CONSULTANTS	SERVICE, PRODUCT, ETC.	COMMENTS	
Enterprise Engineering Inc.	Civil Engineering		\$1,200
Reid Middleton Inc.	Structural Engineering		\$2,000
RSA Engineering	Mechanical Engineering		\$1,100
RSA Engineering	Electrical Engineering		\$800
EHS Alaska	Hazardous Materials Engineering		\$793
		SUBTOTAL of SUB-CONSULTANT FEES	\$5,893
		OHP ON SUB-CONSULTANT FEES - 10%	\$589

TOTAL OF FEES THIS TASK (Fixed Fee)	\$18,701	
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March 17, 2022

Victor V. Valenote, AIA BDS Architects 3330 C Street Anchorage, AK 99503

SUBJECT: Letter of Understanding – Civil Design Services COV HHES School Repairs and Condition Surveys EEI Proposal No. 9910

Dear Mr. Valenote:

Enterprise Engineering, Inc. (EEI) is pleased to submit this proposal Letter of Understanding to provide Consulting Engineering services in connection with the above referenced project.

ENGINEERING. INC.

STATEMENT OF INTENT

The scope of the project is based on your email RFP dated March 10, 2022 and follow-up discussion. This Letter of Understanding presents our understanding of the required scope of services and our fees for providing these services. Please inform us if your understanding is other than described herein.

This proposal is for two projects in Valdez, Alaska: Hermon Hutchens Elementary School (HHES) Roof, Doors, and Siding Replacement project, and Condition Surveys for three school sites and the district office.

The HHES project will include design for minor civil issues related to the replacement of building components and those that may be identified during the site visit. EEI will also provide bidding, permitting and construction support.

The scope for the Condition Surveys consists of site visits to the four sites, evaluation of site conditions, and reports with the findings. The investigations and reports will follow State of Alaska Department of Education DEED guidelines for condition surveys.

The City of Valdez (COV) has requested that the Valdez High School condition survey be completed by mid-July, and the Valdez Middle School, Hermon Hutchens Elementary School and the Valdez District Office condition surveys be completed by Mid-August of this year. The four sites will be evaluated during the same site visit, which will need to be completed by mid-June 2022, in order to meet the July 2022 deadline. The HHES project 95% CDs are to be completed by February 2023.

We understand that BDS Architects will be the design project manager, and will coordinate with the client and governing review agencies. You will be our primary contact.

SCOPE OF SERVICES

CONDITION SURVEYS – 4 SITES

Site Visit

An engineer with Enterprise Engineering, Inc. will make a site visit to evaluate and assess the civil components of the four school sites. These components may include but are not limited to; building foundations for the school buildings (as observed from the building perimeter), site drainage, water and sewer systems outside of buildings, play areas, pavement and sidewalks, and fencing. We will have discussions with school personnel as appropriate, obtain photos, and otherwise gather information for use in the assessment.

Prior to the site visit, we will review available drawings, to become familiar with facility information and help form an understanding of system functions. The visit will be at the date you set for the team visit, but will likely be completed within 2 days, with 2 overnights.

Condition Survey Reports

Four separate condition survey reports will be written for the Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School and the Valdez District Office and will include descriptions of the existing sites, the school building foundations, the water and sewer systems, and drainage conditions. A list of observed deficiencies will be provided along with photos, and a key plan will be included as necessary.

Recommendations for repair or replacement of identified deficiencies will not be included in this report. Assessment of the Valdez High School swimming pool, football field, and baseball field is also not included in the condition survey.

HHES ROOF, DOORS, AND SIDING REPLACEMENT

Survey (Not Included)

Additional survey does not appear to be necessary for this project. Should elevation information be needed for door stoops or for basic drainage repairs, it can be obtained during the site visit for the condition surveys with the use of a hand level.

Site Basemap

EEI will prepare a basemap for the basis of the site design the CAD files provided by the owner, and supplemented as necessary based on as-builts for HHES original construction and upgrade projects. The basemap in AutoCAD format can be provided to the design team for their use.

Civil Site Design

The HHES was originally constructed in about 1980. There have been various upgrades to the school site and building since then. The current project will include a roof replacement, and repairs or replacement of the roof drainage system, doors, and siding. The civil scope will include an assessment of the roof drainage system, downstream of building piping, as shown by as-builts, and a review of reports of any problems experienced. If it is found there are any deficiencies, we will design repairs or replacement of drainage system components. Other possible site repairs may include providing new stoops or walkways adjacent to exterior doors, if

necessary to meet ADA accessibility requirements, or to otherwise provide safety improvements. Other potential site repair items might be identified as part of the Condition Survey.

EEI will prepare an overall site plan for the Hermon Hutchens Elementary School repair project. The site plan will be used for civil design upgrades discussed above. Potential construction access and staging areas can also be identified. General site work construction notes will be included.

EEI will provide a Site Details sheet which will contain details and sections to further define the work. Details may include storm drain repair details, and possibly an enlarged plan detail. It may include earthwork for an stoops or walkway repairs. The completed sheets will be provided for inclusion for owner review and permit submissions.

Specifications will be prepared for the site civil components as necessary, where notes on the plans are not sufficient. This may include storm drain improvements, including piping and structures.

We understand there will be design submittals at the 35%, 65%, 95%, and 100% design levels. We will attend coordination meetings via Teams as appropriate for the design phase of the work, and submittal review conferences. Otherwise, we assume that coordination will be by phone and emails. We will review civil components of construction cost estimates at the various submittals.

Bidding/Permitting (T&E)

During bidding and permitting, EEI will respond to comments or questions regarding our design. We assume that review submittals will be informal (accomplished with phone and email). Addenda sketches will be provided as necessary.

Engineering Support – Construction (T&E)

We anticipate that construction phase services will be requested of EEI. These services could include occasional consultation during construction for design clarification, changes, and possible unforeseen construction developments. We have included a minimal level of services, to include 8 office hours. No site visits are anticipated to be necessary during construction, and have not been included.

LIST OF DELIVERABLES

We will furnish the following documents for use in submittals. Drawings will be in pdf format that can be printed as necessary to meet requirements. We will provide you or the architect CAD drawing files at stages as necessary to coordinate the design.

HHES Project

- Site Plan
- Site Details (if applicable)
- Specifications
- Record Drawings

Condition Surveys

- Condition Survey Report #1 Valdez High School
- Condition Survey Report #2 Valdez Middle School
- Condition Survey Report #3 Hermon Hutchens Elementary School
- Condition Survey Report #4 Valdez District Office

EXCLUSIONS

As further clarification of our scope of services, the items listed below are not currently included.

- Off-site assessment
- Assessment of water or sewage storage or treatment systems inside buildings
- Cost estimating
- Survey
- Site drawings for condition surveys
- Gas, telephone, power, fire alarm, security, data systems, and site lighting are not included
- Travel delays
- Separate site visit for HHES Project

COMPENSATION

In accordance with your request, we propose to provide basic included services as described within this Letter of Understanding on a lump sum (fixed fee) basis as follows:

Condition Survey Service (LS)	Fee
Site Visit (4 Sites)	\$ 6,200
Condition Survey Reports (4 Reports)	\$ 9,400
Lump Sum Fee	\$15,600
HHES Design Service (LS)	Fee
Site Basemap	\$ 4,200
35% Schematic Design	\$ 2,500
65% Design Development	\$ 3,100
95% Construction Documents	\$ 3,100
100% Bid Documents	\$ 1,200
Record Drawings	\$ 1,200
Lump Sum Fee	\$15,300

Design Service (T & E)	Estimated Fee
Bidding/ Permitting	\$ 1,500
Construction Support	\$ 1,500
Total Estimated Fee (T & E)	\$ 3,000

We will bill on a monthly basis based on expenditures to date. The estimated T&E fees will not be exceeded without your written approval. Payment is expected within 30 days. Payment made after this time will incur a 1% interest charge.

SCHEDULE

EEI will be able to complete a basemap within 10 business days after receiving a Notice-to-Proceed (NTP) and a CAD file. Drawings for the 35% submittal can be completed within 2 weeks after we receive information regarding specific site repairs. Completion of the condition survey reports can be completed within 15 working days, after the site visit. We will make every effort to meet your schedule.

GENERAL CONDITIONS

A copy of our standard CONTRACT GENERAL CONDITIONS is attached. These general conditions become incorporated into this contract upon receipt of your signed authorization to proceed with the services stated in this Letter of Understanding.

AUTHORIZATION

Please sign and return one copy of this document to Enterprise Engineering, Inc. so that we may begin work on this project. Please call if you have any questions. We appreciate the opportunity to propose Consulting Engineering services.

Sincerely,

ENTERPRISE ENGINEERING, INC.

Carl Bassler

Carl A. Bassler, P.E. Principal, Chief Engineer-Civil

Attachments: Contract General Conditions

ACCEPTED BY:

DATE:

FOR:_____

ENTERPRISE ENGINEERING, INC. ATTACHMENT A - CONTRACT GENERAL CONDITIONS

Enterprise Engineering, Inc. is hereby defined as the CONSULTING ENGINEER. These Contract General Conditions apply to and are part of the Letter of Understanding for Scope of Services.

PAYMENT

Invoices will be submitted monthly and are due and payable within 30 days of invoice date. Balances unpaid within 30 days from date of invoice will be subject to a monthly service charge of 1% (12% per annum).

INSURANCE AND INDEMNITY

The CONSULTING ENGINEER shall maintain statutory workers compensation insurance coverage, employer's liability, comprehensive general liability insurance coverage, and professional liability insurance coverage.

The CONSULTING ENGINEER agrees, to the fullest extent permitted by law, to indemnify and hold harmless the CLIENT, its officers, directors and employees (collectively, CLIENT) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, to the extent caused by the CONSULTING ENGINEER's negligent performance of professional services under this agreement and that its subconsultants or anyone for whom the CONSULTING ENGINEER is legally liable.

The CLIENT agrees, to the fullest extent permitted by law, to indemnify and hold harmless the CONSULTING ENGINEER, its officers, directors and employees (collectively, CONSULTING ENGINEER) against all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, to the extent caused by the CLIENT's negligent acts in connection with the project and the acts of its contractors, subcontractors or consultants or anyone for whom the CLIENT is legally liable.

Neither the CLIENT nor the CONSULTING ENGINEER shall be obligated to indemnify the other party in any manner whatsoever for the other party's own negligence. In the event such claim, losses, damages, or expenses are legally determined to be caused by joint or concurrent negligence of CLIENT and the CONSULTING ENGINEER, they shall be borne by each party in proportion to its own negligence under comparative fault principles. Neither party shall have a duty to defend the other party, and no duty to defend is hereby created by this indemnity provision and such duty is explicitly waived under this agreement.

In the event that any portion of the indemnification undertaken by the CLIENT is determined by a court of competent jurisdiction to be invalid or unenforceable, the remaining indemnification provisions and the CLIENT's waiver of claims shall be considered severable and shall remain in full force and effect.

The CLIENT shall require any Contractor(s) or Subcontractor(s) who performs work in any way connected with this Project, and the Construction Contract Documents produced under this Agreement, to hold harmless, indemnify, and defend the CLIENT and the CONSULTING ENGINEER, their consultants, and each of their officers, and employees from any and all liability claims, losses, or damage arising out of, or alleged to arise from, the Contractor's or Subcontractor's negligence in the performance of the work described in the Construction Contract Documents, but not including liability due to the sole negligence of the CLIENT, the CONSULTING ENGINEER, their consultants, or their officers, and employees.

WAIVER OF CONSEQUENTIAL DAMAGES

Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the CLIENT nor the CONSULTING ENGINEER, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement. This mutual waiver of consequential damages shall include, but is not limited to, loss of use, loss of profit, loss of business, loss of income, loss of reputation and any other consequential damages that either party may have incurred from any cause of action including negligence, strict liability, breach of contract and breach of strict or implied warranty. Both the CLIENT and the CONSULTING ENGINEER shall require similar waivers of consequential damages protecting all the entities or persons named herein in all contracts and subcontracts with others involved in this project.

FIDUCIARY RESPONSIBILITY

CLIENT confirms that neither CONSULTING ENGINEER nor any of CONSULTING ENGINEER'S subconsultants or subcontractors has offered any fiduciary service to CLIENT and no fiduciary responsibility shall be owed to CLIENT by CONSULTING ENGINEER or any of CONSULTING ENGINEER's subconsultants or subcontractors, as a consequence of CONSULTING ENGINEER's entering into this agreement with CLIENT.

CONFLICT RESOLUTION

The CLIENT agrees that mandatory arbitration clauses will not be included in any contract between the CLIENT and CONSULTING ENGINEER.

To resolve any conflicts that arise during or following the completion of the project, the CLIENT and the CONSULTING ENGINEER agree that all disputes between them, arising out of or relating to this Agreement, shall be submitted to non-binding mediation unless the parties mutually agree otherwise. The CLIENT and the CONSULTING ENGINEER further agree to include a similar mediation provision in all agreements with independent contractors and consultants retained for the project and to require all independent contractors and consultants to likewise include a similar mediation provision in all agreements with subcontractors, subconsultants, suppliers or fabricators so retained, thereby providing for mediation as the primary method for dispute resolution between the parties to those agreements.

CLIENT'S RESPONSIBILITIES

The CLIENT shall be responsible to accomplish the following at no additional cost to the CONSULTING ENGINEER:

- Designate a person authorized to act as the CLIENT'S representative. The CLIENT'S representative shall receive and examine documents submitted by the CONSULTING ENGINEER, interpret and define the CLIENT'S policies, and render decisions and authorizations promptly to prevent unreasonable delay in the progress of the services.
- 2. Provide all criteria and standards and full information as to the CLIENT'S requirements for the project.
- Furnish right-of-entry, provide access, and make all other necessary provisions for the CONSULTING ENGINEER to enter upon public and private lands as required to complete the project.
- 4. Compensate the CONSULTING ENGINEER for all services described herein and for those authorized as additional reimbursable services.

STANDARD OF CARE

Service performed by the CONSULTING ENGINEER under this Agreement will be conducted in a manner consistent with that level of care and skill that is ordinarily exercised by members of the profession currently practicing under similar conditions. No other representations to CLIENT, express or implied, and no warranty or guarantee is included or intended in this agreement, or in any report, document, or other communications.

LIMITATION OF LIABILITY

The CLIENT agrees to limit the CONSULTING ENGINEER's liability to the CLIENT and to all construction Contractors and their Subcontractors on the project, due to the CONSULTING ENGINEER's negligent acts, errors, or omissions, such that the total aggregate liability of the CONSULTING ENGINEER to those named above shall not exceed \$250,000 or the CONSULTING ENGINEER's total fee for services rendered on this project, whichever is greater.

DOCUMENTS

All documents, designs, drawings, specifications, reports, and other work product of the CONSULTING ENGINEER for this project are instruments of service for this project only. Reuse of any of the instruments of service of the CONSULTING ENGINEER by the OWNER or CLIENT on extensions of this project or on any other project without the written permission of the CONSULTING ENGINEER shall be at the OWNER's or CLIENT's risk and the OWNER or CLIENT agrees to defend, indemnify, and hold harmless the CONSULTING ENGINEER from all claims, damages, and expenses including attorneys' fees arising out of such unauthorized reuse of the CONSULTING ENGINEER's instruments of service by the OWNER, CLIENT, or others acting through the OWNER or CLIENT.

JOBSITE SAFETY

Neither the professional activities of the CONSULTING ENGINEER, nor the presence of its employees or any of its subconsultants at a construction/project site, shall impose any duty on the CONSULTING ENGINEER, nor relieve any Contractor or Subcontractor who performs Construction work in any way connected with this Project and the Construction Contract Documents produced under this Agreement of its obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending and coordinating the Work in accordance with the Contract Documents and any health or safety precautions required by any regulatory agencies.

The CONSULTING ENGINEER and its personnel have no authority to exercise any control over any Construction Contractor or its employees in connection with their work or any health or safety programs or procedures. The CLIENT agrees that the Construction Contractor shall be solely responsible for jobsite and worker safety and warrants that this intent shall be carried out in the CLIENT's contract with the Construction Contractor. The CLIENT also agrees that the Construction Contractor shall defend and indemnify the CLIENT, the CONSULTING ENGINEER and its subconsultants. The CLIENT also agrees that the CLIENT, the CONSULTING ENGINEER and its subconsultants, shall be made additional insureds under the General Contractor's policies of general liability insurance.

TERMINATION OF AGREEMENT

This agreement may be terminated by either party upon seven (7) days written notice. Upon termination, the CONSULTING ENGINEER shall be compensated for all services performed to the date of receipt of notice of termination, plus all reimbursable expenses then due, plus all reasonable additional expenses which may be incurred in the closing out of project records and project activities.

Upon termination, the CONSULTING ENGINEER shall deliver to the CLIENT one (1) copy of all otherwise deliverable studies, sketches, calculations, drawings, estimates, reports, records, schedules, and other such information and data accumulated in the performance of services under this Agreement, whether completed or not, provided, however, that: 1) the CLIENT shall hold harmless, indemnify and defend the CONSULTING ENGINEER against all losses, claims, and damages arising out of any use of such information and data for the completion of this project, extensions to this project, or for any other project; 2) it is understood and agreed that the CONSULTING ENGINEER's title block and seal shall be removed from all documents on which they might otherwise appear (whether previously delivered to the CLIENT or not); and 3) payment in full to the CONSULTING ENGINEER for all services rendered, reimbursable expenses incurred, and termination fees due is rendered at the time of delivery of such information and data.

March 16, 2022 File No. 402022.913.002

Mr. Victor V. Valenote,

BDS Architects 3330 C Street, #200 Anchorage, Alaska 99503

Subject: Agreement for Professional Services, City of Valdez Condition Assessments

Dear Mr. Valenote:

Thank you for considering Reid Middleton to provide professional structural engineering services for the Condition Assessment and Seismic Evaluation project in Valdez, Alaska. We look forward to working with you on this project.

A. PROJECT UNDERSTANDING

We understand that City of Valdez is considering four condition assessments and one seismic evaluation of existing buildings in Valdez, Alaska. Reid Middleton will provide design and construction phase structural engineering services as described in Section B.

B. SCOPE OF SERVICES

- 1. The City of Valdez Condition Assessments Project consists of condition assessments of four separate facilities; Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School, and the Valdez District Office. The Valdez High School will also undergo Seismic Evaluations.
- 2. Condition Assessments: Reid Middleton will perform site visits with the intent of visually inspecting each of the four aforementioned buildings to determine the condition of all structural systems. Existing available drawings will be reviewed to identify variations between plans and buildings, and to recognize any potential design issues. A condition assessment report for each facility will include an executive summary, information regarding the building's history, an overview of the structural systems, and structural observations and recommendations. Photos will be included to illustrate report findings.
- Tier 1 Report: Reid Middleton will perform an American Society of Civil Engineers (ASCE) Tier 1 Seismic Evaluation of the Valdez High School. The seismic evaluation will be performed using the reference standard document titled ASCE 41-17, Seismic Evaluation and Retrofit of Existing Buildings. The Tier 1 analysis is a 'quick check' procedure that evaluates whole building and detects all potential seismic issues using checklists. Existing drawings will be reviewed to inform the site visit (performed concurrently with the condition assessment). A report will be produced that
 With the condition and will include photos that clarify findings. If

ALASKA 4300 B Street Suite 302 Anchorage, AK 99503 907 562-3439

CORPORATE 728 134th Street SW Suite 200 Everett, WA 98204 425 741-3800

www.reidmiddleton.com

desired, this report can be appended to the Condition Assessment Report. Recommendations for repairs will be made with an emphasis on items that can be accomplished during the exterior envelope renovation project.

- 4. Task 1: Valdez High School Condition Assessment Report.
- 5. Task 2: Valdez High School Tier 1 Seismic Evaluation
- 6. Task 3: Hermon Hutchens Condition Assessment Report.
- 7. Task 4: Valdez District Office Condition Assessment Report
- 8. Task 5: Valdez Middle School Condition Assessment Report
- 9. Reid Middleton will provide the reports in pdf format for the final submittals.
- 10. Additional services may be requested by BDS architects on a Time and Expense basis. These additional services may include, but are not limited to, additional meetings, field investigation, additional site visits, engineers estimate, and additional design services.

C. PERIOD OF PERFORMANCE

Reid Middleton will begin services upon receipt of a signed agreement and will make every reasonable effort to complete the services in a timely manner considering the needs of the project.

We anticipate that we can have the reports complete within 4-5 months after receiving the NTP.

D. CLIENT'S RESPONSIBILITIES

BDS Architects shall provide available pertinent data, documents, plans, elevations, sections and details and other information to Reid Middleton as necessary to complete the services outlined in Part A (Project Understanding) or Part B (Scope of Services).

BDS Architects will coordinate all other disciplines, and the owner to ensure that information flows in a timely and efficient manner.

E. ASSUMPTIONS AND EXCLUSIONS

Our scope of work is based on the following assumptions and exclusions:

- 1. Record drawings of the existing building are available for review. No as-builting of the existing building is included. All as-builting time will be billed on a Time and Expense basis.
- 2. This project will not be subject to the normal review process at 35%, 65% or 95% design levels. Our budget does not include any time to attend design review meetings other than normal coordination with BDS Architects and meetings to discuss report findings with the owner at the completion of each report.

- 3. Design examples of items NOT part of our design fee:
 - a. Any ancillary facilities in relation to this project requiring our design services other than those outlined in Part A (Project Understanding) or Part B (Scope of Services).
 - b. Any structural design services.
 - c. Cost estimates
- 4. Reproduction and distribution of progress or final design drawings will be the responsibility of others.

Note that these non-scope items can be provided as additional services upon request on a Time and Expense basis.

F. COMPENSATION

For services described in Section B, Reid Middleton shall be paid the lump sum as outlined below:

Phase of Services	Staff Hours	Fee	Estimated Reimbursable Expenses
Task 1 (Valdez High School Condition Assessment)	26	\$ 4,350	
Task 2 (Valdez High School Tier 1 Seismic Evaluation)	37	\$5,640	
Task 3 (Valdez Middle School Condition Assessment)	20	\$ 3,720	
Task 4 (Hermon Hutchens School Condition Assessment)	22	\$ 4,190	
Task 5 (Valdez District Office)	14	\$ 3,400	
TOTAL Structural Services		\$21,300	\$1,688

One site visit is indicated for condition assessments and seismic evaluation. If we exceed the budgeted man-hours and expenses for reasons beyond our control (for example for multiple site visits or weather-related travel plan adjustment) we reserve the right to request for additional compensation.

For any items noted as Time and Expense, Reid Middleton shall be paid on a time-plusexpense basis in accordance with provisions of the attached Exhibit A (Schedule of Charges) Effective July 1, 2021, or on the basis of such other mutually satisfactory arrangements as may be negotiated.

G. REID MIDDLETON STAFF

Jason Kwiatkowski will be the primary contact for this proposal. However, other individuals at Reid Middleton will work on aspects of your project as required.

H. CONDITIONS OF AGREEMENT

The terms and conditions of the attached Exhibit B (Conditions of Agreement) are included as part of this agreement.

We appreciate the opportunity to submit this proposed agreement. The terms of this agreement will become effective when confirmed by your signature within 30 days. If you wish to pursue this project after that time, this agreement may then be renegotiated. If the terms are acceptable, please sign your acceptance below and return one executed copy to Reid Middleton.

If you have any questions or comments, please call me to discuss.

Sincerely, **Reid Middleton, Inc**.

Anthe

Jason Kwiatkowski, P.E. Project Manager – Alaska Office March 16, 2022

ACCEPTED:	
BDS Architects	

Ву	
Title	
Date	

Attachments

Reid Middleton Exhibit A, "Schedule of Charges – Alaska" Reid Middleton Exhibit B, "Conditions of Agreement" Fee Proposal, "City of Valdez Condition Assessments 2022"

Reid Middleton, Inc. Exhibit "A" Schedule of Charges - Alaska Effective July 1, 2021 through June 30, 2022

Compensation shall be based on time and expenses directly attributable to the project and shall follow the schedule below unless another method of compensation has been expressed in the written agreement.

I. Personnel

Hourly Rate

Principal Associate Principal	\$ 230.00
Associate Principal	\$ 210.00
Associate	\$ 200.00
Senior Engineer	\$ 178.00
Project Engineer	\$ 158.00
Senior Engineer Project Engineer Design Engineer/Designer II/Design Technician Designer I Project Administrator	\$ 143.00
Designer I	\$ 127.00
Project Administrator	\$ 122.00
CAD Technician II	\$ 127.00

Expert Witness/Forensic Engineering 1.5 times usual hourly rate (4 hour minimum)

Individuals not in the regular employ of Reid Middleton may occasionally be engaged to meet specific project requirements. Charges for such personnel will be comparable to charges for regular Reid Middleton personnel.

A premium of 1.5 times the usual hourly rate may be charged if project requirements make overtime work necessary.

II. Reimbursable Expenses

The following charges shall apply to all agreements unless specifically stated otherwise. For fixed fee or lump sum agreements, these charges shall be over and above the stated fixed fee or lump sum.

Mileage.....\$ 0.56/mile

Expenses other than Reid Middleton's professional services that are directly attributable to the project are invoiced at cost plus 15%. These expenses include, but are not limited to, subconsultant or subcontractor services, travel and subsistence, communications, couriers, postage, fees and permits, document reproduction, special instrumentation and field equipment rental, premiums for additional insurance where required, special supplies, and other costs directly applicable to the project.

A new schedule of charges is issued and becomes effective July 1 each year. Unless the agreement states otherwise, charges for all work, including continuing projects initiated in prior years, will be based on the latest schedule of charges.

III. Payments

Fees and all other charges are billed monthly as services progress. The full amount of each invoice is due and payable thirty (30) days after the date of such invoice. Any amount not paid within thirty (30) days of the date of the invoice shall be considered delinquent and shall bear a delinquency charge of 1-1/2 percent per month (or, if lower, the maximum rate allowed by law) from the date of the invoice. Failure to make a payment by the due date is a substantial breach of a material term of the parties' agreement, and Reid Middleton may, at its option, suspend services or terminate this agreement in that event. The delinquency charge or payment thereof shall not extend the due date or affect the right to suspend services or terminate. Payments received on delinquent accounts will be applied first to accrued delinquency charges and then to the unpaid principal amount.



Reid Middleton. Inc. Exhibit "B" Conditions of Agreement - Alaska

Charges for Additional Services performed are in addition to charges specified in the agreement and shall I. be included on invoices sent to the client Additional Services shall be performed at the rates specified in the current Exhibit "A," Schedule of Charges – Alaska.

Reid Middleton shall notify the client if it believes that any direction given by the client or any circumstances presented by the project requires the performance of services beyond the scope of the agreement. If the client disagrees that the services are beyond the scope of the agreement, or if the client prefers that the identified services not be performed, it shall notify Reid Middleton within one week of its receipt of Reid Middleton's original notice. If no such notice is received, Reid Middleton shall be authorized to perform the identified services as Additional Services.

- Additional Services shall include, without limitation, the following: 1. Replacement of stakes destroyed by parties other than Reid Middleton or by an act of God;
- Making revisions to drawings, specifications or other documents which are inconsistent with approvals or instructions previously given by the client, required due to changes in the law or required due to 2. changes in the overall project;
- Providing services due to default or defective performance on the part of the construction contractor; 3
- 4. Providing services to address unanticipated or unforeseen site conditions; or
- Providing other services beyond the scope of services described in the agreement. 5.
- II. All drawings, specifications, electronic media, and other documents prepared by Reid Middleton for this project are instruments of Reid Middleton's service for use solely with respect to this project. Reid Middleton shall be deemed to be the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The client shall be entitled to retain copies of the instruments of service for reference in connection with its use and occupancy of the project. Reid Middleton shall remove all indices of its ownership, professional corporation name, ad/or involvement from each electronic media. Reid Middleton's drawings, specifications, electronic media, or other documents shall not be used by the client or by others on other projects, for additions to this project or for completion of this project by others, except by agreement in writing signed by Reid Middleton and with appropriate compensation to Reid Middleton. Any unauthorized use of the documents shall be at the client's sole risk, and the client shall indemnify, defend and hold Reid Middleton harmless from all claims, damages, losses or expenses, including attorney fees, related to or arising from such unauthorized use. Submission or distribution of documents to meet regulatory requirements or for similar purposes in connection with this project is not to be construed as publication in derogation of Reid Middleton's reserved rights.
- III. Reid Middleton shall not be liable for damages resulting from the actions or inactions of governmental agencies, and Reid Middleton shall act only as an advisor in all governmental communications and relations. Reid Middleton does not guarantee that requisite permits or authorizations will be issued.
- IV. Reid Middleton shall have no responsibility for the discovery, presence, handling, removal or disposal of pollutants or hazardous materials (including but not limited to asbestos, asbestos products, PCB or other toxic substances) in any form at the project site. In no event Shall Reid Middleton (or its officers, directors, employees or consultants) be liable for costs, losses or damages -- including but not limited to delay costs or damages due to personal injury, sickness or death, or damage to property -- resulting from or related to the presence of pollutants or hazardous materials at the project site.
- V. In the event of a dispute arising out of or related to the agreement, or the breach or alleged breach hereof, which dispute cannot be resolved through negotiations between the parties, the parties agree that the dispute shall be submitted to nonbinding mediation. Unless the parties subsequently agree upon a different mediation service or mediator, the dispute shall be submitted to the American Arbitration Association, acting under its construction mediation rules and procedures. Either party may make the initial submission. Each party shall pay its own costs (including, if applicable, its attorney and expert witness costs) and one-half of the charge levied by the mediation service and mediator.

If any dispute is not resolved through nonbinding mediation, venue for litigation arising under or related to this agreement, or the breach or alleged breach hereof, shall be in the Superior Court for the State of Alaska, 3rd Judicial District, at Anchorage, Alaska. The substantially prevailing party in litigation shall be awarded its costs, attorney fees and expert witness fees incurred for trial preparation, trial and, if applicable, any and all appeals. The agreement shall be governed by the internal laws of the State of Álaska.

Causes of action between the parties related to or arising out of the agreement shall be deemed to have VI. accrued, and the applicable statute of limitations shall commence to run, no later than the date on which Reid Middleton last performs substantial services under this agreement.



PROJECT: CITY OF VALDEZ CON PREPARED FOR: BDS PREPARED BY: Jason Kwiatkowski, PE	DITION SUR	VEYS 2022					Torms	LUMP SU!	м			
PROPOSAL NO: 402022.913.002							Terms:	LUMF SUI	n -			
ITEM	PRINCIPAL	ASSOCIATE PRINCIPAL	ASSOCIATE	SENIOR ENGINEER	PROJECT ENGINEER	DESIGN ENGINEER	DESIGNER I	PROJECT ADMIN	LINE TOTALS	TASK TOTALS	0.2*Pro Mangemen to Task	ıt added
PMProject Management												
Contract Review/Project Setup								1	\$ 122			
Misc. Project Management	1			4				1	\$ 942			
Mise. I reject Management	1								\$ 712		Task brea	k out
Final QC Review	4								\$ 920		amount	
Subtotal Task PM	5	0	0	4	0	0	0	1	10	\$ 1,984	\$	397
	0	Ŭ	v	•	v	Ŭ	v	•	10	\$ 1,001	Ψ	0,,,
1 Condition Survey High School		1					1					
Site visit				8					\$ 1,424			
mmeting				-	1				\$ 158			
Report					15				\$ 2,370			
Subtotal Task 1	0	0	0	8	16	0	0	0	24	\$ 3,952	\$	4.349
	v	v	U	0	10	•	v	U	24	\$ 5,752	Ψ	-,,,-,
3 Condition Survey Middle School												
Site visit				8					\$ 1,424			
meeting				0	1				\$ 158			
Report					11				\$ 1,738			
Subtotal Task 3	0	0	0	8	12	0	0	0	20	\$ 3,320	\$	3,717
Subtotal Task 5	v	v	v	Ū	12	v	v	U	20	\$ 5,520	Ψ	5,717
4 Condition Survey HHES												
Site visit				8					\$ 1,424			
Report				0	14				\$ 2,212			
Meeting					1				\$ 158			
Subtotal Task 4	0	0	0	8	15	0	0	0	23	\$ 3,794	\$	4,191
Subtotal Lask 4	U U	Ū	•	0	15	•	v	U	23	\$ 3,774	φ	4,171
5 Condition Survey Valdez District Office	1		-	-	-	-						
Site visit				8					\$ 1,424			
Report				0	9				\$ 1,422			
Meeting					1				\$ 158			
	1				-				\$ 156			
	1								\$ -			
Subtotal Task 5	0	0	0	8	10	0	0	0	18	\$ 3,004	\$	3,401
Subtotal Lask C		, v		0	10	v	•		10	Ф 0,00 1		3,101
2 Tier 1 Valdez High School												
Tier 1					16	19			\$ 5,245		1	
meeting accounted in condition survey						.,			\$ 5,245		1	
Subtotal Task 2	0	0	0	0	16	19	0	0	35	\$ 5,245	\$	5,642
Subtotur Lusik #		, v		•	10	17	•			ф <u>0</u> , 2 40		0,042
TOTAL HOUPS:	5	0	0	36	69	19	0	1		\$ 21,299	¢ .	21,299
TOTAL HOURS:	-	÷				-,	ţ	-		\$ 21,299	аў.	21,299
HOURLY RATE:	\$ 230		\$ 200			\$ 143		•	621 200			
SUBTOTAL LABOR:	\$1,150	\$0	\$0	\$6,408	\$10,902	\$2,717	\$0	\$122	\$21,299		 	
ESTIMATED REIMBURSABLE EXPENSES	<u> </u>								\$1,688		<u> </u>	
FOTAL EST FEE: A: REIMBURSABLES INCLUDE PHOTOS, M	<u> </u>								\$22,987			

Date: 3/16/2022

REID MIDDLETON, INC.

STRUCTURAL ENGINEER'S FEE ESTIMATE

 TOTAL EST FEE:

 A: REIMBURSABLES INCLUDE PHOTOS, MILEAGE, PER DIEM COSTS, PLOTTING & COURIER CHARGES.

 B: REFER TO REID MIDDLETON, INC EXHIBITS A & B.

March 16, 2022 File No. 402022.913.002

Mr. Victor V. Valenote,

BDS Architects 3330 C Street, #200 Anchorage, Alaska 99503

Subject: Agreement for Professional Services, Hermon Hutchens Elementary School Upgrades

Dear Mr. Valenote:

Thank you for considering Reid Middleton to provide professional structural engineering services for the Hermon Hutchens Elementary school (HHES) Seismic Evaluation, Roof and Envelope Upgrade project in Valdez, Alaska. We look forward to working with you on this project.

A. PROJECT UNDERSTANDING

We understand that City of Valdez is considering upgrades to the Hermon Hutchens Elementary School in Valdez, Alaska. Reid Middleton will provide design and construction phase structural engineering services as described in Section B.

B. SCOPE OF SERVICES

- 1. The City of Valdez HHES Elementary School Upgrade Project consists of a seismic evaluation, reroof of the main building, roof structure upgrade design, and siding replacement,
- 2. Tier 1 Report: Reid Middleton will perform an American Society of Civil Engineers (ASCE) Tier 1 Seismic Evaluation of the Hermon Hutchens Elementary school. The seismic evaluation will be performed using the reference standard document titled ASCE 41-17, Seismic Evaluation and Retrofit of Existing Buildings. The Tier 1 analysis is a 'quick check' procedure that evaluates whole building and identifies all potential seismic issues using checklists. Existing drawings will be reviewed to inform the site visit (performed concurrently with the condition assessments). A report will be produced that summarizes the findings of the evaluation. Photos will be included to clarify findings. Recommendations for repairs will be made with an emphasis on items that can be accomplished during the reroof and siding repair project.
- 3. Roof Replacement: Reid Middleton will perform an analysis to determine effects of a replacement roofing and provide recommendations for minimizing complications with new roof. The roof structure will be analyzed for snow drift accumulation. A current code (ASCE 7-16) based gravity analysis of all roof structural members and associated gravity components will be performed. This analysis will result in retrofit solutions,

ALASKA

4300 B Street Suite 302 Anchorage, AK 99503 907 562-3439

CORPORATE

728 134th Street SW Suite 200 Everett, WA 98204 425 741-3800

www.reidmiddleton.com

where possible, and replacement of structural members. The intent of the retrofits and repairs is to increase roof capacity to handle full design snow loads. Connection capacities of steel and concrete connections will be analyzed for compliance. The findings of this analysis will be presented in the structural design drawings as part of the milestone submittals.

- 4. Siding Replacement: Reid Middleton will provide analysis and design services for the proposed replacement of the existing system with a new metal panel system. Guidance will be provided to ensure code compliance of new product with the goal of avoiding substantial structural retrofit requirements. Information to support the new siding will be presented in the structural design drawings as part of the milestone submittals
- 5. Task 1 (Schematic Design, 35% and Tier 1 Report): Reid Middleton will provide structural schematic plan drawings. The Tier 1 Seismic Evaluation Report will be provided as part of this submittal. Structural specifications and calculations will not be provided for this Task.
- 6. Task 2 (Design Development, 65%): Reid Middleton will provide structural analysis and design for the design development phase. Structural drawings and specifications, developed to 65% of completion will be provided for this Task.
- 7. Task 3 (Construction Documents,95%): Reid Middleton will provide structural analysis and design for the Construction documents. Structural drawings and specifications, developed to 95% of completion will be provided for this Task.
- 8. Task 4 (Bid Documents, 100%): Reid Middleton will provide structural analysis and design for the Bid Documents. Structural drawings and specifications, developed to completion will be provided for this Task The analysis and design will be limited to the roof-including associated gravity components, and the siding. These drawings will be stamped and sealed per Alaska state law.
- 9. Reid Middleton will provide the Tier 1 report in PDF format. Reid Middleton will provide structural PDFs for 35%, 65%, 95%, and Construction Documents submittals.
- 10. We anticipate using Autodesk Revit to prepare our drawings and will use the Architect's Revit model as a background for our Revit drawings. A precise level of detail and quantities are not intended or guaranteed. The Revit file will only contain enough information to produce printed construction documents (including a mix of 2D and 3D information) and will not contain the level of precision or detail needed for fabricators and contractors to produce shop or fabrication drawings directly from the Revit file or the final submittals.
- 11. Task 5 (Biding and Permitting): Reid Middleton will provide services as requested to assist in facilitation of the bidding process as well as evaluating bids as requested. Reid Middleton will resolve structural permit comments in a timely manner to the Authorities Having Jurisdiction.
- 12. Task 6 (Construction Administration): Reid Middleton will respond to RFIs and submittals associated with the structural design. We will provide one site visit and structural observation report during construction.

- a. Task 6A (Special Inspection Services): Reid Middleton will assist in coordinating with the Project Special Inspection and Testing Firm as detailed in Item E.4 in the Assumptions and Exclusions section.
- 13. Additional services may be requested by BDS architects on a Time and Expense basis. These additional services may include, but are not limited to, additional meetings, field investigation, additional site visits, engineers estimate, and additional design services.

C. PERIOD OF PERFORMANCE

Reid Middleton will begin services upon receipt of a signed agreement and will make every reasonable effort to complete the services in a timely manner considering the needs of the project.

We anticipate that we can have the reports complete within project timeline as provided by the Architect.

D. CLIENT'S RESPONSIBILITIES

BDS Architects shall provide available pertinent data, documents, plans, elevations, sections and details and other information to Reid Middleton as necessary to complete the services outlined in Part A (Project Understanding) or Part B (Scope of Services).

BDS Architects will coordinate all other disciplines, and the owner to ensure that information flows in a timely and efficient manner.

E. ASSUMPTIONS AND EXCLUSIONS

Our scope of work is based on the following assumptions and exclusions:

- 1. Record drawings of the existing building are available for review. No as-builting of the existing building is included. All as-builting time will be billed on a Time and Expense basis.
- 2. The site visit to evaluate the building and perform the Tier 1 Evaluation will be accomplished and expensed as part of the four-building condition assessment project and is not included in this fee.

- 3. Design examples of items NOT part of our design fee:
 - a. Any ancillary facilities in relation to this project requiring our design services other than those outlined in Part A (Project Understanding) or Part B (Scope of Services).
 - b. Seismic upgrade design or drawings as recommended in the Tier 1 Report.
 - c. Lateral (seismic) analysis of the school.
 - d. Attachment of roofing and siding to the building these calculations are produced and stamped by manufacturer as part of the deferred submittal.
 - e. Engineering for the seismic anchorage of mechanical or electrical equipment.
- 4. Cost Estimates
- 5. Construction Administration examples of items not in our CA fee:
 - a. Calculations to assist with the Contractor's Means and Methods, such as shoring, temporary conditions, partially completed structures or sequencing.
 - b. As-built drawings
- 6. Special Inspection services are anticipated for this project.
 - a. Special inspection services that are included with this fee proposal
 - i. Assistance with locating a qualified special inspection firm. Office based coordination, scheduling, communication, distribution of reports to stakeholder, and interpretation of all Special Inspection reports and tests.
 - b. Special Inspection services that are not in our part of our fees:
 - i. Reid Middleton understands that the Special Inspection and Testing Firm will contract directly with the Owner who will compensate for all fees and expenses associated with the project.
- 7. Reproduction and distribution of progress or final design drawings will be the responsibility of others.

Note that these non-scope items can be provided as additional services upon request on a Time and Expense basis.

F. COMPENSATION

For services described in Section B, Reid Middleton shall be paid the lump sum as outlined below:

Phase of Services	Staff Hours	Fee	Estimated Reimbursable Expenses
Task 1 (35% Schematic Design and Tier 1 report- Lumps Sum)	161	\$ 25,920	
Task 2 (65% Design Development – Lump Sum)	128	\$20,118	
Task 3 (95% Construction Documents -Lump Sum)	104	\$ 16,476	
Task 4 (100% Bid Documents- Lump Sum)	25	\$ 4,338	
Task 5 (Bidding and Permitting – T&E NTE)	9	\$ 1,512	
Task 6 (CA Services – T&E NTE)	158	\$26,024	
Task 7 (Record Drawings – T&E)	11	\$2000	
TOTAL Structural Services		\$96388	\$1,044

One site visit is indicated for a visit during the CA processes to complete a structural observation report. If we exceed the budgeted man-hours and expenses for reasons beyond our control (for example for multiple site visits or weather-related travel plan adjustment) we reserve the right to request for additional compensation.

For any items noted as Time and Expense, Reid Middleton shall be paid on a time-plusexpense basis in accordance with provisions of the attached Exhibit A (Schedule of Charges) Effective July 1, 2021, or on the basis of such other mutually satisfactory arrangements as may be negotiated.

G. REID MIDDLETON STAFF



Jason Kwiatkowski will be the primary contact for this proposal. However, other individuals at Reid Middleton will work on aspects of your project as required.

H. CONDITIONS OF AGREEMENT

The terms and conditions of the attached Exhibit B (Conditions of Agreement) are included as part of this agreement.

We appreciate the opportunity to submit this proposed agreement. The terms of this agreement will become effective when confirmed by your signature within 30 days. If you wish to pursue this project after that time, this agreement may then be renegotiated. If the terms are acceptable, please sign your acceptance below and return one executed copy to Reid Middleton.

ACCEPTED:

If you have any questions or comments, please call me to discuss.

Sincerely, **Reid Middleton, Inc**.

Anthe

Jason Kwiatkowski, P.E. Project Manager – Alaska Office March 18, 2022

BDS Architects	
Ву	
Title	
Date	

Attachments

Reid Middleton Exhibit A, "Schedule of Charges – Alaska" Reid Middleton Exhibit B, "Conditions of Agreement" Fee Proposal, "HHES Upgrades"



Reid Middleton, Inc. Exhibit "A" Schedule of Charges - Alaska Effective July 1, 2021 through June 30, 2022

Compensation shall be based on time and expenses directly attributable to the project and shall follow the schedule below unless another method of compensation has been expressed in the written agreement.

I. Personnel

Hourly Rate

Principal Associate Principal	\$ 230.00
Associate Principal	\$ 210.00
Associate	\$ 200.00
Senior Engineer	\$ 178.00
Project Engineer	\$ 158.00
Senior Engineer Project Engineer Design Engineer/Designer II/Design Technician Designer I Project Administrator	\$ 143.00
Designer I	\$ 127.00
Project Administrator	\$ 122.00
CAD Technician II	\$ 127.00

Expert Witness/Forensic Engineering 1.5 times usual hourly rate (4 hour minimum)

Individuals not in the regular employ of Reid Middleton may occasionally be engaged to meet specific project requirements. Charges for such personnel will be comparable to charges for regular Reid Middleton personnel.

A premium of 1.5 times the usual hourly rate may be charged if project requirements make overtime work necessary.

II. Reimbursable Expenses

The following charges shall apply to all agreements unless specifically stated otherwise. For fixed fee or lump sum agreements, these charges shall be over and above the stated fixed fee or lump sum.

Mileage.....\$ 0.56/mile

Expenses other than Reid Middleton's professional services that are directly attributable to the project are invoiced at cost plus 15%. These expenses include, but are not limited to, subconsultant or subcontractor services, travel and subsistence, communications, couriers, postage, fees and permits, document reproduction, special instrumentation and field equipment rental, premiums for additional insurance where required, special supplies, and other costs directly applicable to the project.

A new schedule of charges is issued and becomes effective July 1 each year. Unless the agreement states otherwise, charges for all work, including continuing projects initiated in prior years, will be based on the latest schedule of charges.

III. Payments

Fees and all other charges are billed monthly as services progress. The full amount of each invoice is due and payable thirty (30) days after the date of such invoice. Any amount not paid within thirty (30) days of the date of the invoice shall be considered delinquent and shall bear a delinquency charge of 1-1/2 percent per month (or, if lower, the maximum rate allowed by law) from the date of the invoice. Failure to make a payment by the due date is a substantial breach of a material term of the parties' agreement, and Reid Middleton may, at its option, suspend services or terminate this agreement in that event. The delinquency charge or payment thereof shall not extend the due date or affect the right to suspend services or terminate. Payments received on delinquent accounts will be applied first to accrued delinquency charges and then to the unpaid principal amount.



Reid Middleton. Inc. Exhibit "B" Conditions of Agreement - Alaska

Charges for Additional Services performed are in addition to charges specified in the agreement and shall I. be included on invoices sent to the client Additional Services shall be performed at the rates specified in the current Exhibit "A," Schedule of Charges – Alaska.

Reid Middleton shall notify the client if it believes that any direction given by the client or any circumstances presented by the project requires the performance of services beyond the scope of the agreement. If the client disagrees that the services are beyond the scope of the agreement, or if the client prefers that the identified services not be performed, it shall notify Reid Middleton within one week of its receipt of Reid Middleton's original notice. If no such notice is received, Reid Middleton shall be authorized to perform the identified services as Additional Services.

- Additional Services shall include, without limitation, the following: 1. Replacement of stakes destroyed by parties other than Reid Middleton or by an act of God;
- Making revisions to drawings, specifications or other documents which are inconsistent with approvals or instructions previously given by the client, required due to changes in the law or required due to 2. changes in the overall project;
- Providing services due to default or defective performance on the part of the construction contractor; 3
- 4. Providing services to address unanticipated or unforeseen site conditions; or
- Providing other services beyond the scope of services described in the agreement. 5.
- II. All drawings, specifications, electronic media, and other documents prepared by Reid Middleton for this project are instruments of Reid Middleton's service for use solely with respect to this project. Reid Middleton shall be deemed to be the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The client shall be entitled to retain copies of the instruments of service for reference in connection with its use and occupancy of the project. Reid Middleton shall remove all indices of its ownership, professional corporation name, ad/or involvement from each electronic media. Reid Middleton's drawings, specifications, electronic media, or other documents shall not be used by the client or by others on other projects, for additions to this project or for completion of this project by others, except by agreement in writing signed by Reid Middleton and with appropriate compensation to Reid Middleton. Any unauthorized use of the documents shall be at the client's sole risk, and the client shall indemnify, defend and hold Reid Middleton harmless from all claims, damages, losses or expenses, including attorney fees, related to or arising from such unauthorized use. Submission or distribution of documents to meet regulatory requirements or for similar purposes in connection with this project is not to be construed as publication in derogation of Reid Middleton's reserved rights.
- III. Reid Middleton shall not be liable for damages resulting from the actions or inactions of governmental agencies, and Reid Middleton shall act only as an advisor in all governmental communications and relations. Reid Middleton does not guarantee that requisite permits or authorizations will be issued.
- Reid Middleton shall have no responsibility for the discovery, presence, handling, removal or disposal of IV. pollutants or hazardous materials (including but not limited to asbestos, asbestos products, PCB or other toxic substances) in any form at the project site. In no event Shall Reid Middleton (or its officers, directors, employees or consultants) be liable for costs, losses or damages -- including but not limited to delay costs or damages due to personal injury, sickness or death, or damage to property -- resulting from or related to the presence of pollutants or hazardous materials at the project site.
- V. In the event of a dispute arising out of or related to the agreement, or the breach or alleged breach hereof, which dispute cannot be resolved through negotiations between the parties, the parties agree that the dispute shall be submitted to nonbinding mediation. Unless the parties subsequently agree upon a different mediation service or mediator, the dispute shall be submitted to the American Arbitration Association, acting under its construction mediation rules and procedures. Either party may make the initial submission. Each party shall pay its own costs (including, if applicable, its attorney and expert witness costs) and one-half of the charge levied by the mediation service and mediator.

If any dispute is not resolved through nonbinding mediation, venue for litigation arising under or related to this agreement, or the breach or alleged breach hereof, shall be in the Superior Court for the State of Alaska, 3rd Judicial District, at Anchorage, Alaska. The substantially prevailing party in litigation shall be awarded its costs, attorney fees and expert witness fees incurred for trial preparation, trial and, if applicable, any and all appeals. The agreement shall be governed by the internal laws of the State of Álaska.

VI. Causes of action between the parties related to or arising out of the agreement shall be deemed to have accrued, and the applicable statute of limitations shall commence to run, no later than the date on which Reid Middleton last performs substantial services under this agreement.



REID MIDDLETON, INC. STRUCTURAL ENGINEER'S FEE ESTIMATE

PROJECT: HHES TIER 1, Roof and Envelope Upgrades PREPARED FOR: BDS

PREPARED BY: Jason Kwiatkowski, PE PROPOSAL NO: 402022.913.002

	TROFOSALINO. 402022.715.002	PRINCIPAL	ASSOCIATE	ASSOCIATE	SENIOR	PROJECT	DESIGN	DESIGNER	PROJECT	LINE	TASK	TASK
												TOTALS w/PM
ITEM	I		PRINCIPAL		ENGINEER	ENGINEER	ENGINEER	I	ADMIN	TOTALS	TOTALS	dist among phases
								-				
PM	Project Management											
	Project Setup, Billing	1							2	\$ 474		
	QA / QC	4								\$ 920		
	Internal Coordination				2					\$ 356		
	Misc. Project Management	4			8					\$ 2,344		
	Subtotal Task 1	9	0	0	10	0	0	0	2	21	\$ 4,094	\$ 1,023.50
1	35% SDs + Tier 1											
	Review Existing Drawings (assumption 1)				3		4			\$ 1,106		
	Tier 1 Report				32					\$ 5,696		
	Load Summary						3			\$ 429		
	Gravity and snow drift analyis				6		20			\$ 3,928		
	Siding analysis				3		3			\$ 963		
	Concept level repairs and framing				12		20			\$ 4,996		
	35% submittal - 5 sheets				16		32			\$ 7,424		ļ
	Review meeting				2					\$ 356		
										\$ -		
	0.1		0	0		0		0	0	\$ -		A 05 004 50
	Subtotal Task 1	0	0	0	74	0	82	0	0	156	\$ 24,898	\$ 25,921.50
-	65% DDs		-									
2	Calcs and analysis				12		32			\$ 6,712		
	Specs				6		32			\$ 0,712 \$ 1,068		
	Specs S0.1 - General Structural Notes	-			2		2			\$ 642		<u>∤</u>
-	S0.2 - Quality Assurance Program				2		2			\$ 042 \$ 286		
	S0.3 - Schedules and Tables						2			\$ 286		
	S0.4 - Wind uplift plan						2			\$ 286		
	S0.5 - Snow drift plan						2			\$ 286		
	S1.1 - L1 Framing - upgrade/replacement only				2		4			\$ 928		
	S1.2 - Roof Framing Plan				4		4			\$ 1,284		
	S2.1 Sections				1		6			\$ 1,036		
	S2.2 Sections				1		6			\$ 1,036		
	S3.1 - Gravity Upgrade Framing Details				4		6			\$ 1,570		
	S3.2 - Gravity Framing Deteils				2		4			\$ 928		
	S3.3 - Misc siding and Roof framing details				1		4			\$ 750		
	Submittal Review and Prep				6		4			\$ 1,640		
	Review Meeting				2					\$ 356		
	Subtotal Task 2	0	0	0	43	0	80	0	0	123	\$ 19,094	\$ 20,117.50
3	95% CDs											
	Cales and analysis				6		10			\$ 2,498		
	Specs				3					\$ 534		
	S0.1 - General Structural Notes				1		1			\$ 321		
	S0.2 - Quality Assurance Program						1			\$ 143		
	S0.3 - Schedules and Tables						2			\$ 286		<u> </u>
	S0.4 - Wind uplift plan						1			\$ 143		
	S0.5 - Snow drift plan						1			\$ 143		
	S1.1 - L1 Framing - upgrade/replacement only				2		4			\$ 928		ļ
	S1.2 - Roof Framing Plan				3		4			\$ 1,106		
	S2.1 Sections				2		1			\$ 499 \$ 499		ł
	S2.2 Sections									• • •		+
	S3.1 - Gravity Upgrade Framing Details S3.2 - Gravity Framing Details				2		8			\$ 1,500 \$ 1,500		
	S3.2 - Gravity Framing Details S3.3 - Misc siding and Roof framing details						8			\$ 1,500 \$ 2,498		+
	S3.3 - Misc siding and Roof framing details Submittal Prep				6 6		10			\$ 2,498 \$ 2,498		
	Review Meeting				6 2		10			\$ 2,498 \$ 356		+
	Subtotal Task 3	0	0	0	37	0	62	0	0	\$ 550 99	\$ 15.452	\$ 16,475.50
	Subtotal 143K 5	0	0	0	57	0	02	0	0	"	\$ 13,432	φ 10,473.30

Design Phase TERMS: LUMP SUM

REID MIDDLETON, INC.								Date:	3.16.22		
STRUCTURAL ENGINEER'S FEE ESTIMATE											
PROJECT: HHES TIER 1, Roof and Er	welope Upgra	des					Design Ph	ase			
PREPARED FOR: BDS							TERMS:	LUMP SUI	м		
PREPARED BY: Jason Kwiatkowski, PE											
PROPOSAL NO: 402022.913.002											
4 100% Bid Docs											
Calcs and analysis											
S0.1 - General Structural Notes									s -		
S0.2 - Quality Assurance Program									\$ -		
S0.3 - Schedules and Tables									\$ -		
S0.4 - Wind uplift plan									\$ -		
S0.5 - Snow drift plan									\$ -		
S1.1 - L1 Framing - upgrade/replacement only									\$ -		
S1.2 - Roof Framing Plan									\$ -		
S2.1 Sections									\$-		
S2.2 Sections									\$ -		
S3.1 - Gravity Upgrade Framing Details				1		1			\$ 321		
S3.2 - Gravity Framing Deteils				1		1			\$ 321		
S3.3 - Misc siding and Roof framing details				1		1			\$ 321		
Submittal Prep				8		4			\$ 1,996		
Review Meeting				2					\$ 356		
Subtotal Task 4	0	0	0	13	0	7	0	0	20	\$ 3,315	\$ 4,338.50
5 Bidding and Permitting -T&M NTE		-		-	-			-		/	
Bidder questions				2					\$ 356		
Permitting and Plan Review				6.5					\$ 1.157		
Subtotal Task 5	0	0	0	8.5	0	0	0	0	9	\$ 1,513	\$ 1,513.00
6 CA T&M NTE											
Special Inspection Coordination				40					\$ 7,120		
Submittal Review and Contractor coordination				50		60			\$ 17,480		
Respond to Review Comments				8					\$ 1.424		
Subtotal Task 6	0	0	0	98	0	60	0	0	158	\$ 26,024	\$ 26,024.00
					-			-			,
7 Record Drawings Lump Sum				11.235					\$ 2,000		
Subtotal Task 7				11.235					11	\$ 2,000	\$ 1,999.83
	1		1				1			. ,	
TOTAL HOURS:	9	0	0	283.5	0	291	0	2		\$96,390	\$ 96,389.83
HOURLY RATE:	\$ 230	\$ 210	\$ 200	\$ 178	\$ 158	\$ 143	\$ 127	\$ 122			1
SUBTOTAL LABOR:	\$2,070	\$0	\$0	\$50,463	\$0	\$41,613	\$0	\$244	\$94,390		1
ESTIMATED REIMBURSABLE EXPENSES									\$1,044]
TOTAL EST FEE:	1								\$95,434		1

A: REIMBURSABLES INCLUDE MILEAGE, PER DEM COSTS, AIRFARE & COURIER CHARGES. B: REFER TO REID MIDDLETON, INC EXHIBITS A & B.

By Submitta	al: 35%	\$	25,921.50
	65%	\$	20,117.50
	95%	\$	16,475.50
	100%	\$	4,338.50
	Design Fee + Tier 1 Evaluation	n \$6	6,853

Assumptions: Site visit is accomplished as part of the Condition Assessment 2022 Project ; no as built, no seismic repairs, no seismic analysis



March 21, 2022

BDS Architects 3330 C Street Anchorage, AK 99503

ATTENTION: Victor Valenote

Dear Victor,

REFERENCE: COV Schools - Mechanical and Electrical Condition Survey

RSA Engineering is pleased to offer a fee proposal for mechanical and electrical engineering services for the referenced project. We have based our scope of work on your e-mail correspondence dated 03/10/22, along with the following assumptions:

- The project will consist of condition surveys of the Valdez High School, Valdez Middle School, Hermon Hutchens Elementary School, and Valdez District Office.
- We will provide a three-day, two-night site visit to survey the condition of the existing mechanical and electrical systems in the buildings. Following the site visit, we will provide a survey report for each facility. We have included travel expenses in our fee for the site visit.

Exclusions:

- Travel delays are not included in our fee for site visits outside of Anchorage. Travel delays will be billed up to 8 hours per day of actual time including reimbursable expenses incurred.
- Cost estimation services are not included in our proposal.

RSA proposes the following lump sum fee for this project:

			Travel	
Project Deliverables	<u>Mechanical</u>	Electrical	Expenses	<u>Total</u>
Site Visit	\$5,040.00	\$5,040.00	\$1,886.00	\$11,966.00
Survey Reports	\$6,720.00	\$6,720.00	\$0.00	\$13,440.00
Design Subtotal:	\$11,760.00	\$11,760.00	\$1,886.00	\$25,406.00

Please review and advise if this proposal is acceptable by sending us notice to proceed. We look forward to working with you on this project.

Sincerely,

Brian Pekar, P.E. Vice President, Principal Mechanical Engineer

bpp/rlw/hhm 22-0109/P22-024 March 21, 2022

Mechanical & Electrical Engineers



BDS Architects 3330 C Street Anchorage, AK 99503

ATTENTION: Victor Valenote

Dear Victor,

REFERENCE: City of Valdez, Hermon Hutchins Elementary School Roof, Doors, and Siding Replacement Mechanical and Electrical Fee Proposal

RSA Engineering is pleased to offer a fee proposal for mechanical and electrical engineering services for the referenced project. We have based our scope of work on your e-mail correspondence dated 03/10/22, along with the following assumptions:

General:

- The project will consist of a re-roof, re-siding, and door replacement of the approximately 92,786 square foot building.
- The project will be delivered using a design-bid-build method.
- Deliverables: We will provide the following design submittals, 35% Schematic Design, 65% Design Development, 95% Construction Documents, and 100% Bid Documents. The 35% schematic design will include narratives and specification index only, no drawings will be provided with the 35% submittal. 65%, 95% and 100% submittals will include drawings and specifications.
- Specifications will be prepared using CSI Master Format as part of a bound project manual.
- Design Site Visits: We have not included a design phase site visit in this proposal. We assume that we will visit the site to do as-builting for this project as part of the condition survey project.
- Bid phase services include preparation of addenda material.
- Permitting: We will answer any questions that come up during the plan review process and issue any sketches or clarifications as required.
- Review Meetings: We have included time for owner review meetings and responding to comments following the 35%, 65% and 95% submittals.
- In Office Construction phase services include submittal review, DCVR review/response, review of operation and maintenance manuals and preparation of record drawings based upon contractor generated redline mark-ups.
- On-site Construction phase services include 2 mechanical and 2 electrical inspections. We have assumed inspections will be done as a day trip to Valdez.

Mechanical:

• Mechanical scope includes replacement/relocation/extension of vent piping, louvers, hose bibbs, fuel piping and boiler venting to support the remodel.

Electrical:

• Electrical scope includes replacement/relocation of conduits, electrical devices, and lighting to support the remodel.

Exclusions:

- Travel delays are not included in our fee for site visits outside of Anchorage. Travel delays will be billed up to 8 hours per day of actual time including reimbursable expenses incurred.
- Commissioning services and cost estimation services are not included in our proposal. If these services are desired in the future, we propose to negotiate costs for the work at that time.

Tuesdal

RSA proposes the following fees for this project:

			Travel	
Lump Sum Services:	<u>Mechanical</u>	Electrical	Expenses	<u>Total</u>
35% Schematic Design	\$1,800.00	\$1,200.00	\$0.00	\$3,000.00
65% Design Development	\$6,340.00	\$3,940.00	\$0.00	\$10,280.00
95% Construction Documents	\$7,285.00	\$4,585.00	\$0.00	\$11,870.00
100% Bid Documents	\$2,330.00	\$1,920.00	\$0.00	\$4,250.00
Lump Sum Subtotal:	\$17,755.00	\$11,645.00	\$0.00	\$29,400.00
Time & Expenses Services:				
Bidding & Permitting	\$1,200.00	\$950.00	\$0.00	\$2,150.00
Construction Administration	\$4,700.00	\$2,950.00	\$0.00	\$7,650.00
Site Inspections	\$3,000.00	\$3,000.00	\$2,210.00	\$8,210.00
Record Drawings	\$1,100.00	\$800.00	\$0.00	\$1,900.00
C/A Subtotal:	\$10,000.00	\$7,700.00	\$2,210.00	\$19,910.00
GRAND TOTALS:	\$27,755.00	\$19,345.00	\$2,210.00	\$49,310.00

Please review and advise if this proposal is acceptable by sending us a notice to proceed. We look forward to working with you on this project.

Sincerely,

Brian Pekar, P.E. Vice President, Principal Mechanical Engineer

bpp/rlw/hhm 22-0108/P22-024

EHS - Alaska, Inc. **REVISED DATE:** NA FILENAME: P22-017 HERMON HUTCHENS ES ROOF, DOORS, SIDING.XLSX **ORIGINAL DATE:** 03/21/22 **PROJECT:** HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENT **CONTACT:** BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL **AUTHOR: ROBERT FRENCH ASSIGNMENT: SURVEY, DESIGN, BID & CA SERVICES** SUMMARY OF FEES AND COSTS FIXED T&M NTE SURVEY & REPORT (PART OF 35%) Page 2 \$6,220 \$4,890 35% DESIGN Page 3 65% DESIGN Page 4 \$5,868 95% DESIGN Page 5 \$2,872 100% BID DOCUMENTS Page 6 \$1,822 **BID & PERMITTING SERVICES, T&M NTE** Page 7 \$1,915 CONSTRUCTION PHASE SERVICES, T&M NTE Page 8 \$6,249 RECORD DRAWINGS Page 9 \$793 **SUBTOTALS** \$22,464 \$8,164 TOTAL PROPOSED FEE; FIXED FEE, PLUS T&M NTE: \$30,628 **SCOPE OF WORK & ASSUMPTIONS** 1. This fee proposal is an estimate for professional services in accordance with EHS-Alaska's standard 2022 fee schedule, to support the renovation of the Hermon Hutchens Elementary School Roof, Doors & Siding Replacement, located in Valdez, Alaska.

2. EHS-Alaska will conduct a limited hazardous materials survey for asbestos, lead and interior PCB materials, building upon the previous sampling data that EHS-Alaska has for the building. EHS-Alaska will prepare an abbreviated survey report, prepare a hazardous materials removal and disposal design and provide limited "in-house" oversight of the hazardous materials portion of the construction phase.

- 3. EHS-Alaska will conduct the survey of the roof and other affected components during a single trip, in conjunction with the trip made by BDS Architects, and others, who will provide professional roof cutting and patching. It is assumed that the design team will share rides from the airport to the site, and back. Due to limited flight availability, EHS-Alaska proposes to bring a laptop computer to start the laboratory paperwork, etc. instead of standby time while waiting for the return flight.
- 4. Sampling will cause minor damage to finishes and surfaces sampled. Samples will be collected from inconspicuous locations where possible. However, repairs to damaged finishes are not included other than to prevent subsequent release of potential asbestos fibers. Roof samples will be collected from various areas on the roof, if safe to do so. Permanent professional roof repairs are not included in this proposal and are the responsibility of others. Representative painted surfaces will be tested by a portable X-Ray Fluorescence (XRF) lead analyzer. Other hazardous materials such as suspect mercury or PCB-containing materials will be noted, but not sampled, including PCB's in paints or sealants. Materials suspected of containing PCBs or mercury will be assumed to contain PCBs or mercury unless it is labeled "PCB Free" or "No PCBs" or previous testing has determined it to be PCB or mercury free. Free and complete access to all spaces will be provided by the Owner, and copies of available as-built information and floor plans will be provided to EHS by the Owner. BDS will provide AutoCAD backgrounds of the existing floor plans to EHS-Alaska for use in the report and design.
- 5. EHS-Alaska will supply a preliminary drawings and a survey report for the 35% design package, along with spec listings for the table of contents. EHS-Alaska will provide technical specifications and full size contract drawings at the 65%, 95%, and 100% bid document phases. Bidding and Contract Requirements and General Requirements as well as electronic copies of all coordination deliverables will be provided by BDS Architects
- 6. Bid phase services include attendance at a telephonic pre-bid meeting, addenda to hazardous materials specifications and revisions to drawings as required.
- 7. EHS-Alaska will provide the following construction phase services for one construction season:
 - a. Review 2 sets of initial hazardous materials work plan submittals,
 - b. Review of contractor's periodic submittals,
 - c. Review 2 sets of close-out submittals, and
 - d. Prepare an AHERA Response Action Report, for inclusion into the Valdez City Schools AHERA asbestos management plan.

Expedited schedules, additional review of contractor submittals, standby time due to conditions (weather, air travel, local support, emergency orders, etc.) out of the control of EHS-Alaska will be charged to BDS at the hourly rates provided in this proposal.

To authorize the work described above under the terms contained in this proposal, please sign this page and return as a Notice to Proceed.

Signature

Date

***** PROPOSAL IS VALID FOR 90 DAYS FROM DATE OF SUBMITTAL *****

EHS - Alas	ska. Inc.					REVISEI) DATE ·	NA			
FILENAME:	P22-017 HERMON HUTCHEN	S ES ROOF	DOORS S	IDING XI 9	X		AL DATE:				
PROJECT:	HERMON HUTCHENS ELEME	-	-								
CONTACT:		BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL									
AUTHOR:	ROBERT FRENCH		NMENT: S				SERVICES				
	SURVEY & REPORT (PART OF 35%)										
CODE \ TASK		PRIN	СМ	IH/SPM	/	PM-2	CAD	ADMIN			
60 PROJECT	TRAVEL	0.0	0.0	2.5	2.5	0.0	0.0	0.0			
44 TRIP PRE	P, REVIEW EXISTING DATA	0.0	0.0	3.0	0.0	0.0	0.0	0.0			
50 FACILITY	SURVEY	0.0	0.0	5.5	0.0	0.0	0.0	0.0			
	REPORT, PART IN VALDEZ	1.0	0.0	6.0	2.0	0.0	3.0	0.0			
44 PROJECT	MGMT.	0.5	1.0	1.0	0.0	0.0	0.0	0.0			
Hour Totals:		1.5	1.0	18.0	4.5	0.0	3.0	0.0			
Billing Rate:		\$184.00	\$103.00	\$165.00	\$247.50	\$144.00	\$144.00	\$77.00			
Wage Subtotals	:	\$276	\$103	\$2,970	\$1,114	\$0	\$432	\$0			
LA	BOR COSTS:										
	DIRECT LABOR SUBTOTA	L:					\$4,895				
DIR	ECT COSTS: PHOTOGRAPHY:						\$15				
	REPROGRAPHICS:						\$13 \$20				
	COURIER (NONE, ELECTRON	ЛС)·					\$20 \$0				
	EQUIPMENT (XRF LEAD ANA		VS).	1.0	@ \$155/D	ΔV	\$155				
	SURVEY CONSUMABLES:	AL I ZER, D	A15).	1.0	W \$155/L		\$10				
	SAMPLE SHIPPING:			1	@ \$35 EA	CH	\$35				
	DIRECT COST SUBTOTAL:			1	(U) \$55 LA	len	\$235				
	DIRECT COST MARK UP @				10.00%	=	\$24				
LAF	BORATORY COSTS:										
	ASB. BULK PLM EPA 600/R93	/116, 3 DAY	Y	35	@\$8.00/I	LAYER	\$280				
	ASB. BULK ROOF PLM EPA 6	00, 3 DAY			<i>ⓐ</i> \$12.00		\$240				
	ASB. MICROVAC DUST ASTM	M D5756, 5	DAY	0	@ \$150/S	AMPLE	\$0				
	Pb PAINT/SOIL/DUST SW 846	-7000B:742	0, 5 DAY	0	@ \$5.45/8	SAMPLE	\$0				
	Pb TCLP SW 846-1311, 5 DAY			0	@ \$56/SA	MPLE	\$0				
	PCB BULK CAULK/CONC/PA	INT SW846	, 1 WK	0	@ \$174/S	AMPLE	\$0				
	PCB AIR NIOSH 5503, MODIF	IED, 1 WEE	EΚ	0	@ \$361/S	AMPLE	\$0				
	PCB WIPE/SOIL EPA SW-846	3550C/8082	A, 1 WK	0	@ \$156/S	AMPLE	\$0				
	LABORATORY COST SUBT	OTAL:					\$520				
	LABORATORY COST MARK	UP @			20.00%	=	\$104				
TRA	ANSPORTATION COSTS: AIRFARE:						\$350				
		M.									
	TAXI (NONE) W-DESIGN TEA AIRPORT PARKING (1 DAYS		7).				\$0 \$16				
	LODGING (NONE):		·)·				\$10 \$0				
	MEALS (1 DAYS @ \$50/DAY)						\$0 \$50				
	MILEAGE (a) =	\$0.585	45 r	niles			\$30 \$26				
	TRANSPORTATION COST S						\$442				
mor		-2101111									
101	TAL COSTS, THIS SHEET:						\$6,220				

***** PROPOSAL IS VALID FOR 90 DAYS FROM DATE OF SUBMITTAL *****

FI	HS - Alas	ka Inc					DEVICEI) DATE.	NA	
				DOODG G		137	REVISEI			
	ENAME:	P22-017 HERMON HUTCHE						AL DATE:		
	OJECT:	HERMON HUTCHENS ELEM			-	-		LACEMEN	11	
	NTACT:	BDS ARCHITECTS, VICTOR ROBERT FRENCH						EDVICES		
AU										
CO	DE\TASK		PRIN	35% DESI CM	<u>GN</u> IH/SPM	PM-1	PM-2	CAD	ADMIN	
48		NALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
48 52		LE OF CONTENTS	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
32 32		DRAWINGS	0.0	0.0	0.3 8.0	0.0	0.0	0.0 10.0	0.0	
52 41		NIC MEETING	0.3	0.0	8.0 1.0	0.0	0.0	0.0	0.0	
28		IARY QUANTITIES	0.0	0.0	2.0	0.0	0.0	0.0 1.0	0.0	
28 54		COMMENTS	0.0	0.0	2.0 1.5	0.0	0.0	0.0	0.0	
		JOMINIEN I S								
46	QA/QC		1.0	0.0	1.0	0.0	0.0	0.0	0.0	
44	PROJECT	MGM1.	1.0	1.0	2.0	0.0	0.0	0.0	0.0	
Ηοι	ır Totals:		3.0	1.0	16.0	0.0	0.0	11.0	0.0	
Bill	ing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00	
Wa	ge Subtotals:		\$552	\$103	\$2,640	\$0	\$0	\$1,584	\$0	
	T (D									
	LAB	OR COSTS:	A.T.					¢4.070		
		DIRECT LABOR SUBTOT	AL:					\$4,879		
	DIRI	ECT COSTS:								
		REPROGRAPHICS:						\$10		
		COURIER (NONE, ELECTRO	DNIC):					\$0		
		CAD PLOTTING (NONE, EL	· ·					\$0		
		DIRECT COST SUBTOTA	/					\$10		
		DIRECT COST MARK UP @),			10.00%	=	\$1		
	MIL	EAGE @ =	\$0.585	0 r	niles			\$0		
	тот	AL COSTS, THIS SHEET:						\$4,890		

***** PROPOSAL IS VALID FOR 90 DAYS FROM DATE OF SUBMITTAL *****

EHS - Ala	ska, Inc.					REVISEI) DATE:	NA
FILENAME:	P22-017 HERMON HUTCHE	NS ES ROOF,	DOORS, S	IDING.XLS	Х	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEN					DING REP	LACEMEN	Т
CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL								
AUTHOR:	ROBERT FRENCH			SURVEY, D			SERVICES	
			65% DESI	GN				
CODE \ TASK		PRIN	СМ	IH/SPM	PM-1	PM-2	CAD	ADMIN
	ANALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52 SPECIFIC		1.0	0.0	6.0	0.0	0.0	0.0	0.0
	& DRAWINGS	1.0	0.0	6.0	0.0	0.0	8.0	0.0
	ONIC MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
~	TY ESTIMATE	0.0	0.0	2.0	0.0	0.0	1.0	0.0
	COMMENTS	0.5	0.0	1.5	0.0	0.0	0.0	0.0
	ONIC REVIEW MEETING	0.0	0.0	2.0	0.0	0.0	0.0	0.0
46 QA/QC		1.0	0.0	1.0	0.0	0.0	0.0	0.0
44 PROJECT	ſ MGMT.	1.0	1.0	2.0	0.0	0.0	0.0	0.0
Hour Totals:		4.5	1.0	22.0	0.0	0.0	9.0	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals	:	\$828	\$103	\$3,630	\$0	\$0	\$1,296	\$0
ΙΔ	BOR COSTS:							
	DIRECT LABOR SUBTO	ΓAL:					\$5,857	
DIF	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRO	ONIC):					\$0	
	CAD PLOTTING (NONE, EL	ECTRONIC):					\$0	
	DIRECT COST SUBTOTA	AL:					\$10	
	DIRECT COST MARK UP @	D)			10.00%	=	\$1	
MII	LEAGE @ =	\$0.585	0 r	niles			\$0	
	TAL COSTS, THIS SHEET:						\$5,868	

FI	HS - Alas	ka Inc					REVISEI	О ПАТЕ.	NA
						137			
FILENAME:P22-017 HERMON HUTCHENS ES ROOF, DOORS, SIDING.XLSXORIGINALPROJECT:HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLA									
PROJECT: HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENT CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL								N I	
	THOR:	ROBERT FRENCH		, AIA, A4LI NMENT: S				SERVICES	
110	inon.		10010	95% DESI				LICTICLD	
CO	DE \ TASK		PRIN	CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
48	DESIGN A	NALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52	SPECIFICA	ATIONS	0.5	0.0	1.5	0.0	0.0	0.0	0.0
32	DESIGN &	DRAWINGS	1.0	0.0	4.0	0.0	0.0	4.0	0.0
41	TELEPHO	NIC MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
28	QUANTIT	Y ESTIMATE	0.0	0.0	0.5	0.0	0.0	0.5	0.0
54	REVIEW O	COMMENTS	0.0	0.0	0.5	0.0	0.0	0.0	0.0
46	QA/QC		0.5	0.0	1.0	0.0	0.0	0.0	0.0
44	PROJECT	MGMT.	0.5	1.0	1.0	0.0	0.0	0.0	0.0
	ur Totals:		2.5	1.0	10.0	0.0	0.0	4.5	0.0
	ling Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wa	ge Subtotals:		\$460	\$103	\$1,650	\$0	\$0	\$648	\$0
	LAB	OR COSTS:							
		DIRECT LABOR SUBTOTA	AL:					\$2,861	
	DIDI								
	DIRI	ECT COSTS:						#10	
1		REPROGRAPHICS:						\$10	
		COURIER (NONE, ELECTRO	/					\$0 \$0	
		CAD PLOTTING (NONE, ELE						\$0	
		DIRECT COST SUBTOTAI						\$10	
		DIRECT COST MARK UP @				10.00%	_	\$1	
		DIRECT COST MARK UP (a)				10.00%	_	\$1	
	MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
								MA 070	
	тот	AL COSTS, THIS SHEET:						\$2,872	

EHS - Alas	ska, Inc.					REVISEI) DATE:	NA
FILENAME:	P22-017 HERMON HUTCHEN	S ES ROOF,	DOORS, SI	DING.XLS	SX	ORIGINA	AL DATE:	03/21/22
PROJECT:	HERMON HUTCHENS ELEM	ENTARY SC	CHOOL ROO	OF, DOORS	S, AND SI	DING REP	LACEMEN	Т
CONTACT:	CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL							
AUTHOR:	ROBERT FRENCH		NMENT: S		DESIGN, B	ID & CA S	SERVICES	
	100% BID DOCUMENTS							
CODE \ TASK		PRIN	CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
	ANALYSIS (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
52 SPECIFIC		0.5	0.0	0.5	0.0	0.0	0.0	0.0
	& DRAWINGS	0.5	0.0	2.0	0.0	0.0	3.0	0.0
	NIC MEETING	0.0	0.0	1.0	0.0	0.0	0.0	0.0
	Y ESTIMATE	0.0	0.0	0.5	0.0	0.0	0.0	0.0
	COMMENTS	0.0	0.0	0.5	0.0	0.0	0.0	0.0
46 QA/QC		1.0	0.0	0.0	0.0	0.0	0.0	0.0
44 PROJECT	MGMT.	0.0	1.0	1.0	0.0	0.0	0.0	0.0
Hour Totals:		2.0	1.0	5.5	0.0	0.0	3.0	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$368	\$103	\$908	\$0	\$0	\$432	\$0
LAB	OR COSTS:							
	DIRECT LABOR SUBTOTA	AL:					\$1,811	
DIR	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRO	NIC):					\$0	
	CAD PLOTTING (NONE, ELE	CTRONIC):					\$0	
	DIRECT COST SUBTOTAL	<i>_</i> :					\$10	
	DIRECT COST MARK UP @				10.00%	=	\$1	
MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
тот	TAL COSTS, THIS SHEET:						\$1,822	

EHS	- Alask	a Inc					REVISEI) DATE:	NA
FILENA		P22-017 HERMON HUTCHENS				v		AL DATE:	
				-					
	PROJECT: HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND SIDING REPLACEMENT CONTACT: BDS ARCHITECTS, VICTOR VALENOTE, AIA, A4LE, LEED AP, PRINCIPAL								
AUTHO		ROBERT FRENCH		, AIA, A4LI NMENT: S				SERVICES	
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CODE \	TASK		PRIN	CM	IH/SPM	,	PM-2	CAD	ADMIN
		IC PRE-BID MEETING	0.0	0.0	1.5	0.0	0.0	0.0	0.0
		REVISIONS	0.5	0.0	1.5	0.0	0.0	2.0	0.0
52 AD	DDENDA		0.5	0.0	1.0	0.0	0.0	0.0	0.0
32 CC	ONFORM	ED DRAWINGS	0.5	0.0	1.5	0.0	0.0	1.5	0.0
44 PR	ROJECT M	IGMT.	0.0	0.5	1.0	0.0	0.0	0.0	0.0
Hour To	otale		1.5	0.5	6.5	0.0	0.0	3.5	0.0
Billing F			\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
-	ubtotals:		\$104.00	\$105.00	\$1,073	\$144.00 \$0	\$144.00 \$0	\$504	\$77.00 \$0
	LABO	R COSTS: DIRECT LABOR SUBTOTA	L:					\$1,904	
	DIRE	CT COSTS:							
		REPROGRAPHICS:						\$10	
		COURIER (NONE, ELECTRON	IC):					\$0	
		CAD PLOTTING (NONE, ELEC	CTRONIC):					\$0	
		DIRECT COST SUBTOTAL:						\$10	
		DIRECT COST MARK UP @				10.00%	=	\$1	
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	ΤΟΤΑ	L COSTS, THIS SHEET:						\$1,915	

EHS - Alas	ka Inc					REVISEI	DATE.	N ^T A
FILENAME:				IDINC VI	τv		AL DATE:	NA 02/21/22
PROJECT:	P22-017 HERMON HUTCHEN HERMON HUTCHENS ELEMI							
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CODE \ TASK		PRIN	CM	IH/SPM		PM-2	CAD	ADMIN
26 CONSTR.	ADMIN.	1.0	0.0	2.0	0.0	0.0	0.0	0.0
41 TELEPHO	NIC PRE-CONST. MEETING	0.0	0.0	1.0	0.0	0.0	0.0	0.0
54 WORK PL	AN SUBM. REVIEW	1.5	0.0	8.0	2.0	0.0	0.0	0.0
50 ENVIR. M	IONITORING (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
54 REVIEW	CONTR. AIR MON.	0.0	0.0	3.0	0.0	0.0	0.0	0.0
50 CLEARAN	NCE TESTING (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
50 VISUAL I	NSPECTION (NONE)	0.0	0.0	0.0	0.0	0.0	0.0	0.0
54 FINAL SU	BMITTAL REVIEW	1.5	0.0	6.0	2.0	0.0	0.0	0.0
48 RESPONS	E ACTION REPORT	1.0	0.0	5.0	0.0	0.0	0.0	0.0
44 PROJECT	MGMT.	1.0	1.0	2.0	0.0	0.0	0.0	0.0
Hour Totals:		6.0	1.0	27.0	4.0	0.0	0.0	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$1,104	\$103.00	\$4,455	\$576	\$0	\$111.00 \$0	\$0
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	TRANSPORTATION COST S			111105			<u>\$0</u> \$0	
	TOTAL COSTS, THIS SHEET	:					\$6,249	

EHS - Alas	ka, Inc.					REVISEI) DATE:	NA
FILENAME:	P22-017 HERMON HUTCHENS	S ES ROOF,	DOORS, SI	DING.XLS	SX	ORIGINA	AL DATE:	03/21/22
PROJECT: HERMON HUTCHENS ELEMENTARY SCHOOL ROOF, DOORS, AND S						DING REF	LACEMEN	T
CONTACT:	BDS ARCHITECTS, VICTOR V	ALENOTE	, AIA, A4LI	E, LEED AI	P, PRINCI	PAL		
AUTHOR:	ROBERT FRENCH	ASSIG	NMENT: S	URVEY, D	DESIGN, B	ID & CA S	SERVICES	
			RECORD	DRAWINC	GS			
CODE \ TASK		PRIN	CM	IH/SPM	PM-1	PM-2	CAD	ADMIN
44 FINAL DR	AWING COORDINATION	0.0	0.0	0.5	0.0	0.0	0.0	0.0
	DRAWINGS	0.5	0.0	1.0	0.0	0.0	1.5	0.0
44 PROJECT	MGMT.	0.5	0.5	0.5	0.0	0.0	0.0	0.0
Hour Totals:		1.0	0.5	2.0	0.0	0.0	1.5	0.0
Billing Rate:		\$184.00	\$103.00	\$165.00	\$144.00	\$144.00	\$144.00	\$77.00
Wage Subtotals:		\$184	\$52	\$330	\$0	\$0	\$216	\$0
LAB	OR COSTS:							
	DIRECT LABOR SUBTOTAL	L:					\$782	
DIR	ECT COSTS:							
	REPROGRAPHICS:						\$10	
	COURIER (NONE, ELECTRON	IC):					\$0	
	CAD PLOTTING (NONE, ELEC	CTRONIC):					\$0	
	DIRECT COST SUBTOTAL:	:					\$10	
	DIRECT COST MARK UP @				10.00%	=	\$1	
MIL	EAGE @ =	\$0.585	0 n	niles			\$0	
тот	TAL COSTS, THIS SHEET:						\$793	

ESTIMATIONS

March 17, 2022

Victor Valenote BDS Architects 3330 C Street, Suite 200 Anchorage, AK 99503

Re: COV HHES Roof, Doors, and Siding Replacement Fee Proposal

Victor,

We can provide you with cost estimating services for this project for the fees, outlined below. We have based our fee on the SOW outlined in your email of 10MARCH22.

Please Allow 2 weeks for us to develop a draft for your review at each submittal.

	Ac	lmin	Esti	mator	Sr Es	stimator	Fixe	d Fee
Item	Rate	\$99.00		\$84.00		\$155.00	Тс	otals
Construction Cost Estim	nating							
35% Design Level	1	\$99	20	\$1,680	28	\$4,340	49	\$6,119
65% Design Level	1	\$99	24	\$2,016	40	\$6,200	65	\$8,315
95% Design Level	1	\$99	24	\$2,016	40	\$6,200	65	\$8,315
Project Totals	3	\$297	68	\$5,712	108	\$16,740	179	\$22,749

Sincerely,

Mfairi

Jay Lavoie President



Legislation Text

File #: 22-0209, Version: 1

ITEM TITLE:

Approval of Professional Services Agreement with CRW Engineering Group, LLC for VCT Water Main Replacement Design in the amount of \$330,007.00 <u>SUBMITTED BY:</u> Austin Rake, Capital Facilities Project Manager

FISCAL NOTES:

Expenditure Required: \$330,007.00 Unencumbered Balance: \$350,000.00 Funding Source: 350-0310-55000.2107

RECOMMENDATION:

Approve the Professional Services Agreement with CRW Engineering Group, LLC for VCT Water Main Replacement Design in the Amount of \$330,007.00

SUMMARY STATEMENT:

Description: The water system on the Valdez Container Terminal is only partially operational and doesn't provide adequate water supply for fire fighting or to provide high flow water supply for larger vessels moored at the dock. Two thirds of the water lines have leaks and are isolated from the system; as a result, the system isn't looped and has potential to freeze in the winter unless a hydrant is left open and running.

This design PSA includes all efforts to replace and upgrade the existing water main at the Valdez Container Terminal. The contract also includes a task to assist the City of Valdez with grant preparation and close-out to help pay for the improvements.

We believe the project will qualify for a FEMA port security grant as fire protection is required for ammunition moves and other hazmat operations.

An RFQ was advertised on January 21st and ran through February 11th. Two responses were received and CRW Engineering was determined to be the most qualified. CRW also performed a prior system assessment that helped determine the scope of the replacement project. They are familiar with the system and conditions on the VCT.

Period of Performance: Final construction documents will be due by February 2023. This will allow ample time to post and award the contract for construction in summer 2023.

File #: 22-0209, Version: 1

Engineers Estimate: Project cost is estimated at \$3 Million



City of Valdez Agreement for Professional Services

THIS AGREEMENT between the CITY OF VALDEZ, ALASKA, ("City") and CRW ENGINEERING GROUP, LLC ("Consultant") is effective on the _____ day of April, 2022.

All work under this agreement shall be referred to by the following:

Project: VCT Water Main Replacement Project No: 21-350-2107 Contract No.: 1900 Cost Code: 350-0310-55000.2107

Consultant's project manager under this agreement is Mike Leguineche.

Consultant's project manager may not be changed without the written consent of the City.

City's project manager is Nathan Duval.

ARTICLE 1. Scope of Work

1.1 The scope of work to be performed hereunder is more completely described in Appendix A which is incorporated herein by reference.

ARTICLE 2. Compensation

2.1 Compensation shall be paid in accordance with the Basis of Compensation Schedule attached hereto as Appendix B and incorporated herein by reference.

ARTICLE 3. Period of Performance

3.1 The Consultant agrees to commence work under this agreement only as authorized by and in accordance with written notice to proceed and to complete the work in accordance with the Scope of Work (Appendix A).

3.2 The period of performance under this agreement is as follows: (1) Tasks 1-3 shall end and Consultant shall have completed all work for these tasks no later than March 31, 2023, and (2) Task 4 shall end and Consultant shall have completed all work for this task no later than April 30, 2023. Work shall proceed in accordance with the schedule set forth in Appendix A.

Revised 07/2019



ARTICLE 4. Subconsultants

4.1 The Consultant shall be responsible for the performance of all services required under this agreement.

ARTICLE 5. Insurance

5.1 In accordance with the provision contained in the General Conditions (Appendix C), the following minimum limits of insurance coverage are required:

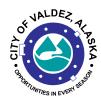
Type of Insurance	Limits of Liability Each Occurrence	Aggregate
Workers' Compensation	Statutory	Statutory
Employers' General	\$ 100,000	\$ 300,000
Commercial General Liability*	\$1,000,000	\$2,000,000
Comprehensive Automobile Liability	\$ 100,000	\$ 300,000
Professional Liability*	\$1,000,000	\$2,000,000

*(including Broad Form Property Damage Coverage and Completed Operations Coverage)

ARTICLE 6. Appendices

6.1 The following appendices are attached to this agreement and incorporated herein:

<u>Appendix</u>	<u>Title</u>
А	Scope of Work
В	Basis of Compensation
С	General Conditions



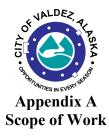
IN WITNESS WHEREOF, the parties to this presence have executed this CONTRACT in two (2) counterparts, each of which shall be deemed an original, in the year and day first mentioned above.

CRW ENGINEERING GROUP, LLC

CITY OF VALDEZ, ALASKA APPROVED:

Authorized Signature	Sharon Sheidt, Mayor
Printed name	Date:
Date:	ATTEST:
Title:	
FEDERAL ID #:	Sheri L. Pierce, MMC, City Clerk
	Date:
Mailing Address	
	Mark Detter, City Manager
City, State, Zip Code	Date:
	RECOMMENDED:
Signature of Company Secretary or Attest	Nathan Duval, Capital Facilities Director
Signature of Company Secretary of Floore	Date:
Date:	
	APPROVED AS TO FORM: Brena, Bell & Walker, P.C.
	Jon S. Wakeland

Date:



BASIC SERVICES

Provide all engineering and support services necessary to provide the City of Valdez:

The scope of work is more specifically described in the attached proposal April 13, 2022 which is incorporated herein by reference.

Appendix B Basis of Compensation

On completion of work and submission of invoices, the City shall pay to consultant the compensation as follows:

Payment shall be made based on the proposed fee and shall not exceed \$330,007.00 per the proposal attached to Appendix A of this Agreement, without prior authorization by the City as required in Section V of the General Conditions (Appendix C).

City of Valdez, Alaska Valdez Container Terminal Water Main WORK TASKS (Rev. 4/13/2022)

WORK TASK INDEX:

TASK NO. TASK DESCRIPTION PAGE NO. 1. 2. З. 4. 5. 6. 7. 8. 9. 10.

1. PROJECT DESCRIPTION

1.1. Facility Description

Potable water is supplied from an existing 10-inch water main located on Mineral Creek Loop Road to the Valdez Container Terminal (VCT) via an 8-inch water main constructed in 1983. The water system as originally constructed consisted of a looped system to include multiple isolation valves along with eight fire hydrants. Throughout the years, several modifications/repairs have been performed on the water system to include: piping alignment modifications, abandonment of sections of pipe, and addition of a freeze protection system. Due to the abandonment of several sections of pipe, the system is no longer looped to and from the 10-inch water main on Mineral Creek Loop Road. It has been reported by City personnel that the VCT water system experiences freeze ups during the winter months making the system inoperable. Only two of the original six fire hydrants located within the marshalling yard are currently functioning.

The project goals for the VCT Water Main Replacement Project include:

- Improve the VCT water system reliability, including freeze protection
- Provide potable water service to the area
- Provide fire protection to the area
- Minimize operations and maintenance

1.2. Summary of Project Scope

The scope of services generally includes providing professional services to provide design, survey, geotechnical investigation, and permitting as required for the project. A summary of project element tasks included in the cost proposal follow:

- Meet with City of Valdez to review scope of services and design criteria
- Investigate and photograph the project area and review proposed connections to existing utilities
- Obtain and review existing data including project area plats, utility as-builts, roadway as-builts, onsite septic system data, and other relevant project information
- Conduct a geotechnical field investigation and provide a report of results

- Provide land surveying services
- Provide permitting effort including ADEC Plan Review Check Lists and Valdez Building Permit
- Prepare design study memo, including 35% complete design plans
- Prepare design submittals to include plans, specifications, and cost estimates at the 65%, 95%, and 100% (bid ready) design levels
- Provide assistance during bidding

2. PROJECT INITIATION & COORDINATION

2.1. City of Valdez Coordination

To initiate the project, the Consultant shall meet with the Valdez City Engineer to review the scope of services, set the project design criteria, and coordinate project development.

2.2. Field Investigation

The Consultant shall investigate and photograph the project area.

2.3. Review Existing Data

The Consultant shall collect and review existing data including project area plats, utility as-builts, facility asbuilts, historic soil borings, previous soils reports, and other relevant project information.

3. SURVEYING & MAPPING

3.1. Surveying & Base Mapping

The Consultant shall collect land surveying data and reduce the collected data to a form useful for the design. Land Surveying will be performed to the standards called for in the Alaska State Professional Land Surveyors (ASPLS) Standards of Practice.

The field surveying effort with include the following items:

- Collect topographic survey data at the facility and surrounding area to the extents necessary to complete design of the facilities.
- Establish horizontal and vertical control points from existing monuments or from previously established survey control points.
- Locate and establish project coordinates for the existing monuments within the project survey limits.
- The land survey shall collect the following topographic data: structures (including finish floor), asphalt/gravel roadways, existing overhead and buried utilities, soil boring locations, fences/gates, water valves, property corners, existing monumentation, vegetation.

The Consultant shall utilize surveyed data, collected plat data, and topographic mapping to prepare a basemap for the proposed facilities.

3.2. Deliverable Items.

	Electronic	Paper
Type of Document	File	Copies
Field Books	1	1
Survey Topo File (AutoCAD Format)	1	

4. GEOTECHNICAL INVESTIGATION

4.1. General

The Consultant shall conduct a geotechnical investigation and provide a report with geotechnical recommendations for the project. The Consultant shall incorporate existing soils information and reports, insofar as practical. Data used from existing reports will be shown and the sources referenced in the Geotechnical Report.

4.2. Geotechnical Investigation

The geotechnical field investigation will consist of equipment mobilization and field activities necessary to obtain adequate data to characterize subsurface soil conditions. Under this scope of services, a total of 10 borings are anticipated to a depth of 15'. The Consultant shall coordinate with the City of Valdez to obtain required permits for the work in the right of way and provide appropriate traffic signage and safety devices. Soil boring locations will be cleared for utilities prior to beginning the drilling effort. Additionally, three test holes will be excavated at the existing water main along the causeway to determine location and burial depth of existing water main. It is assumed the City will provide excavation of the water main. Based on the findings, the existing water main along the causeway may be redesigned to a lower excavation to improve freeze protection.

Representative samples of materials collected during field activities will be tested to determine those material characteristics pertinent to the design and construction of the project. Soil samples will generally be collected at 2.5' intervals or as needed to characterize changing soil conditions. An experienced engineer or geologist will be present during the fieldwork to locate the borings, observe the drilling action, collect samples, prepare a descriptive log for the borings, and observe groundwater conditions. The soil samples will be classified in accordance with the Unified Soil Classification System. Upon completion, the borings will be backfilled with auger cuttings and the boring locations marked with survey lath or spray paint for future location.

This subsurface information will allow us to assess the feasibility of burying the new water mains at a lower elevation for improved freeze protection. If large rocks or rep rap are encountered near the surface, it may not be feasible to lower the water mains below the depth of freeze.

The geotechnical investigation shall consist of field activities necessary to evaluate, at a minimum, the following criteria:

- Encountered soil properties
- Excavation and dewatering considerations
- Structural impacts such as trench and building shoring, slope, foundation, backfill, compaction, material, etc.
- Foundation bearing capacity
- Seismic concerns
- Lateral earth forces for potentially pushing pipe or thrust blocks
- Recommendations for the pavement section
- Structural fill and compaction recommendations
- Testing to evaluate the presence of hydrocarbon contamination in the field via photo ionization detector (PID). Soil samples found to exceed PID readings greater than ten (10) ppm or projects within five hundred (500') feet of a documented contaminated site will be tested for GRO, BTEX, DRO, RRO, VOC, and SVOC

4.3. Geotechnical Report

The Consultant shall provide a Geotechnical Report that presents a summary of previous soils information and data collected during the geotechnical investigation and includes geotechnical recommendations to address the criteria listed above. Information shall include at least the following:

- Project vicinity and boring log map
- Description and project scope
- Presentation of the field investigation findings
- Descriptions of the soils encountered during the filed investigation
- Laboratory test results
- Test holes and previous soils information

The report will also include a site description and summary of the field explorations. A boring location map and graphical logs of the borings will support the description of subsurface conditions. The report will be prepared under the supervision of a registered civil engineer experienced in geotechnical engineering.

4.4. Deliverable Items.

	Electronic PDF	Paper
Type of Document	File	Copies
Geotechnical Report - Final (Sealed/Signed)	1	0

5. **PERMITTING**

5.1. General

The Consultant shall assist the City of Valdez with obtaining the necessary permits required for the project. The Consultant shall fill out the appropriate permit applications, provide technical support, and work directly with the agencies to facilitate permit acquisition. The Consultant shall participate in and keep records of agency scoping meetings, presentations, and agency review contacts.

5.2. Project Permits

Permits and approvals anticipated for this project include:

- ADEC Water Distribution System Plan Review Checklists
- Valdez Building Permit

The City of Valdez will pay all fees associated with these permits.

5.3. Deliverable Items

	Electronic PDF	Paper
Type of Document	File	Copies
ADEC Water Checklists	1	1
Valdez Building Permit	1	1

6. DESIGN STUDY MEMO AND 35% DESIGN DRAWINGS

6.1. General

Upon completion of the field activities, the Consultant shall generate a design study memorandum that at a minimum addresses the following items:

- Connections to existing water systems
- Water main alignments

- Pipe sizing and materials
- Fire hydrant locations
- Freeze protection
- Life Cycle Economic Analysis

The draft design study memorandum will be submitted to the City of Valdez for review and comment. Consultant will meet with City of Valdez to discuss proposed improvements. Upon reaching a consensus on the proposed improvements, Consultant shall finalize the memo and document the final recommendations to be used in the design phase.

6.2. 35% Design Drawings

The Consultant shall generate 35% design drawings of the proposed water improvements.

6.3. Deliverable Items.

	Electronic PDF	Paper
Type of Document	File	Copies
Draft Conceptual Design Memo	1	0
Final Conceptual Design Memo	1	0
35% Design Drawings (11"x17")	1	0

7. DESIGN

7.1. General

The Consultant shall provide Plans, Specifications, and Engineer's Estimate design assembly suitable for project bidding. This task will be complete when the City of Valdez accepts the 100% Final Design assembly.

7.2. Design Plan Sheets

Each sheet will have a title block and be sealed by a Professional Engineer or Land Surveyor as appropriate, who is registered in the State of Alaska and responsible for the work. Seals will remain unsigned until the Issued For Construction submittal when seals will be signed and dated.

7.3. Content and Organization of Plan Set

It is anticipated the plans will contain at least the following sheets:

- Cover Sheet
- Sheet Index/Abbreviations/Symbols/Notes
- Survey Control
- General Layout
- Circulation Building Site Plan
- Circulating Building Sections
- Water Main Plan and Profile for Marshalling Yard
- Water Main Plan and Profile for Trestle
- Water Main Plan and Profile for Causeway

- Civil Details
- Architectural Sheets
- Mechanical Sheets
- Electrical Sheets
- Controls Sheets

7.4. Specifications

City of Valdez Standard Specifications and Standard Details – Streets/Drainage/Utilities/Parks (CVSS) will be used for the design of this project. The Consultant shall prepare project specific Special Provisions for review and concurrence by the City. In addition to the Special Provisions, the specifications will include Contractor Submittal List, Bid Forms, Bid Schedule, and Contract Forms.

7.5. Estimate

The Consultant shall submit an Engineer's Estimate of costs and quantities with each of the plan review submittals (beginning with the 65% design submittal). The Consultant shall not release information pertinent to the Engineer's Estimate, other than to the City of Valdez, without the express written authorization of the City.

7.6. Design Document Review Assembly

The Consultant shall submit the documents listed below under "Deliverable Items". After review of each submittal by the City of Valdez, the Consultant shall address each review comment to the satisfaction of the City prior to the next submittal.

7.6.1. Preliminary Design (65%)

The Preliminary Design assembly will consist of drawings, specifications, and engineer's estimate and represent the design effort approximately 65% complete. The drawings will be half size sets on bond. A summary of comments made on the 35% plans submittal along with a response to each comment will be provided with this submittal.

7.6.2. Pre-Final Design (95%)

The Pre-Final Design assembly will consist of complete sealed and un-signed drawings, specifications, and engineer's estimate and represent the design effort approximately 95% complete. The drawings will be half size sets on bond. A summary of comments made on the 65% plans submittal along with a response to each comment will be provided with this submittal.

7.6.3. Final Design (100%)

The Final Design assembly will consist of complete sealed and signed drawings, specifications, and engineer's estimate and represent the design effort 100% complete. The submittal will be both paper copies and Adobe PDF copies suitable for publishing on the City's website. A summary of comments made on the 95% plans submittal along with a response to each comment will be provided with this submittal.

7.7. Deliverable Items.

	Electronic PD)F Paper
Type of Document	File	Copies
65% Design Assembly	1	0
95% Design Assembly	1	0
100% Design Assembly	1	0

8. ASSISTANCE DURING BIDDING

8.1. General

The Consultant shall assist the City of Valdez as requested during project bidding. Personnel that were in responsible charge for engineering and land surveying, and other personnel as necessary, will be available to interpret and clarify documents prepared during project development and to assist the City with preparing necessary addenda to the bid documents. When performing these services, the Consultant shall not communicate about this project with potential bidders for its construction unless directed to do so by the City of Valdez.

8.2. Pre-Bid Conference

The design team project engineer shall attend the pre-bid conference via teleconference.

8.3. Documents

Within a month after the bid opening, the Consultant shall submit to the City of Valdez the original of documents prepared or modified during bidding. The Consultant shall keep a copy of these documents until construction is complete.

8.4. Deliverable Items.

	Electronic	Paper
Type of Document	File	Copies
Documents prepared or modified during bidding	j 1	1

9. PLANNING & GRANT WRITING

9.1. Planning

The Consultant shall work with the City of Valdez to prepare planning documents as needed. Planning services may include updating existing planning documents, public and stakeholder outreach/community meetings, documentation of existing conditions, needs analysis, graphic support, technical writing, project cost estimates/recommendations based on public/stakeholder input, and document production.

9.2. Grant Writing – Project Scoping/Funding Strategy

The Consultant shall work with the City of Valdez to develop a priority list of infrastructure projects (an initial effort on this has already been completed during our recent meeting – we will work to finalize this under this task). The projects will be categorized into planning, design, and construction ready projects. Scopes, schedules, and budgets will be developed utilizing any previous work that has been completed. We will also work with the City Manager and Project Team to help identify potential partners located within a project area that may support funding and project development for any funding opportunity. During the entire process of planning and scoping, we will also be helping to develop a funding strategy for the City of Valdez to focus on in order to be proactive about securing funding for projects, in addition to responding to funding grant applications.

9.3. Grant Proposal Development

When funding applications are made available, the Consultant shall begin working on grant applications. The grant application process will differ depending on agency funding requirements. For example, some agencies require only a simple submittal utilizing a single form, drawings and graphics, letters of support, and cost estimates transmitted via email. Other agencies may require a more extensive submittal such as a cost benefit analysis, detailed cost estimates, in-depth submittal via grants.gov. Each grant application package will undertake a series of internal and external reviews before submittal.

10. COMPENSATION

CRW Engineering Group, LLC will be paid to complete the services as described above on a time and materials basis for an estimated \$330,007 (see attached).

Valdez Container Terminal Water Main PROPOSAL COST

City of Valdez, Alaska							Nai	me. Ra	ate & F	Proiect	ted Ho	urs											
; ,,	Name, Rate & Projected Hours CRW Engineering Group, LLC									Cost \$													
		С	ivil		Mech	anical		trical		ctural		urveyii	na	Geo	tech	Gra	ints						
BASIC SERVICES Revised 4/13/2022	Pete Bellezza, P.E. Engineer XXIII	lineche, P.E. XVIII		Technician XIX	Tracy McKeon, P.E. Engineer XX	Engineer IV	Bill McDonald, P.E. Engineer XX		Nick Choromanski, P.E. Engineer XIX		Anthony Robinson, PLS Land Surveyor XX	Land Surveyor XVI	Technician XIV	Steven Halcomb, P.E. Engineer XVII		riter	Hannah Weekly Planning GIS	Administrative	Total	Sub Contractor		Total	Total
Task & Subtask Description	\$230			\$165	\$215	\$135	\$215			\$170	\$215	\$195	\$140	\$200	\$170	\$175	\$155	\$75	Labor	Costs ⁽¹⁾	Expenses	Subtask	Task
Task 1 - Surveying & Mapping																							
Horizontal/Vertical Control Survey											2	4	2						\$1,490		\$30	\$1,520	
Topographic Land Survey											2	20	20						\$7,130		\$140	\$7,270	
Utilities & Soil Borings Survey											1	2	2						\$885		\$20	\$905	
Travel/Lodging/PerDiem												12	12						\$4,020		\$820	\$4,840	
Prepare Project Base Map											2		8						\$1,550		\$30	\$1,580	
Total Task 1:	0	0	0	0	0	0	0	0	0	0	7	38	44	0	0			0	\$15,075		\$1,040	\$16,115	\$16,115
Task 2 - Geotechnical Investigation																							
Geotechnical Field Work														4	52				\$9,640	\$18,530	\$1,650	\$29,820	
Soil Laboratory Testing														1	2				\$540	\$5,372	\$10	\$5,922	
Engineering Analysis & Recommendations														2	4				\$1,080		\$20	\$1,100	
Geotechnical Report		2												8	16				\$4,730		\$90	\$4,820	
Total Task 2:	0	2	0	0	0	0	0	0	0	0	0	0	0	15	74			0	\$15,990	\$23,902	\$1,770	\$41,662	\$41,662
Task 3.1 - Design Study Memo																							
Site Visit & Data Gathering		16	16																\$6,480		\$1,130	\$7,610	
Life Cycle Economic Analysis		4	12	8															\$4,540		\$90	\$4,630	
Draft & Final Design Study Memo	2	8	16																\$5,300		\$110	\$5,410	
Total Task 3.1:	2	28	44	8	0	0	0	0	0	0	0	0	0	0	0			0	\$16,320		\$1,330	\$17,650	\$17,650
Task 3.2 - Preliminary Design (65% PS&E)																							
Plans																							
Cover Sheet				2															\$330		\$10	\$340	
Sheet Index/Vicinity Map/Notes/Legend/Abbrev		2	2	8															\$2,130		\$40	\$2,170	
Survey Control											1		4						\$775		\$20	\$795	
Civil Sheets	8	80	100	40															\$44,840		\$900	\$45,740	
Architectural Sheets		2																	\$410	\$7,700	\$10	\$8,120	
Structural Sheets		2							24	24			<u> </u>		<u> </u>				\$9,530		\$190	\$9,720	
Mechanical Sheets		2			12	30			L	L			<u> </u>		<u> </u>				\$7,040		\$140	\$7,180	
Electrical Sheets		2					16	24	L	L			<u> </u>		<u> </u>				\$7,090	A	\$140	\$7,230	
Specifications	16	4			4		8		4	L			<u> </u>		<u> </u>			8	\$8,520	\$1,826	\$170	\$10,516	
Engineers Cost Estimate		2	100	50	10		0.1	0.1				_			_			_	\$410	\$4,950	\$10	\$5,370	AABAAAAAAAAAAAAA
Total Task 3.2:	24	96	102	50	16	30	24	24	28	24	1	0	4	0	0			8	\$81,075	\$14,476	\$1,630	\$97,181	\$97,181

City of Valdez, Alaska									ate & P														
		CRW Engineering Group, LLC Civil Mechanical Electrical Structural Surveying Geotech Grants													Cost \$								
		C	VII		Mech	anical	Elec	trical	Struc	tural	S	urveyır	ng	Geo	tech	Gra	ints						
BASIC SERVICES Revised 4/13/2022	Pete Bellezza, P.E. Engineer XXIII	Mike Leguineche, P.E. Engineer XVIII	Joey Hegna, P.E. Engineer XVII	Technician XIX	Tracy McKeon, P.E. Engineer XX	Engineer IV	Bill McDonald, P.E. Engineer XX	Engineer IV	Nick Choromanski, P.E. Engineer XIX	Engineer XI	Anthony Robinson, PLS Land Surveyor XX	Land Surveyor XVI	Technician XIV	Steven Halcomb, P.E. Engineer XVII	Engineer XI	Adison Spafford Planner/Grant Writer	Hannah Weekly Planning GIS	Administrative	Total	Sub Contractor		Total	Total
Task & Subtask Description	\$230	\$205	\$200	\$165		\$135	\$215	\$135	\$210	\$170	\$215	\$195	\$140	\$200	\$170		\$155	\$75	Labor	Costs ⁽¹⁾	Expenses	Subtask	Task
		-									1			-									
Task 3.3 - Pre-Final Design (95% PS&E)																							
Plans																							
Cover Sheet				1															\$165		*	\$165	L
Sheet Index/Vicinity Map/Notes/Legend/Abbrev			2	4															\$1,060		\$20	\$1,080	
Survey Control											2		4						\$990		\$20	\$1,010	
Civil Sheets	8	60	80	30															\$35,090		\$700	\$35,790	
Architectural Sheets		2																	\$410	\$4,400	\$10	\$4,820	
Structural Sheets		2							20	20									\$8,010		\$160	\$8,170	
Mechanical Sheets		2			12	16													\$5,150		\$100	\$5,250	
Electrical Sheets							24	36											\$10,020		\$200	\$10,220	L
Specifications	4	2	4		2		4		4									4	\$4,560	\$2,035	\$90	\$6,685	L
Engineers Cost Estimate		2																	\$410	\$3,080	\$10	\$3,500	L
Total Task 3.3:	12	70	86	35	14	16	28	36	24	20	2	0	4	0	0			4	\$65,865	\$9,515	\$1,310	\$76,690	\$76,690
Task 3.4 - Final Design (100% PS&E)																							
Plans																							L
Cover Sheet		_		1															\$165		*	\$165	L
Sheet Index/Vicinity Map/Notes/Legend/Abbrev		2		2							_								\$740		\$10	\$750	
Survey Control											2		2						\$710		\$10	\$720	L
Civil Sheets	4	12	16	8															\$7,900		\$160	\$8,060	L
Architectural Sheets		2																	\$410	\$2,079	\$10	\$2,499	L
Structural Sheets		2							20	20									\$8,010		\$110	\$8,120	
Mechanical Sheets		2			12	16													\$5,150			\$5,150	
Electrical Sheets		2					16	24											\$7,090		\$40	\$7,130	
Specifications	4	2	2		2		2		2									2	\$3,160	\$550	\$60	\$3,770	
Engineers Cost Estimate		2																	\$410	\$1,980	\$10	\$2,400	
Permitting - ADEC Checklists, Valdez Building Permi		8	8																\$3,240		\$60	\$3,300	
Total Task 3.4:	8	34	26	11	14	16	18	24	22	20	2	0	2	0	0			2	\$36,985	\$4,609	\$470	\$42,064	\$42,064
Task 4 - Bidding Support																							
Pre-Bid Meeting/Coordination		4	4						1										\$1,830		\$40	\$1,870	l
Prepare Addendum	2	2	4						2	2									\$2,430	\$880	\$50	\$3,360	L
Bid Opening/Coordination		1	2																\$605		\$10	\$615	
Total Task 4:	2	7	10	0	0	0	0	0	3	2	0	0	0	0	0	0	0	0	\$4,865	\$880	\$100	\$5,845	\$5,845
Task 5 - Planning & Grant Writing																							
Planning		2														24			\$4,610		\$90	\$4,700	I
Grant Writing/Project Scoping/Funding Strategies		2														48	2		\$9,120		\$180	\$9,300	l
Grant Proposal Development		8													L	88	8	2	\$18,430		\$370	\$18,800	L
Total Task 5:	0	12	0	0	0	0	0	0	0	0	0	0	0	0	0	160	10	2	\$32,160		\$640	\$32,800	\$32,800
TOTAL BASIC SERVICES:	48	249	268	104	44	62	70	84	77	66	12	38	54	15	74	160	10	16	\$268,335	\$53,382	\$8,290	\$330,007	\$330,007

Notes and Assumptions:

1) 10% markup on subconsultant fees and expenses.

ACOND	

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 04/09/2021

C B R	HIS CERTIFICATE IS ISSUED AS A ERTIFICATE DOES NOT AFFIRMAT ELOW. THIS CERTIFICATE OF INS EPRESENTATIVE OR PRODUCER, AI MPORTANT: If the certificate holder on torms and conditions of the policy	IVELY SURAN ND TH	OR ICE E CI ADD	NEGATIVELY AMEND, DOES NOT CONSTITUT ERTIFICATE HOLDER. ITIONAL INSURED, the	EXTEI E A C policy(ND OR ALTI CONTRACT I	ER THE CO BETWEEN T	VERAGE AFFORDED BY THI HE ISSUING INSURER(S), AI	E POLICIES JTHORIZED
	ne terms and conditions of the policy ertificate holder in lieu of such endors				aorse	ment. A stat	ement on thi	is certificate does not confer i	ignts to the
PRO	DUCER		. ,		CONTA NAME:				
	Parker, Smith & Feek, Inc.				PHONE (A/C, No	o, Ext): 425-709	9-3600	FAX (A/C, No): 425-70	9-7460
	2233 112th Avenue NE Bellevue, WA 98004				È-MAIL	SS:			
						INS	URER(S) AFFOR	DING COVERAGE	NAIC #
					INSURE	RA: Travele	rs Indemnity	Co.	
INSU	IRED	10			INSURE	кв: Contine	ental Casualty	v Company	
	CRW Engineering Group, I 3940 Arctic Blvd, Suite 300				INSURE	RC:			
	Anchorage, AK 99503				INSURE	RD:			
					INSURE	RE:			
					INSURE	RF:			
СО	VERAGES CER	TIFIC	ATE	NUMBER:				REVISION NUMBER:	
IN C E	HIS IS TO CERTIFY THAT THE POLICIES IDICATED. NOTWITHSTANDING ANY RE ERTIFICATE MAY BE ISSUED OR MAY XCLUSIONS AND CONDITIONS OF SUCH	EQUIRE PERTA	MEN IN, 1 IES.	NT, TERM OR CONDITION THE INSURANCE AFFORDE LIMITS SHOWN MAY HAVE	OF AN ED BY	Y CONTRACT THE POLICIE REDUCED BY	OR OTHER E S DESCRIBEE PAID CLAIMS.	DOCUMENT WITH RESPECT TO D HEREIN IS SUBJECT TO ALL	WHICH THIS
INSR LTR		INSR V	NVD	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)		LIMITS	
А				P6300D462993COF21		04/15/2021	04/15/2022	DAMAGE TO RENTED	00,000
								PREMISES (Ea occurrence) \$ 300	
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	GEN'L AGGREGATE LIMIT APPLIES PER:							PRODUCTS - COMP/OP AGG \$ 2,0	00,000
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A						04/15/2021	04/15/2022	(Ea accident) \$ / S BODILY INJURY (Per person) \$,
	ALL OWNED SCHEDULED							BODILY INJURY (Per accident) \$	
	AUTOS AUTOS NON-OWNED							PROPERTY DAMAGE	
	HIRED AUTOS							(Per accident) \$	
۸				CUP3J0686602143		04/45/0004	04/45/0000	•	00,000
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٨	DED X RETENTION \$ 0			UB3K8752922143G				¥ WC STATU- TOPY LIMITS OTH-	
A	AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE					04/15/2021	04/15/2022		00,000
	OFFICER/MEMBER EXCLUDED?	N / A						E.L. DISEASE - EA EMPLOYEE \$ 1,0	
	If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT \$ 1,0	00,000
в	Professional Liability			AEH591908454				\$ 2,000,000 Per Claim\$ 2,000,0	
D						04/15/2021	04/15/2022		00 0
Exh	CRIPTION OF OPERATIONS / LOCATIONS / VEHIC ibit of Insurance RTIFICATE HOLDER	LES (Att	tach A	ACORD 101, Additional Remarks S		, if more space is	required)		
					THE	EXPIRATION	DATE THE	ESCRIBED POLICIES BE CANCEL REOF, NOTICE WILL BE DE Y PROVISIONS.	
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Appendix C General Conditions

I. <u>Definitions:</u>

<u>Basic Services:</u> The identified work elements set forth in this Agreement for which the Consultant will receive prime compensation.

<u>Change:</u> An addition to, or reduction of, or other revision in the scope, complexity, character, or duration of the services or other provisions of this Agreement.

<u>City's Project Manager</u>: City's representative in charge of the project(s) and the consultant's primary point of contact for notice(s) to proceed, invoices, correspondence and interface with the City.

<u>Consultant's Project Manager</u>: The Consultant's representative in charge of the project(s) who is directly responsible and engaged in performing the required services.

<u>Extra Services:</u> Any services or actions required of the Consultant above and beyond provisions of this Agreement.

<u>Funding Agency(s)</u>: The agency(s) of the federal, state or municipal government which furnishes funds for the Consultant's compensation under this Agreement.

<u>Optional Services:</u> Identifiable and/or indeterminate work elements set forth in this Agreement, which are separate and distinct from those covered by the prime compensation, which the City has the option to authorize.

<u>Prime Compensation:</u> The dollar amount paid to the Consultant for basic services set forth in this Agreement. Prime compensation does not include payment for any optional or extra services.

<u>Scope of Work:</u> Basic and optional services required of the Consultant by provisions of this Agreement.

<u>Subconsultant:</u> Any person, firm, corporation, joint venture, partnership or other entity engaged through or by Consultant.



II. Information and Services from Others:

Provisions of information, data, budget, standards, and other materials by the City does not warrant their accuracy or quality nor provide approval of omissions or oversights or of any non-compliance with applicable regulation.

The City may, at its election, or in response to a request from the Consultant, furnish information or services from other Consultants. If, in the Consultant's opinion, such information or services are inadequate, the Consultant must notify the City of the specific service or material deemed inadequate and the extent of the inadequacy prior to use in the performance of this Agreement. Unless so notified by the Consultant, the City may assume the information or services provided are adequate.

III. <u>Indemnification</u>

To the fullest extent permitted by law, the Consultant shall indemnify, defend, and hold harmless the City from and against any claim of, or damages, losses, expenses and liability (including but not limited to fees and charges of engineers, architects, attorneys, and other professionals, and court, mediation and/or arbitration costs) for negligent acts, errors, and omissions of the Consultant, Subconsultant, persons or organizations directly or indirectly employed or engaged by Consultant or Subconsultant under this Agreement. The Consultant is not required to indemnify, defend, or hold harmless the City for a claim of, or liability for the independent negligent acts, errors, and omissions of the Consultant error, or omission of the Consultant and the City, the indemnification, defense, and hold harmless obligation of this provision shall be apportioned on a comparative fault basis. In this provision, "Consultant" and "City" include the employees, agents, and contractors who are directly responsible, respectively, to each. In this provision, "independent negligent acts, errors, and omissions" means negligence other than in the City's selection, administration, monitoring, or controlling of the Consultant, or in approving or accepting the Consultant's work.

IV. Insurance:

All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant.



Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

V. <u>Payments:</u>

The City shall pay to the Consultant the amount of any changes in the cost of insurance that are attributable to the Scope of Work created by change orders.

Payments shall be made in accordance with Appendix B. Consultant shall submit progress invoices to City in duplicate showing the itemized services performed during the invoice period and the charges therefore.

All progress invoices shall be prepared as a percentage of the work is completed except contracts performed on "time and expenses" basis which invoiced amounts shall not exceed the actual charges to the invoice date.

Under no circumstances will City pay for charges in excess of any lump-sum or not-to-exceed contract amount incurred prior to written authorization by City for an increase in the contract amount. Written request for an increase in the contract amount shall be given to City with sufficient notice to allow City to issue formal approval prior to the incurring of excess charges without delay to the work.

On "time and expenses" contract amounts, compensation for work included in the Scope of Work shall be for direct labor costs and the actual cost of reimbursable expenses. Direct labor costs shall be as shown on the current Standard Labor Rates for the Consultant, a copy of which is attached as Appendix D, times a factor of <u>n/a</u>, for services rendered by principals and employees of the firm. Reimbursable expenses mean the actual expenses incurred directly or indirectly in connection with the Project for: transportation and subsistence incidental thereto; obtaining bids or proposals from contractor(s); furnishing and maintaining field office facilities; toll telephone calls and telegrams; reproduction of reports, drawings, specifications, and similar project-related items and, if authorized in advance by City, overtime work requiring higher than regular rates. Reimbursable expenses shall also include the amount billed to Consultant by Subconsultant employed by consultant for such Subconsultants' services and reimbursable expenses times a factor of 1.05.

The sum of payments shall not exceed the allowable compensation stated in this Agreement. In the event items on an invoice are disputed, payment on those items will be withheld until the dispute is resolved.



The Consultant shall submit a final invoice and required documentation for services authorized by each Notice to Proceed within Ninety (90) days after final acceptance by the City. The City will not be held liable for payment of invoices submitted after this time unless prior written approval has been given.

VI. <u>Changes:</u>

Changes in the Scope of Work or of services may only be made by written amendment signed by both City and Consultant.

If at any time the City through its authorized representatives, either orally or in writing, requests or issues instructions for extra services or otherwise directs actions which conflict with any provisions of this Agreement, the Consultant shall, within ten (10) days of receipt and prior to pursuing such instructions, notify the City in writing, and to the extent possible, describe the scope and estimated cost of any extra services. Unless so notified by the Consultant, the City may assume such instructions have not changed any provisions of this Agreement nor require additional compensation. No additional payments shall be made to the Consultant without such notice.

VII. <u>Audits and Records:</u>

The Consultant shall maintain records of all performances, communications, documents, and correspondence pertinent to this Agreement, and the City of its authorized representatives shall have the right to examine such records and accounting procedures and practices.

The materials described in the Article shall be made available at the business office of the Consultant, at all reasonable times, for inspection, audit or reproduction by City or any funding agency, for a minimum of three years from the date (a) of final payment under this Agreement (b) final payment upon claims or disputes, and for such longer period, if any, as may be required by applicable statute or other provisions of this Agreement.

VIII. Inspections:

The City, or any funding agency, has the right to inspect, in the manner and at reasonable times it considers appropriate during the period of this Agreement, all facilities, materials and activities of the Consultant in the performance of this Agreement.

IX. <u>Termination or Suspension:</u>

This Agreement may be terminated by either party upon ten (10) day's written notice if the other party fails substantially to perform in accordance with its terms through no fault of the party initiating the termination (default termination). If the City terminates this



Agreement, the City will pay the Consultant a sum equal to the percentage of work completed that can be substantiated by the Consultant and the City. If the City becomes aware of any fault or defect in the work of the Consultant or nonconformance with this Agreement, the City will give prompt written notice thereof to the consultant. Should the Consultant's services remain in nonconformance with this Agreement, the percentage of total compensation attributable to the nonconforming work may be withheld.

The City at any time may terminate (convenience termination) or suspend this Agreement for its own needs or convenience. In the event of a convenience termination or suspension for more than three months, the Consultant will be compensated for authorized services and authorized expenditures performed to the date of receipt of written notice of termination plus reasonable termination expenses. NO fee or other compensation for the uncompleted portion of the services will be paid, except for already incurred indirect costs which the Consultant can establish and which would have been compensated for over the life of this Agreement, but because of the convenience termination would have to be absorbed by the Consultant without further compensation.

If state or federal funds support this Agreement, settlement in the event of default or convenience termination must be approved by the City and any appropriate state or federal agency.

X. Officials Not to Benefit:

No member of or delegate to Congress, United States Commissioner or other officials of federal, state or local government shall be admitted to any share or part of this Agreement or any benefit to arise therefrom. The Consultant warrants that it has not employed or retained any organization or person, other than a bona fide employee working for the Consultant, to solicit or secure this Agreement and that it has not paid or agreed to pay any consideration contingent upon or resulting from this Agreement.

XI. Independent Consultant:

Except in those instances specifically provided for herein, the Consultant and any of its agents and employees shall act in an independent capacity and not as agents of the City in the performance of the Agreement.

XII. <u>Ownership of Work Products:</u>

Work products produced under this Agreement, except items which have preexisting copyrights, are the property of the City. Payments to the Consultant for services hereunder includes full compensation for all work products, field notes, interim work, reports, and other materials produced by the Consultant and its Subconsultants pertaining to this Agreement. Any re-use the City might make of these work products shall be at the City's own



risk and the Consultant shall not incur any liability for the City's re-use of the work products on any project for which they were not intended.

XIII. <u>Subconsultants, Successors and Assigns:</u>

The City must concur in the selection of all Subconsultants for professional services to be engaged in performance of this Agreement.

As soon as practicable after the award of the contract, the Consultant shall furnish to the City in writing the names of the proposed Subconsultants for each of the principal portions of the work. The City shall promptly notify the Consultant if it has reasonable objection to any of the proposed Subconsultants. Failure of the City to give prompt notification shall constitute notice of no reasonable objection. The Consultant shall not contract with any Subconsultant to whom the City has made reasonable objection.

If this Agreement includes named firms or individuals, then such firms or individuals shall be employed for the designated services, unless the Agreement is changed by amendment.

The Consultant shall not assign, sublet or transfer any interest in this Agreement without the prior written consent of the City.

The Consultant binds itself, its partners, its Subconsultants, assigns and legal representatives to this Agreement and to the successors, assigns and legal representatives of the City with respect to all covenants of this Agreement.

The Consultant shall include provisions appropriate to effectuate the purposes of this Appendix C in all subcontracts executed to perform services under this Agreement in which subcontract amount exceeds \$40,000.

XIV. <u>Claims and Disputes:</u>

If the Consultant becomes aware, or reasonably should have become aware of any act or occurrence which may form the basis of a claim, the consultant shall immediately inform the City's Project Manager. If the matter cannot be resolved within seven (7) days, the Consultant shall within the next fourteen (14) days submit written notice of the facts which may form the basis of the claim.

In addition, all claims by the Consultant for additional compensation or an extension of the time for performance of any dispute regarding a question of fact or interpretation of this Agreement shall be presented in writing by the Consultant to the City's Project Manager within the next sixty (60) days unless the Project Manager agrees in writing to an extension of time for good cause shown. Good cause shown includes time for the Consultant to prepare the claim, and the City's Project Manager will grant an extension of not more than



sixty (60) days for preparation of the claim. The Consultant agrees that unless these written notices are provided, the Consultant shall not be entitled to additional time or compensation for such act, event or condition. The Consultant shall in any case continue diligent performance under this Agreement. The Consultant shall in any case continue to expeditiously accomplish disputed services pending future resolution of the Consultant's claim unless notified by the City to stop work on the disputed matter.

In presenting any claim, the Consultant shall specifically include, to the extent then possible, the following:

- The provisions of this Agreement that apply to the claim and under which it is made.
- The specific relief requested including any additional compensation claimed and the basis upon which it was calculated and/or the additional time requested and the basis upon which it was calculated.
- The claim will be acknowledged in writing by the City's Project Manager. If the claim is not disposed of within sixty (60) days of acknowledgement, provided additional time is not granted in writing by the City's Contract Officer, the claim will be decided by the City's Contract Officer. The Contract Officer reserves the right to make a written request to the Consultant at any time for additional information that the Consultant may possess to support the claims(s). The Consultant agrees to provide the City such additional information within thirty (30) days of receipt for such a request. The City's Contract Officer will allow a reasonable time extension for good cause if presented in writing prior to the expiration of the thirty (30) days. Failure to furnish such additional information constitutes a waiver of claim.
- The Consultant will be furnished a written, signed copy of the Contract Officer's decision within ninety (90) days of receipt of all necessary information from the Contractor upon which to base the decision. The Contract Officer's decision is final and conclusive unless, within thirty (30) days of receipt of the decision, the Consultant delivers a notice of appeal to the City Manager. The notice of appeal shall include specific exceptions to the City's decision including specific provision of this Agreement which the Consultant intends to rely upon on appeal. General assertions that the City's decision is contrary to law or to fact are not sufficient.
- The decision of the City Manager will be rendered within 120 days of notice of appeal and the decision constitutes the exhaustion of contractual and administrative remedies.



All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant. Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

XV. Extent of Agreement:

writing.

This Agreement, including appendices, represents the entire and integrated Agreement between the City and the Consultant and supersedes all prior negotiations, representations or agreements, either written or oral.

Nothing contained herein may be deemed to create any contractual relationship between the City and any Subconsultants or material suppliers; nor may anything contained herein be deemed to give any third party a claim or right of action against the City or the Consultant that does not otherwise exist without regard to this Agreement.

This Agreement may be changed only by written amendment executed by both the City and the Consultant.

All communications that affect this Agreement must be made or confirmed in

The Consultant receiving final payment will execute a release, if required, relinquishing in full all claims against the City arising out of or by reason of the services and work products furnished under this Agreement.

The Consultant shall pay all federal, state and local taxes incurred by the Consultant and shall require payment of such taxes by any Subconsultant or any other persons in the performance of this Agreement.



XVI. <u>Governing Laws:</u>

This Agreement is governed by the laws of the State of Alaska and such federal and local laws and ordinances as are applicable to work performed. Any litigation arising out of the terms of this Agreement shall be brought in the Third Judicial District, Superior or District Court at Valdez.

XVII. <u>Minimum Wages:</u>

Minimum wages as determined by the Department of Labor shall be paid to all persons performing work on this Contract.



City of Valdez Contract Release Page 1 of 2

The undersigned, ________ for itself, its owners, partners, successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, as set forth herein related to or arising out of the following described contract ("Contract"):

Project: VCT Water Main Replacement Project Number: 21-350-2107 / Contract Number: 1900

The undersigned hereby acknowledges receipt of the amount of \$_____as full and final payment in consideration for all services, materials and labors rendered in connection with the Contract.

The undersigned hereby waives and releases any right or claim of lien, any state or federal statutory bond right, any private bond right, any claim for payment under the Contract, and any rights under any similar ordinance, rule, or statute related to claim or payment rights for itself, its owners, directors, officers, its successors in interest, assigns, agents, attorneys, trustees, administrators, subcontractors, suppliers, and laborers.

The undersigned certifies that no amounts payable under the Contract have been assigned to anyone.

The undersigned agrees that this Release is not executed as a result of financial disadvantage. No promise or inducement has been offered or made except as set forth in the above Contract. Accordingly, the undersigned voluntarily waives any and all rights to void this Release or any of its provisions, due to economic or business distress and/or compulsion. The undersigned represents that it is familiar with and has had the opportunity for its attorneys to explain the meaning of decisions of the Alaska Supreme Court applicable to this Release including, but not limited to, *Petroleum Sales, Ltd. v. Mapco of Alaska, Inc.,* 687 P.2d 923 (Alaska 1984); *Totem Marine T. & B. v. Alyeska Pipeline, et. al.,* 584 P.2d 15 (Alaska 1978); and *Witt v. Watkins,* 579 P.2d 1065 (Alaska 1978).

The undersigned hereby declares that the terms of this Release have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all payment claims, disputed or otherwise, arising under or by virtue of the Contract. The undersigned represents and warrants that it has the full and complete legal authority to enter into this Release, that the individuals executing this Release have the legal authority to do so, and that this Release shall be binding and enforceable upon it and its representatives, successors, and assigns, in accordance with its terms upon execution. The signature of the undersigned is an acknowledgement that the person signing has the authority to bind the party to this Release.



City of Valdez Contract Release Page 2 of 2

IN WITNESS WHEREOF, I have hereunto set my hand and seal this _	day of
, 20	

)ss.

)

COMPANY

SIGNATURE

TITLE

STATE OF ALASKA

THIRD JUDICIAL DISTRICT

THIS IS TO CERTIFY that on this _____ day of _____, 20____, before me, Notary Public in and for the State of Alaska, personally appeared ______ of ______, known to me to be _______, known to me to be true and correct to the best of his knowledge and belief, and that he signed the same freely and voluntarily for the uses and purposes therein mentioned, and that he was duly authorized to execute the foregoing document according to the Bylaws or by Resolutions of said corporation.

WITNESS my hand and notarial seal this _____ day of _____, 20____.

Notary Public in and for Alaska

My Commission expires: _____



Legislation Text

File #: 22-0210, Version: 1

ITEM TITLE:

Approval of Contract Award with Wolverine Summit JV for the Departmental Storage Facility (FS1) Renovation project in the amount of \$752,000.00.

SUBMITTED BY: Lindy Vititow - Capital Facilities Project Manager II

FISCAL NOTES:

Expenditure Required: \$752,000.00 Unencumbered Balance: \$881,352.00 Funding Source: 350-0310-55000.2004

RECOMMENDATION:

Approve the contract award to Wolverine Summit JV for the Departmental Storage Facility (FS1) Renovation project in the amount of \$752,000.00.

SUMMARY STATEMENT:

Project Description: This project's remodel work will take place in the old Fire Station 1 apparatus bays 1-5, crew quarters, decontamination room, and existing police bays 4-5, located at city hall. Construction work will include:

Base Bid Work:

- Abatement of associated hazardous materials in areas as identified within the construction documents and specifications.

- Demolition and reconstruction of identified walls, floors, fixtures and finishes.
- Cleaning, patching, filling, priming and painting.

- Demolition of electrical and mechanical equipment and appurtenances as indicated and required to complete the work.

- Replacement of existing lighting with new fixtures, switching and power supplies as required.
- Relocation and installation of existing Owner owned SCBA equipment.

<u>Additive Alternate 2 Work</u>: Located at police bays 4-5, removal and replacement of existing overhead door with new wall and door; replacement of unit heater; extension of data, power, and switching.

Additive Alternate 3 Work: Protect, remove, and deliver old day room fire fighter mural.

Additive Alternate 1 work is not recommended for approval with this contract as it will exceed the project budget.

File #: 22-0210, Version: 1

Additive Alternate 1 Work: Remodeling of two existing offices, restroom, and breakroom.

The completion of this project work will provide new training, drone, emergency management, and evidence storage space for the Police department. It will include record retention storage for the Clerk's office, additional IT departmental storage, and storage space for city events.

Construction Schedule: All work is to be completed within 195 calendar days from the written Notice to Proceed. (Approximately November 25^{th,} 2022)

Liquidated Damages: \$200.00 per day

Bidding: The project was put out to bid on March 23, 2022. We had two companies attend the prebid conference. Bids were due on April 25, 2022 and we received one bid. The contract total includes a \$55,000 owner's contingency to cover unanticipated discoveries with the remodel.

Architect's Estimate for Base Bid, Alt. 2, and Alt. 3: \$676,000.00 (\$621,000 + \$55,000 Contingency)

Summary of Proposals Received

Project: Departmental Storage Facility (FS1) Renovation Contract No.: 1889

Bid Opening - April 25, 2022 at 2:00 PM

Project No.: 21-350-2004

			Wolverine	Summit JV	Engine	er's Estimate
Item #	ltem	Quantity	Price	Extension	Price	Extension
	Bid Schedule Page 1 of 3					
1	Mobilization and Demobilization - LS	1.0000	\$50,000.00	\$50,000.00		
2	2 All labor/materials required for remediation of hazardous materials and repairs - LS	1.0000	\$327,000.00	\$327,000.00		
	All labor/ materials required to complete base bid upgrades as indicated in the					
3	architectural drawings and specifications - LS	1.0000	\$250,000.00	\$250,000.00		
	Field engineering, submittals, shop & record drawings, operating instructions, O&M					
4	manuals, and close-out punchlist - LS	1.0000	\$20,000.00	\$20,000.00		
	Special Note: A 5%-8% Owner's Contingency will be added to the total contract amount,					
	at the discretion of the City of Valdez, prior to the award of this contract. TBD BY THE		1 1			
	CITY OF VALDEZ - DO NOT INCLUDE ANY MONETARY AMOUNT FOR THIS LINE		I			
	ITEM 5 IN YOUR TOTAL BASE BID AMOUNT - LS	1.0000	\$55,000.00	\$55,000.00		
		Base Bid Total		\$702,000.00		\$610,000.00
	Alternate Item List Page 2 of 3					
	All labor/materials required to complete the demolition and reconstruction of wall and					
	ceiling assemblies, plumbing, ventilation, lighting, and associated systems, fixtures and		I			
AA1	finishes to serve Offices, Toilet Rooms, and Break Room - LS	1.0000	\$407,000.00	\$407,000.00		\$250,000.00
	All labor/materials required for removal and replacement of existing OH door with new					
AA2	wall and door; replacement of CUH; extension of data, power and switching - LS	1.0000	\$47,000.00	\$47,000.00		\$ 8,000.00
AA3	All labor/materials required to protect, remove and deliver wall applied artwork - LS	1.0000	\$3,000.00	\$3,000.00		\$ 3,000.00
		Awarded				
		Alternate Items			r	
		AA2 & AA3	B	\$50,000.00		\$ 11,000.00
		Total Award		752,000.00		\$621,000.00

The bid totals are subject to correction after the bids have been completely reviewed.

Totals have been reviewed Totals have been corrected

NA

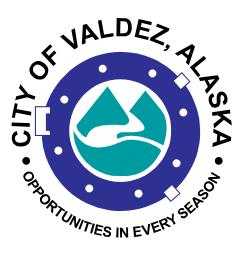
I hereby certify that the above is a true and correct summary of proposals received.

Project Manager

CITY OF VALDEZ ALASKA

CONTRACT DOCUMENTS

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 Contract Number: 1889 Cost Code: 350-0310-55000.2004 Issued for Construction Date: March 23, 2022



City of Valdez Capital Facilities and Engineering 300 Airport Road, Suite 201 P.O. Box 307 Valdez, Alaska 99686

> Project Manager: Lindy Vititow

Construction Plan Set Completed By: WOLF ARCHITECTURE, INC. 625 Cobb Street, Ste. 200 Palmer, AK 99645

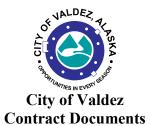
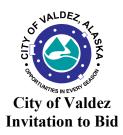


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Drawings Titled "Valdez Departmental Storage Renovation"	Attached
Specifications Titled "Volume 1 of 1 Construction Documents"	Attached
Appendix A "Reference Images"	Attached



Date: March 23, 2022

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

This project includes, but is not necessarily limited to:

Base Bid:

- 1. Abatement of associated hazardous materials in areas as identified within the construction documents and specifications. Contractor is responsible for collecting, handling and disposal of all hazardous materials generated by project according to all governmental requirements.
- 2. Demolition and reconstruction of identified walls, floors and other assemblies, fixtures and finishes.
- 3. Cleaning, patching, filling, priming and painting.
- 4. Demolition of electrical and mechanical equipment and appurtenances as indicated and as required to complete the Work.
- 5. Replacement of existing lighting with new fixtures, switching and power supplies as required.

6. Relocation and installation of existing Owner owned SCBA equipment. Alternate Bids:

Alternate 1: Demolition and reconstruction of wall and ceiling assemblies, plumbing, ventilation, lighting and associated systems, fixtures and finishes to serve Offices, Toilet Rooms, Break Room

Alternate 2: Removal and replacement of existing OH door with new wall and door; replacement of CUH; extension of data, power and switching

Alternate 3: Protect, remove and deliver wall applied artwork

Architect's Estimate for construction of Base Bid is under \$ 610,000.00

Architect's Estimate for construction of Additive Alternate 1 is under \$ 250,000.00

Architect's Estimate for construction of Additive Alternate 2 is under \$ 8,000.00

Architect's Estimate for construction of Additive Alternate 3 is under \$ 3,000.00

Sealed bids will be accepted electronically until 2:00 PM (AK Time) on April 25, 2022, at <u>www.bidexpress.com</u>. The bids will be publicly opened at that time.



A <u>non-mandatory but HIGHLY encouraged pre-bid conference will be held</u> at the office of the Capital Facilities Director, 300 Airport Road, Suite 201, Valdez, Alaska <u>on April 13, 2022 at</u> <u>2:00 PM (AK Time). A site visit will be offered to all in-person attendees directly after the</u> <u>pre-bid conference.</u>

Deadline for all questions and/or clarification requests in regards to the bidding of this project is 4:00 PM (AK Time) on April 19, 2022. Please note all questions must be submitted in writing through Bid Express.

Complete sets of the bid documents may be purchased from Digital Blueprint, 903 West Northern Lights Blvd., Anchorage, AK 99503, (907) 274-4060. Bid documents may also be downloaded from the City of Valdez solicitation page at <u>www.bidexpress.com</u> Bidders are encouraged to register as a plan holder at the link listed within the bid posting to ensure receipt of any addendum issued for this project.

Bid security in the amount of 5% of the total bid is required.

The City reserves the right to waive any irregularities or informalities in a bid and to reject any and all bids without cause.

Current minimum prevailing wage rates as published by the Alaska Department of Labor must be paid if required by law.

Requirements of the Alaska Employment Preference (AS 36.10) must be met.

The City of Valdez encourages disadvantaged, minority and women-owned firms to respond and is available to assist said firms in learning how to do business with the City.

The City of Valdez "Standard Specifications and Standard Details" shall be used. An electronic copy is available from the City of Valdez website at <u>http://www.valdezak.gov</u> under "standards and specifications" located on the "quick links" portion of the Capital Facilities Department page.

CAUTION:

Your bid may be rejected if it is not properly executed. Check that the following items have been accomplished to help assure a responsive bid. <u>Please read Sections 6 and 7 carefully.</u>

- 1. Bid Form
 - A. The Bid Form has been executed and signed.
 - B. Addendum Acknowledgement Form has been executed and signed.
- 2. Bid Security or Bid Bond
 - A. An executed Bid Security (Bid Bond) in the amount indicated on the Invitation to Bid.
 - B. Verify that the Certificate showing the Corporate Principal on the form is executed if applicable.
- 3. Alaska Business License, a copy your current license must be included.
- 4. Alaska Contactor Certificate of Registration
 - A. A copy of your current Alaska Contractor License of Registration in the bidder's name must be included with the bid.
 - B. The Contractor is required to verify that the appropriate license(s) is in place prior to submitting their bid for the project's scope of work.
- 5. A bid may be rejected if it contains any alterations or erasures that are not initialed by the signer of the bid.

Note: Any certified checks may be held uncollected at the risk of bidders submitting them.

1. General

Bidders are requested to study and follow these instructions about the method and form for submitting bids to avoid having their bid rejected.

Bidders will find all required forms and documents contained within this assembly. Please notice under Section 7, Required Documents for Bid, as to which forms and documents are required for your bid to be considered.

2. Explanation to Bidders

Requests from bidders concerning interpretations or clarifications of the bid documents shall be made in writing to the project manager or project engineer. Such requests shall arrive at least three working days prior to the date for opening bids. There needs to be sufficient time allowed for a reply to reach all bidders before the submission of the bids. Explanations made will be in the form of an addendum to the specifications or drawings and will be furnished to all bidders and receipt of the addendum must be acknowledged on the Addendum Form.



3. Site Conditions

Bidders are highly encouraged to visit the site to ascertain pertinent local conditions, location, accessibility, terrain, labor conditions, conditions of surrounding areas, and any other aspect that may impact the project.

4. Addenda Requirements

All bids must include the Addendum Acknowledgement Form. If addendums have been issued the bidder must state on the form all the addendums have been acknowledged. If no addendums were issued then the bidder is to write "NONE" on the form. The Addendum Acknowledgement Form shall be reviewed prior to acceptance of the bid.

5. Submissions of Bids

<u>All bids must be submitted electronically through Bid Express at www.bidexpress.com.</u> Hard copy or paper submissions will not be accepted.

All electronic bidders must first register on bidexpress.com. Instead of paying paper bidding costs (hand or hired delivery costs), a fee of \$35 will be incurred for those who wish to bid electronically on a pay-per solicitation basis. Alternatively, you may subscribe for \$50 per month for unlimited electronic bid submission for all agencies posting solicitations on the bidexpress.com website, plus get email notifications by agency/work type/commodity code.

For bidders who are bidding online and wish to utilize the electronic bid bond option, please see the <u>FAQs</u> page regarding electronic bid bonds (bottom of the page in the link).

For additional guidance, please contact the Bid Express team at toll free (888) 352-2439 (select option 1) or at support@bidexpress.com

6. **Preparation of Bids**

Bids shall be submitted on the forms furnished, or copies thereof, and must be manually signed in ink. If erasures or other changes appear on the forms, the person signing the bid must initial each erasure or change.

The Bid Form will provide for quotation or price for all items. Bidders must quote on all items. Failure to do so may result in disqualification. Alternative bids will not be acceptable unless requested.

Bids can be modified until the bid deadline on Bid Express. Modification by facsimile or email will NOT be allowed for bids.



7. Required Documents for Bid

The following listed documents are to be completed and submitted at the time of bidding. Deviation from these requirements will be grounds for rejection of the bid.

- A. Addendum Acknowledgement Form, fully completed original (see Item 6 above also)
- B. Bid Schedule, fully completed original (see Item 6 above also)
- C. Bid Bond, original
- D. Copy of current and appropriate Alaska Contractor License for this Scope of Work.
- E. Copy of current Alaska Business License

8. Required Documents for Award of the Contract

The following documents must be executed prior to award of the contract and the initiation of work. Contractors are urged to expedite the completion of these documents. This will allow the contract award and notice to proceed to be issued expeditiously. These documents must be submitted within ten (10) working days after the date of notice of award.

- A. Agreement Pages (2 signed copies)
- B. Entity Acknowledgement (Corporate, LLC, Limited Partnership, Individual)
- C. Non-collusion Affidavit
- D. Contract Bond (Payment Bond: See Bonding Requirements below)
- E. Contract Bond (Performance Bond: See Bonding Requirements below)
- F. Certificate of Insurance naming City of Valdez as an "Additional Insured"
- G. Original signature pages (last page of bid schedule and bid bond)
- H. Certificate of good standing for a Corporation or LLC
- I. City of Valdez Business Registration
- J. Executed W-9 Form
- K. Proof of application for City of Valdez building permit submitted to the Planning Department.

9. Bonding Requirements

A. Bid Security (Bid Bond or Certified Check)

Bid Security is required and shall be in the form of a Certified Check for each bid or a Bid Bond prepared on the attached Bid Bond Form.

The Bid Bond must be executed by the bidder as principal and be executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

The Bid Security shall be issued for five percent (5%) of the bid amount.

Bid Securities will be returned to all except the three lowest bidders. The remaining certified checks or bid bonds will be returned, after the Owner and the accepted bidder have executed the Contract. Failure of the Owner to return the certified checks or bid bonds in a timely manner will create no liability on the part of the Owner. If no award



has been made within sixty (60) days after the bid opening, all bidders except the one who has received the notice of intent to award may request the return of their cash, check or bid bonds.

B. Contract Payment Bond

A Contract Payment Bond is not required if the total dollar amount of the contract is less than One Hundred Thousand Dollars (\$100,000).

A Contract Payment Bond is required if the total dollar amount of the contract is equal to or greater than One Hundred Thousand Dollars (\$100,000). Contract Payment Bond will be in the amount of One Hundred Percent (100%) of the Bid amount.

Contract Payment Bond shall be prepared on the Payment Bond Form that is attached. The Bond must be executed by the Contractor as principal and executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

C. Contract Performance Bond

A Contract Performance Bond is not required if the total dollar amount of the contract is less than One Hundred Thousand Dollars (\$100,000).

A Contract Performance Bond is required if the total dollar amount of the contract is equal to or greater than One Hundred Thousand Dollars (\$100,000). Contract Performance Bond) will be in the amount of One Hundred Percent (100%) of the Bid amount.

Contract Performance Bond shall be prepared on the Performance Bond Form that is attached. The Bond must execute by the Contractor as principal and executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

Section 2.80.080 of Valdez City Code provides for a modified contractor bond. Bidders shall familiarize themselves with exemptions allowed and the requirements for exemptions.

10. Bidder Qualifications

Before a bid is considered for award, the apparent low bidder may be requested to submit a statement of facts or proof in detail as to his previous experience in performing similar or comparable work, technical abilities, equipment, size, manpower and financial resources to complete and perform the work as outlined in the contract documents, plans and specifications.



11. Withdrawal of Bids

Bids may be withdrawn by written request received from the bidder prior to the bid opening time. Errors on the part of the bidder in preparing the bid, confers no right for the withdrawal of the bid after the bid has been opened.

12. Bidders Interested in More than One Bid

If any one party, by or in name of his or their agent, partner or other person, offers more than one bid, all such bids will be rejected. A party who quoted prices to a bidder is not disqualified from quoting prices to other bidders or from a bid directly for the work.

13. Rejection of Bids

The Owner reserves the right to reject any and all bids, when such rejection is in the interest of the Owner; to reject the bid of a bidder who previously failed to perform properly or to complete on time; and to reject the bid of a bidder who is not, in the opinion of the Owner in, in a position to perform the contract; or to waive any irregularities or informalities in a bid.

14. Hiring of Local Labor

The Owner encourages that every Contractor and Subcontractor, employ to the maximum extent practical and allowed by law, qualified people who regularly reside in the project area.

15. Local Bidder Preference

The Valdez City Code provides for a local bidder preference as follows:

Section 2.80.020 Definitions

"Local bidder" means a bidder that is not delinquent in the payment of any taxes, fees, assessments, or other charges owing the city and satisfies one of the requirements set forth in subsections (1) through (3) of this definition for a period of eighteen consecutive months immediately prior to the opening of a competitive city bid for which the bidder wishes to utilize the local bidder preference:

1. If the bidder is a corporation or limited liability company, the bidder's primary business address has a city of Valdez postal zip code, as reflected on the bidder's state of Alaska business license or the records of the State of Alaska Department of Commerce, Community and Economic Development, Division of Corporations;

2. If the bidder is an individual, the bidder's primary business or residential address has a city of Valdez postal zip code, as reflected on the bidder's state of Alaska business license;

3. If the bidder is a general partnership, a limited partnership, or a joint venture, at least one of the general partners has a postal zip code compliant with subsection (1) or (2) of this definition.



Section 2.80.065H Competitive Bidding

Except where prohibited by state or federal grant requirements, a local bidder, as defined in Section 2.80.020, may be given consideration as low bidder where the offer is the lesser of ten percent or fifty thousand dollars in excess of the lowest offer received from a bidder not qualified as a local bidder. The city may split the award between two or more suppliers in any manner the city deems to be in its best interest.

16. Award of Bid

The bid, if awarded, will be awarded to the lowest responsive responsible bidder as determined by the terms of the City Code and this document.

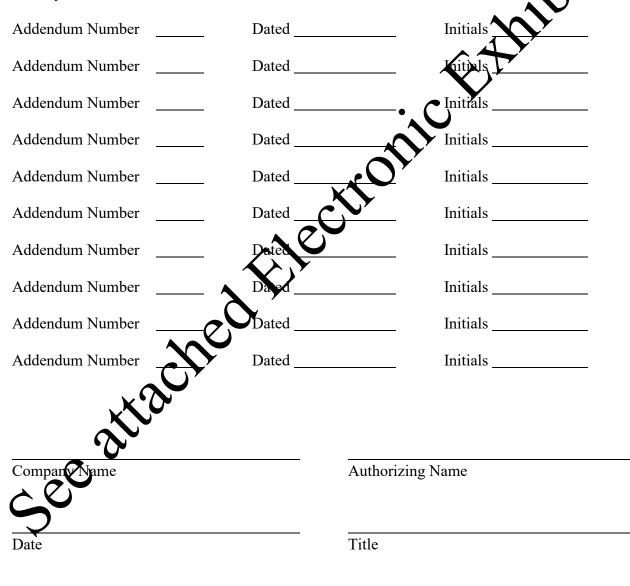
17. Pre-Bid Conference

<u>A non-mandatory but HIGHLY encouraged Pre-Bid Conference will be held April 13,</u> <u>2022, at 2:00 PM (AK Time)</u>, located at the office of the Capital Facilities Director, Suite 201 300 Airport Road, Valdez, Alaska. <u>A site visit will be offered to all in-person attendees</u> <u>directly after the pre-bid conference.</u>

18. Pre-Award Conference

Before the award of the contract a Pre-Award Conference may be held between the Engineer or Project Manager and the apparent low bidder.

The bidder acknowledges receipt of the following addenda and certifies that their contents have been considered in the preparation of this Bid. If there are no addendums please state NOVE above your name.



Signature

Addendum Acknowledgment

The bidder acknowledges receipt of the following addenda and certifies that their contents have been considered in the preparation of this Bid. If an addendum is issued after you have submitted your bid, you will need to come back to this form and update your Addendum Acknowledgment to reflect the new addendum.

Addendum Acknowledgment

Addendum 1 issued April 6, 2022

Initials *

MC

Addendum 2 issued April 21, 2022

Initials *

MC

Company Name *

Wolverine Summit JV

Authorizing Name *

Michelle Clapp

Date *

April 25, 2022

Title *

Vice President, JV Partner

Signature *

Michelle Clapp



City of Valdez Bid Schedule Page 1 of 3

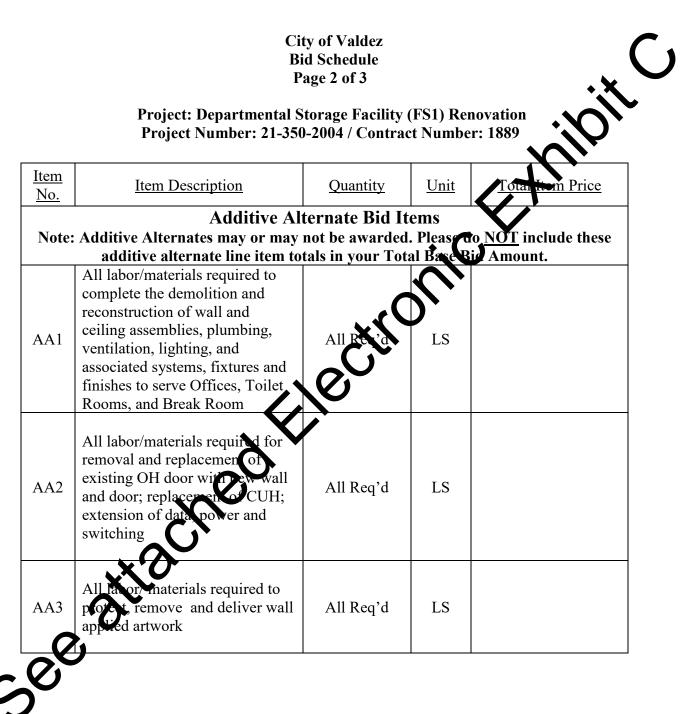
Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

<u>Item</u> <u>No.</u>	Item Description	Quantity	<u>Unit</u>	Total Ken Drice
	В	ase Bid		
1	Mobilization and demobilization	1	LS	
2	All labor/materials required for remediation of hazardous materials and repairs	All Reg	LS	
3	All labor/ materials required to complete base bid upgrades as indicated in the architectural drawings and specifications	All Req'd	LS	
4	Field engineering, supmittals, shop & record drawings, operating, instructions, O&M manuals, and close-out punchlist	1	LS	
Ş	Special Note: A 5%-8% Owner's Contingency will be added to the total contract amount, at the discretion of the City of Valdez, prior to the award of this contract.	1	LS	TBD by the City of Valdez Do <u>Not</u> Include Any Monetary Amount for this Line Item 5 in Your Total Base Bid Amount

Bid Schedule Page 1 of 3

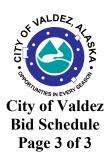
ltem No.	Item Description	Quantity	Unit	Unit Price	Extension
1	Mobilization and Demobilization	1.0000	LS	\$50,000.00	\$50,000.00
2	All labor/materials required for remediation of hazardous materials and repairs	1.0000	LS	\$327,000.00	\$327,000.00
3	All labor/ materials required to complete base bid upgrades as indicated in the architectural drawings and specifications	1.0000	LS	\$250,000.00	\$250,000.00
4	Field engineering, submittals, shop & record drawings, operating instructions, O&M manuals, and close-out punchlist	1.0000	LS	\$20,000.00	\$20,000.00
5	Special Note: A 5%-8% Owner's Contingency will be added to the total contract amount, at the discretion of the City of Valdez, prior to the award of this contract. TBD BY THE CITY OF VALDEZ - DO NOT INCLUDE ANY MONETARY AMOUNT FOR THIS LINE ITEM 5 IN YOUR TOTAL BASE BID AMOUNT	1.0000	LS	\$0.00	\$0.00
				Тс	otal: \$647,000.00





Alternate Item List Page 2 of 3

ltem No.	Item Description	Quantity U	Jnit	Unit Price	Extension
Alternat	e: Owner-agency may award independently from entire bid.				
	(Hidden Banner) Component is not included in bid total.				
	Alternates are not included in bid total.				
AA1	All labor/materials required to complete the demolition and reconstruction of wall and ceiling assemblies, plumbing, ventilation, lighting, and associated systems, fixtures and finishes to serve Offices, Toilet Rooms, and Break Room	1.0000	LS	\$407,000.00	\$407,000.00
AA2	All labor/materials required for removal and replacement of existing OH door with new wall and door; replacement of CUH; extension of data, power and switching	1.0000	LS	\$47,000.00	\$47,000.00
AA3	All labor/materials required to protect, remove and deliver wall applied artwork	1.0000	LS	\$3,000.00	\$3,000.00
				Alternate To	otal: \$457,000.00 Total:



Total Base Bid Amount:	
	Dollars Cent
(\$)	
business as partnership, a corporation incorporat this bid and agrees: to hold this bid c Instruction to Bidders, to accomplish	, hereinafter called Bidder, an individual doing , (strike out inapplicable words:) a ted in the State of Alaska, a joint venture, hereby submits open for forty five (45) days, to accept the provisions of the a the work in accordance with the contract documents, plans a unit price amount, asset forth in this bid schedule.
Respectfully submitted this	_ day of, 202
BIDDER:	
Company Name	Authorizing Name
Address	Title
City, State, Zh Code	Signature
Telephone Number	Email Address
N°	CORPORATE SEAL
Vederal I.D. or S.S.N.	ATTEST:
	Signature of Corporate Sec.

Print Name

Bid Schedule Page 3 of 3 - ORIGINAL WILL NEED TO BE SUBMITTED BY SUCCESSFUL BIDDER

I (*authorized name below*), herinafter called Bidder, an individual doing business as (*company name below*), (strike out inapplicable words in original document:) a partnership, a corporation incorporated in the State of Alaska, a joint venture, hereby submits this bid and agrees: to hold this bid open for forty five (45) days, to accept the provisions of the Instruction to Bidders, to accomplish the work in accordance with the contract documents, plans, specifications for the lump sum and unit price amounts as set forth in this bid schedule.

Company Name *

Wolverine Summit JV

Authorizing Name *

Michelle Clapp

Address *

869 Cottonwood

Date *

April 25, 2022

City, State, Zip Code *

Valdez, Alaska 99686

Title *

Vice President, JV Partner

Telephone Number *

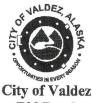
(907) 373-6572

Signature (typed) *

Michelle Clapp

Federal I.D. or S.S.N. *

86-3084605



Bid Bond

KNOW ALL MEN BY THERE PRESENTS, that we Wolverine Summit JV

PO Box 825, Valdez, AK 99686

(Insert full name and address or legal title of Contractor)

as Principal, hereinafter called the Principal, and

The Ohio Casualty Insurance Company

175 Berkeley Street, Boston, MA 02116

(Insert full name and address or legal title of Surety)

a corporation duly organized under the laws of the State of Alaska as surety, hereinafter called the Surety, are held and firmly bound unto

City of Valdez P.O. Box 307 Valdez, Alaska 99686

as Obligee, hereinafter called the Obligee, in the sum of

Five Percent (5%) of the Total Bid Amount------

Dollars (\$ 5%------),

For the payment of which sum well and truly to be made, the said Principal and the Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severely, firmly by these presents.

Whereas, the Principal has submitted a bid for

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with Obligee in accordance with terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this	28th	day or March	, 202 2
By: Un			
(Witness)			

Witness

Wolverin	e Summit JV	1	
(Principal) By:	chelle	(Seal)	
(Title) Mid	nelle Clapp,	Vice Preside It. JV Part P	r

The Ohio Casualty Insurance Company

(Surety) (Seal) Bv: (Title) Roxana Palacios, Attorney-in-Fact



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

> Liberty Mutual Insurance Company The Ohio Casualty Insurance Company West American Insurance Company

Certificate No: 8206550-969071

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire. that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Amber Engel; Deanna K. Nakashima; Debbie Lindstrom; Gail E. Tsuboi; Heather Cimuchowski; Holly E. Ulfers; Jamie Armfield; Kathleen M. Mitchell; Peggy A. Firth; Roxana Palacios; Scott Alderman

all of the city of Seattle state of WA each individually if there be more than one named, its true and lawful attorney-in-fact to make. execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 14th day of October 2021





West American Insurance Company By:

David M. Carey, Assistant Secretary

Liberty Mutual Insurance Company

The Ohio Casualty Insurance Company

State of PENNSYLVANIA SS County of MONTGOMERY

Attorney (POA) verification inquiries, or email HOSUR@libertymutual.com October , 2021 before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance On this 14th day of Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Sea Teresa Pastella, Notary Public Montgomery County My commission expires March 28, 2025 Commission number 1126044 Wember, Pennsylvania Association of Notaries

resa Pastella, Notary Public

nd/or Power of 610-832-8240 Power This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS: Section 12. Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety bond ar ase call (any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such For bon please (instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe. shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings. bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-infact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 28th day of March , 2022 .



INSUR 199'

By:

Kent luly

Renee C. Llewellyn, Assistant Secretary

Ъ

State of Alaska

Department of Commerce, Community, and Economic Development Division of Corporations, Business, and Professional Licensing

Regulation of Construction Contractors and Home Inspectors

Licensee: WOLVERINE SUPPLY, INC.

License Type: General Contractor With Residential Contractor Endorsement

Status: Active

Doing Business As: WOLVERINE SUPPLY INC

Liconco

Commissioner: Julie Anderson

Relationships

Designations

No designations found.

Relation Type	#	License Type	Owners/Entities	Name/DBA	No designat
Electrical Administrator Assignee	EADE1478	Electrical Administrator	Dagwood Shoemaker		
Residential Endorsement Assignee	RESR1175	Residential Contractor Endorsement	BILL VAN BUSKIRK		
Residential Endorsement Assignee	RESR2515	Residential Contractor Endorsement	BRUCE VAN BUSKIRK		

[-	Wallet Card
	State of Alaska Department of Commerce, Community, and Economic Development Division of Corporations, Business, and Professional Licensing Regulation of Construction Contractors and Home Inspectors
	WOLVERINE SUPPLY, INC.
	DBA: WOLVERINE SUPPLY INC
	As
	General Contractor With Residential Contractor Endorsement

Effective

WOLVERINE SUPPLY INC 5099 E BLUE LUPINE DR WASILLA, AK 99654-8419

License	
CONCALO	

Expires

Alaska Business License # 2128876

Alaska Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing PO Box 110806, Juneau, AK 99811-0806

This is to certify that

WOLVERINE SUMMIT

5099 E. BLUE LUPINE DRIVE, WASILLA, AK 99654

owned by

Summit Construction LLC; WOLVERINE SUPPLY, INC.

is licensed by the department to conduct business for the period

April 6, 2021 to December 31, 2022 for the following line(s) of business:

23 - Construction



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location. It is not transferable or assignable.

Julie Anderson Commissioner

This agreement is made on the _____ day of May, 2022, by and between the City of Valdez, Alaska, hereinafter called the Owner, acting through its Mayor, and Wolverine Summit JV doing business as a joint venture located in Valdez, Alaska, hereinafter called the Contractor.

The Contractor agrees to this Contract known as:

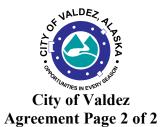
Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

Furthermore the Contractor agrees to accept as full and complete payment for all work to be done in this Contract for the lump sum and per unit prices as set forth in the Bid Form and Addendums in the Contract Documents for this project. The total amount of this Contract shall be: seven hundred fifty-two thousand dollars and zero cents (\$752,000). (This total represents the base bid of \$702,000 and Alternates AA1 - \$47,000 and AA2 - \$3,000)

The Contractor hereby agrees to commence work on this project within ten (10) working days after the date of the written Notice to Proceed and to complete all work in accordance with the contract documents and addendums within **one hundred ninety-five (195)** calendar days of the Notice to Proceed. Said contract documents are listed in the Table of Contents herein. All documents listed therein are by this reference made a part hereof.

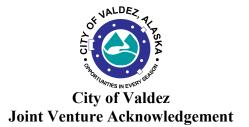
The Contractor further agrees to pay, as liquidated damages, the sum of Two Hundred dollars (\$ 200.00) for each calendar day in excess of the completion date specified in the written Notice to Proceed in which this project remains incomplete.

The Owner agrees to pay the Contractor for the performance of the Contract, subject to additions and deductions, as provided in the City of Valdez Standard Specifications Section 10 Standard General Provisions of this of this Contract, and to make payments on account thereof as provided in the City of Valdez Standard Specifications Section 10 Standard General Provisions and City of Valdez City Code.



IN WITNESS WHEREOF, the parties to this presence have executed this Contract in two (2) counterparts, each of which shall be deemed as original, in the year and day first mentioned above.

Wolverine Summit JV	City of Valdez, Alaska, Authorized
Signature	Sharon Scheidt, Mayor
Name	Date
Title	Attested:
Date	Sheri L. Pierce, MMC, City Clerk
Date	Date
Mailing Address	Recommended:
City, State, Zip Code	Mark Detter, City Manager
Federal I.D. or S.S.N.	Date
	Nathan Duval, Capital Facilities Director
Corporate Secretary	Date
	Approved as to Form: Brena, Bell & Walker, P.C.
Attest: Corporate Secretary	Jon S. Wakeland



(To be filled in when Contract is executed in behalf of a Joint Venture)

)

UNITED STATES OF AMERICA))SS.

STATE OF ALASKA

The foregoing instrument was acknowledged before me this ____ day of _____, 2022.

(Name)

(Title)

(Name of Joint Venture)

Notary Public

My Commission Expires: _____

(to be executed prior to award)

UNITED STATES OF AMERIC	CA)	
STATE OF ALASKA)SS.)	
I,	, of	, being duly
sworn, do depose and state:		

I, or the firm, association of corporation of which I am a member, a bidder on the Contract to be awarded, by the City of Valdez, Alaska, for the construction of that certain construction project designated as:

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

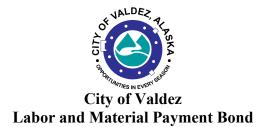
Located at Valdez, in the State of Alaska, have not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with such Contract.

Signature

Subscribed and sworn to this _____ day of _____, 2022.

Notary Public

My Commission Expires:



Know all men by these presents that:

(Insert full name and address or legal title of Contractor)

as Principal, hereinafter called Principal, and,

(Here insert full name and address or legal title of Surety)

as Surety, hereinafter called Surety, are held and firmly bound unto

City of Valdez P.O. Box 307 Valdez, Alaska 99686

as Obligee, hereinafter called Owner, for the use and benefit of claimants as herein below defined, in the amount of

Dollars (\$____), (Here insert a sum equal to the contract amount)

for the payment whereof Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS,

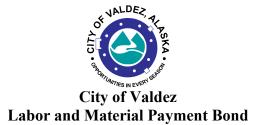
Principal has by written agreement dated _____, 2022, entered into a contract with Owner for

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004/ Contract Number: 1889

in accordance with Drawings and Specifications prepared by

WOLF ARCHITECTURE, INC. 625 Cobb Street, Ste. 200 Palmer, AK 99645

which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.



NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if Principal shall promptly make payment to all claimants as hereinafter defined, for all labor and material used or reasonably required for use in the performance of the Contract, then this obligation shall be void; otherwise it shall remain in full force and effect, subject, however, to the following conditions:

1. A claimant is defined as one having a direct contract with the Principal or with a Subcontractor of the Principal for labor, material, or both, used or reasonably required for use in the performance of the Contract, labor and material being construed to include that part of water, gas, power, light, heat, oil, gasoline, telephone service or rental of equipment directly applicable to the Contract.

2. The above named Principal and Surety hereby jointly and severally agree with the Owner that every claimant as herein defined, who has not been paid in full before the expirations of a period of ninety (90) days after the date on which the last of such claimant's work or labor was done or performed or materials were furnished by such claimant, may sue on this bond for the use of such claimant, prosecute the suit to final judgment for such sum or sums as may be justly due claimant, and have execution thereon. The Owner shall not be liable for the payment of any costs or expenses of any such suit.

3. No suit or action shall be commenced hereunder by any claimant:

a) Unless claimant, other than one having a direct contract with the Principal, shall have given written notice to any two of the following: the Principal, the Owner, or the Surety above named, within ninety (90) days after such claimant did or performed the last of the work or labor, or furnished the last of the materials for which said claim is made, stating with substantial accuracy the amount claimed and the name of the party to whom the materials are

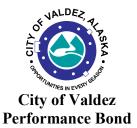
furnished, or for whom the work or labor was done or performed. Such notice shall be served by mailing the same by registered mail or certified mail, postage prepaid, in an envelope addressed to the Principal, Owner or Surety, at any place where an office is regularly maintained for the transaction of business. Or served in any manner in which legal process may be served in the state in which aforesaid project is located, save that such service need not be made by a public officer.

b) After the expiration of one (1) year following the date on which Principal ceased Work on said Contract, it being understood, however, that if any limitation embodied in this bond is prohibited by any law controlling the construction hereof such limitation shall be deemed to be amended so as to be equal to the minimum period of limitation permitted by such law.

c) Other than in a state court of competent jurisdiction in and for the county of other political subdivision of the state in which the Project, or any part thereof is situated, or in the United States District Court for the district in which the Project, or any part thereof, is situated, and not elsewhere.

4. The amount of this bond shall be reduced by and to the extent of any payment of payments made in good faith hereunder, inclusive of the payment by Surety or mechanic's liens which may be filed of record against said improvement, whether or not claim for the amount of such lien be presented under and against the bond

Signed and Sealed this	_, day of, 20	22
(Witness)	(Principal)	(Seal)
	(Title)	
(Witness)	(Surety)	(Seal)



KNOW ALL MEN BY THESE PRESENTS: that

(Here insert full name and address or legal title of contractor)

as Principal, hereinafter called Contractor, and,

(Here insert full name and address or legal title Surety)

as Surety, hereinafter called Surety, are held and firmly bound unto

City of Valdez P.O. Box 307 Valdez, AK 99686

as Obligee, hereinafter called Owner, in the amount of

Dollars (\$)

for the payment whereof Contractor and Surety bind themselves, their heirs, executor, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS,

Contractor has by written agreement dated ______, 2022, entered into a contract with Owner for

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

in accordance with Drawings and Specifications prepared by

WOLF ARCHITECTURE, INC. 625 Cobb Street, Ste. 200 Palmer, AK 99645

which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.



City of Valdez Performance Bond

Now, therefore the condition of this obligation is such that, if Contractor shall promptly and faithfully perform said Contract, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

The Surety hereby waives notice of any alteration or extension of time made by the Owner.

Whenever Contractor shall be, and declared by Owner to be in default under the Contract, the Owner having performed Owner's obligations thereunder, the Surety may promptly remedy the default, or shall promptly comply with one of the following:

- 1. Complete the Contract in accordance with its terms and conditions, or
- 2. Obtain a bid or bids for completing the Contract in accordance with its terms and conditions, and upon determination by Surety of the lowest responsible bidder, or, if the Owner elects, upon determination by the bidder, arrange for contract between such bidder and Owner, and make available as Work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety may be liable hereunder, the amount set forth in the first paragraph hereof. The term "balance of the contract price," as used in this paragraph, shall mean the total amount payable by Owner to contractor under the Contract and any amendments thereto, less the amount properly paid by Owner to Contractor.

Any suit under this bond must be instituted before the expiration of two (2) years from the date on which final payment under the Contract falls due.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the Owner named herein or the heirs, executors, administrators or successors of the Owner.

Signed and Sealed this _____ day of _____, 2022

(Witness)

(Principal)

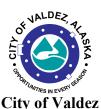
(Seal)

(Title)

(Surety)

(Seal)

(Title)



Contractor Certificate of Substantial Completion

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

CONTRACTOR:

This is to certify that I, _____, am a duly authorized official of the

said CONTRACTOR working in the capacity of ______, and in my

official capacity representing said CONTRACTOR do hereby certify as follows:

- 1. The work of the subject Contract above has been performed, and materials used and installed in accordance with and in conformity to, the Contract Drawings, Contract Specifications, City of Valdez Standard Specifications and Details.
- 2. The Contract work is now substantially complete in all parts and requirements.
- 3. I understand that neither the determination by the Engineer--Architect that the work is substantially complete nor the acceptance thereof by the Owner shall operate as a bar to claim against the Contractor under the terms of the guarantee provisions of the Contract Documents.
- 4. The work to which this Certificate applies has been properly inspected and that work is hereby declared to be substantially complete in accordance with the Contract Documents.
- 5. The date of Substantial Completion is the date upon which all guarantees and warranties begin.
- 6. The Owner accepts the Project or specified area as described under "REMARKS," of the Project as substantially complete and will assume full possession of the Project or specified area of the Project at ______(time) on ______day,____, 2022.

CONTRACTOR

CITY OF VALDEZ, OWNER

(Signature)

Capital Facilities Director

(Title)

Date

Date

REMARKS:_____



City of Valdez Contract Release Page 1 of 2

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

The undersigned,

for itself, its successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, from all actions, causes of actions, suits, controversies, claims, damages and demands of every kind and nature, mature or to mature in the future, for and by reason of any matter, thing or claim arising out of the following Contract:

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

The undersigned also intends hereby to discharge the City of Valdez from all liability for any and all damages or injuries presently undiscovered or unanticipated. The undersigned's intention hereby is to waive any right it may subsequently have to set aside this release under the doctrine of <u>Witt v. Watkins</u>, 579 P.2d 1065 (Alaska 1978).

The undersigned further agrees to defend, indemnify and hold harmless the City of Valdez against any claims, liens, or causes of action arising under or by virtue of this Contract, including, but not limited to, any claim that the undersigned, any successor in interest, assignee, trustee, administrator, subcontractor, supplier or laborer of the undersigned or any other person might make or claim that he could possibly make against the City of Valdez.

The undersigned certifies that he has not assigned any amounts payable under this Contract to anyone.

The undersigned hereby acknowledges receipt of the amount of <u>\$</u> as full and final payment in consideration for all services, materials and labors rendered in connection with this Contract.

The undersigned hereby declares that the terms of this RELEASE have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all claims, disputed or otherwise, arising under or by virtue of this Contract.



City of Valdez Contract Release Page 2 of 2

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

IN WITNESS WHEREOF, I have hereunto set my hand and seal this _____day of , 20 .

COMPANY

SIGNATURE

TITLE

STATE OF ALASKA))ss.

THIRD JUDICIAL DISTRICT

THIS IS TO CERTIFY that on this _____ day of ______, 2022, before me, Notary Public in and for the State of Alaska, personally appeared _______ of ______, known to me to be

WITNESS my hand and notarial seal this _____ day of _____, 2022.

Notary Public in and for Alaska My Commission expires: _____

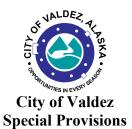
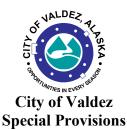


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SP 06	Coordination and Schedule	
SP 07	Site Preservation, Restoration, Cleanup and Environmental Reporting	
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SP 09	Order of Award of Alternative Bids	
SP 10	Payment	
SP 11	References to City of Valdez Standard Specifications (CVSS)	
SP 12	Construction Specifications	



Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

SP 01 General Statement

The Special Provisions set forth conditions and requirements unique to this Project and are supplemental to, and supersede, the City of Valdez "Standard Specifications and Standard Details."

SP 02 Scope of Work

Base Bid

The Scope of Work of the **Base Bid** of this Contract shall include providing all labor, materials, tools, equipment, transportation, supervision and facilities necessary to:

All labor/materials required for remediation of hazardous materials and repairs, completion of base bid upgrades as indicated in the architectural drawings and specifications.

Alternate Bid(s)

The Scope of Work of the Additive Alternate No. 1 Bid of this Contract shall include providing all labor, materials, tools, equipment, transportation, supervision and facilities necessary to:

<u>All labor/materials required to complete the demolition and reconstruction of wall and ceiling</u> <u>assemblies, plumbing, ventilation, lighting, and associated systems, fixtures and finishes to serve</u> <u>Offices, Toilet Rooms, and Break Room</u>

The Scope of Work of the Additive Alternate No. 2 Bid of this Contract shall include providing all labor, materials, tools, equipment, transportation, supervision and facilities necessary to:

All labor/materials required for removal and replacement of existing OH door with new wall and door; replacement of CUH; extension of data, power and switching

The Scope of Work of the Additive Alternate No. 3 Bid of this Contract shall include providing all labor, materials, tools, equipment, transportation, supervision and facilities necessary to:

All labor/ materials required to protect, remove and deliver wall applied artwork

SP 03 Time of Completion

All work shall be completed in accordance with the Contract Documents within 195 calendar days of the date of the written Notice to Proceed.



Liquidated damages will be assessed in the sum of <u>Two Hundred</u> dollars (\$ 200.00) for each calendar day after the completion date during which the Project remains incomplete.

Substantial Completion: Substantial Completion shall be defined as the stage in the progress of the work when the work is sufficiently complete in accordance with the Contract Documents so the Owner (City) can occupy or use the structure or that which is the subject of the contract, for its intended use.

SP 04 Special Site Conditions

The Contractor will be responsible for the disposal of all refuse and debris generated by the project. The City has, on a limited 'first come first served' basis, dumpsters for use free of charge on City projects if available.

Dump fees will be waived. The Contractor will be responsible for hauling demolished materials and construction waste out to the City Baler facility on South Sawmill Drive. The Baler is located approximately 5 miles out of town. Please contact the Baler ahead of time to make arrangements for the disposal of such materials. The Baler's number is 907-835-2356. The project name or contract number will be required on all Baler disposal forms and when calling to reserve or empty dumpsters.

Local building permit fees are waived. The Contractor will be responsible for obtaining local building permits before the NTP is issued. The Contractor will need to call the City Building Department at 907-834-3401.

Staging area will be located on-site and coordinated by the City's Project Manager and awarded contractor.

The Contractor will be responsible for moving furniture and other items necessary to complete the work.

The Contractor is responsible for setting up detours or barricades if their work is in a public area and will interfere with normal traffic flow.

The Contractor is responsible for providing their own portable toilet facilities during construction and are not to use the restrooms at City Hall.



SP 05 Hazardous Waste Generation

Every effort to minimize or eliminate the generations of hazardous waste shall be used by the Contractor in the performance of the work of this Contract. Unless there is no substitute, no hazardous material shall be used in the performance of the work of this Contract.

SP 06 Coordination and Schedule

The Contractor shall, within ten (10) working days of the date of the Notice to Proceed, submit to the Engineer a schedule as required in Section 10.5, Control of Work, Article 5.3. The schedule shall be updated every week. An updated schedule shall be submitted with each of the Contractor's Periodic Payment Requests. Failure to provide an updated schedule will be cause to withhold partial payment.

SP 07 Site Preservation, Restoration, Cleanup and Environmental Reporting

The Contractor shall be solely responsible for damage to public or private property caused by construction operations. The Contractor shall take all precautions necessary to control dust. The Contractor shall notify the City of any claims of damage, and shall clean and restore any property so damaged at the sole expense of the Contractor. All spills or releases of any hazardous substance shall be reported to the appropriate governmental agency as well as notice to the City. Contractor shall be responsible for all associated cleanup costs and fines.

At all times during the work, keep the premises clean and orderly. Upon completion of the work, repair all damage caused by equipment and leave the Project free of rubbish and excess materials of any kind.

SP 08 Permits

The Contractor shall obtain all licenses and permits that are required to do the work. A Building Permit will be required but there will be no charge, prior to the start of any work.

SP 09 Order of Award of Alternative Bids

Additive Alternate and/or Deductive Alternative Bids will be awarded, if any are awarded, in any order determined to be the most advantageous combination by the owner.



SP 10 Payment

Payments shall be in accordance with Section 10.07, Measurement and Payment of the CVSS. All invoices for payment must be submitted on a City of Valdez *Periodic Payment Request Form*. An electronic copy of this form (Excel Spreadsheet) will be made available for the Contractor's use.

Disbursement of money to a person, firm or corporation will be made only after all the various receivable accounts of the general government and any municipal utility or enterprise have been reviewed for outstanding balances owed, and the disbursement will be reduced by setting off the amount of any delinquent indebtedness due the city from such person, firm or corporation.

All contracts to which the city is a party which will or may involve the disbursement of city funds shall contain the following clause, or its substantial equivalent: "Disbursement of money by the City of Valdez hereunder shall subject to set-off pursuant to the provisions of the Valdez City Code." Such contracts include, but are not limited to, oral contracts, employment contracts, construction contracts, purchasing contracts and contracts of any municipal utility or enterprise, including customer's deposits.

SP 11 References to City of Valdez Standard Specifications (CVSS)

The City of Valdez Standard Specifications & Standard Details, Streets-Drainage-Utilities-Parks, dated April 2003, hereafter referred to as CVSS, are incorporated in and become a part of the Contract Documents for the work, The Standard Specifications are available for purchase from the Engineer's Office of the City of Valdez, P.O. Box 307, Valdez, Alaska 99686. All work under this Contract shall comply with the latest edition and addenda to all applicable codes, ordinances, and standards.

It shall be the responsibility of the Bidder to prepare his bid so all materials and/or different arrangements of connections or fittings shall harmoniously conform with the intent of the Contract Drawings, CVSS, and the Special Provisions.

SP 12 Construction Specifications

The Specifications for construction of the work of this Project are incorporated into the following pages and on the attached drawing titled "Valdez Departmental Storage Renovation". These drawings are by reference included herein.



Example 2 City of Valdez Modifications and Additions to the Standard Specifications

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

Table of Contents

Division	<u>Title</u>
Division 10	Standard General Provisions
Division 20	Earthworks
Division 30	Concrete
Division 40	Asphalt
Division 50	Sanitary Sewers Systems
Division 55	Storm Drains
Division 60	Water Systems
Division 65	Construction Surveys
Division 70	Miscellaneous
Division 75	Landscaping
Division 90	Details



City of Valdez Modifications and Additions to the Standard Specifications

Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

Division 10 Standard General Provisions

Article 7.5 Progress Payments

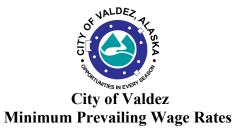
Add the following:

Any request for payments for work accomplished within the calendar fiscal year (January 1st to December 31st) must be received by the city no later than January 31st of the following year. Failure to provide a request for payment by Jan. 31st for work accomplished the previous year will delay payment. Failure to provide a request for payment by January 31st for work accomplished the previous year will be subject to a penalty. Penalty may be assessed at a minimum of \$1000 and up to 5% of the invoice not to exceed \$10,000.

Article 7.7 Final Payments

Add the following:

Any request for final payment for work accomplished within the calendar fiscal year (January 1st to December 31st) must be received by the city no later than January 31st of the following year. Failure to provide a request for final payment by January 31st for work accomplished the previous year will delay payment. Failure to provide a request for payment by January 31st for work accomplished the previous year will be subject to a penalty. Penalty may be assessed at a minimum of \$1000 and up to 5% of the invoice not to exceed \$10,000.



Project: Departmental Storage Facility (FS1) Renovation Project Number: 21-350-2004 / Contract Number: 1889

Minimum Prevailing Wage Rates and Title 36 Public Contracts Follows See attached Links:

> http://labor.state.ak.us/lss/pamp600.htm http://labor.alaska.gov/lss/forms/Pam400.pdf

In accordance with the requirements of AS 36.05.070 and AS 36.05.080, the following provisions are included where applicable:

(1) The Contractor or subcontractors of the Contractor shall pay all employees unconditionally and not less than once a week;

(2) wages may not be less than those stated in the advertised specifications, regardless of the contractual relationship between the Contractor or subcontractors and laborers, mechanics, or field surveyors;

(3) the scale of wages to be paid shall be posted by the Contractor in a prominent and easily accessible place at the site of the work;

(4) Owner shall withhold so much of the accrued payments as is necessary to pay to laborers, mechanics, or field surveyors employed by the Contractor or subcontractors the difference between

(A) the rates of wages required by the contract to be paid laborers, mechanics, or field surveyors on the work; and

(B) the rates of wages in fact received by laborers, mechanics, or field surveyors.

(5) If it is found that a laborer, mechanic, or field surveyor employed by the Contractor or subcontractor has been or is being paid a rate of wages less than the rate of wages required by the contract to be paid, the Owner may, by written notice to the Contractor, terminate the Contractor's right to proceed with the work or the part of the work for which there is a failure to pay the required wages and to prosecute the work to completion by contract or otherwise, and the Contractor and the Contractor's sureties are liable to Owner for excess costs for completing the work.

VALDEZ DEPARTMENTAL STORAGE RENOVATION VALDEZ AK CITY OF VALDEZ **INDEX OF DRAWINGS INDEX OF DRAWINGS INDEX OF DRAWINGS**

OWNER

CITY OF VALDEZ 212 CHENEGA STREET VALDEZ AK 99686 907-835-4560 NATHAN DUVAL

ARCHITECT

WOLF ARCHITECTURE, INC. 625 SOUTH COBB PALMER AK 99645 907-746-6670 GARY WOLF

ENVIRONMENTAL CONSULTANT EHS-ALASKA INC

11901 BUSINESS BLVD. STE 208 EAGLE RIVER AK 99577 907-694-1383 CHRIS OTTOSEN

ELECTRICAL ENGINEER

RSA ENGINEERS 670 W FIREWEED LN, #30 ANCHORAGE AK 99503 907-276-0521 CHANNING LILO

MECHANICAL ENGINEER RSA ENGINEERS 670 W FIREWEED L

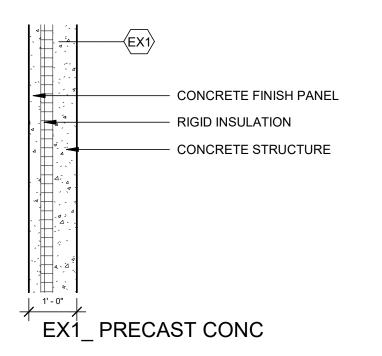
ANCHORAGE 907-276-0521 **BRIAN PEKAR**

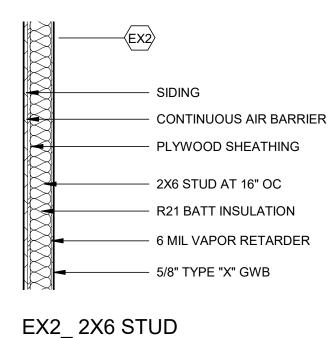
N, #30	AK 99503	

00 GEN	IERAL
G0.1	COVER & INDEX SHEET
G0.2	CODE PLAN
G0.3	ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
G0.4	PENETRATION AND FIRE RATED DETAILS
G0.5	TYPICAL ADA DETAILS
06 ARC	HITECTURAL
A1.1	FIRST FLOOR PLANDEMO
A1.2	SECOND FLOOR PLANDEMO/RENO
A1.3	FIRST FLOOR PLANRENO
A1.4	GARAGE BAYS 4-5, ALTERNATE 2
A1.5	ENLARGED PLANS-ALT 1
A1.6	FIRST FLOOR REFLECTED CEILING PLAN-DEMO
A1.7	SECOND FLOOR REFLECTED CEILING PLANDEMO
A1.8	FIRST FLOOR REFECTED CELING PLAN-RENO
A1.9	GARAGE BAY 4-5 ELEV/DETAILS, ALT. 2
A4.0	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS
A4.2	INTERIOR ELEVATIONS
A4.3	CASEWORK
45 O	

A5.0 ARCHITECTURAL DETAILS A6.0 SCHEDULES

EXTERIOR WALL ASSEMBLIES--EXISTING/NEW

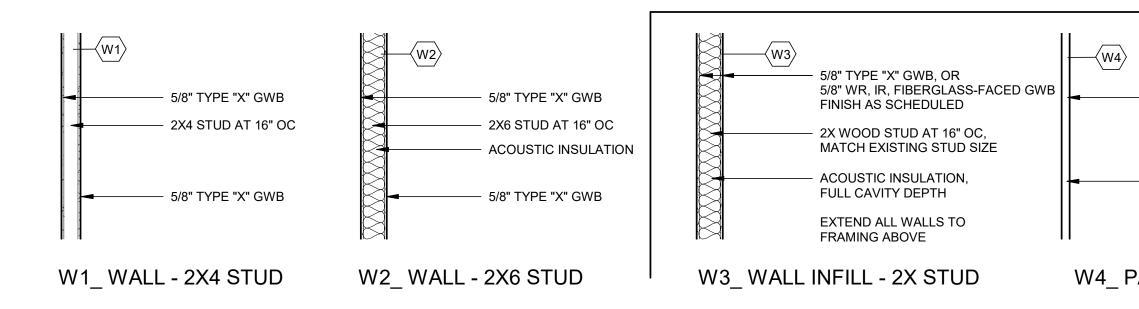




- 1. ALL INTERIOR STUD FRAMING AND FURRING IS 16" O.C. UNO.
- PROVIDE R-11 ACOUSTIC INSULATION IN ALL REMODELED INTERIOR FRAMED WALLS ACOUSTIC INSULATION SHOULD FILL DEPTH OF WALL CAVITY.
- 3. ALL GYPSUM BOARD TO BE TYPE "X" UNO. ALL GYPSUM BOARD IN "WET" ROOM WALLS (APPARATUS BAY, DECON ROOM) TO BE IMPACT, MOISTURE AND MOLD RESISTANT WITH FIBERGLASS MAT TYPE UNO. SEE SPEC.
- 4. ALL GYPSUM BOARD SURFACES TO BE PREPARED FOR PAINT GRADE FINISH UNO.
- 5. FOR FINISHES, REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS
- INDICATE CHANGES.

INTERIOR WALL ASSEMBLIES--EXISTING

NEW



07 STR	UCTURAL
S1.0	SLAB AND FRAMING PLANS
08 HAZ	ARDOUS MATERIALS
H0.1	LEGENDS AND QUANTITIES
H1.1	HAZARDS ABATEMENT FIRST FLOOR OVERALL
H1.2	HAZARDS ABATEMENTSECOND FLR
H1.3	HAZARDS ABATEMENT-DAY ROOM
H1.4	HAZARDS ABATEMENT-VEHICLE BAY
H1.5	HAZARDS ABATEMENT-SECOND FLOOR
H1.6	HAZARDS ABATEMENT-ADDITIVE ALT 1
H1.7	HAZARDS ABATEMENT-SECOND FLOOR EAST

EILING PLAN-DEMO CEILING PLAN--DEMO/RENO LING PLAN-RENO AILS, ALT. 2

10 MECHANICAL M0.1 LEGENDS AND ABBREVIATIONS

- M0.2 SCHEDULES
- M1.0 UNDERFLOOR PLUMBING DEMO PLAN
- M1.1 FIRST FLOOR PLUMBING DEMOLITION PLAN

H1.8 HAZARDS ABATEMENT-SECOND FLOOR RCP

H1.9 HAZARDS ABATEMENT-SECOND FLOOR RCP 2

M1.2 SECOND FLOOR DEMOLITION

- M1.3 FIRST FLOOR HVAC DEMOLITION PLAN
- M1.4 SECOND FLOOR HVAC DEMO PLAN M1.5 GARAGE BAYS MECH DEMO PLAN
- M2.0 UNDERFLOOR PLUMBING PLAN
- M2.1 FIRST FLOOR PLUMBING PLAN
- M2.2 SECOND FLOOR PLUMBING PLAN
- M3.1 FIRST FLOOR HVAC RENOVATION PLAN
- M3.2 SECOND FLOOR HVAC RENOVATION PLAN M3.3 GARAGE BAYS MECH PLAN
- 14 ELECTRICAL E0.1 LEGEND AND SCHEDULES
- E1.1 FIRST FLOOR DEMOLITION PLAN
- E1.2 FIRST FLOOR POWER & SIGNAL DEMOLITION PLAN
- E1.3 SECOND FLOOR ELECT DEMO PLAN
- E1.4 GARAGE BAYS DEMO PLAN
- E2.1 FIRST FLOOR LIGHTING REMODEL PLAN
- E3.1 POWER AND SIGNAL PLAN FIRST FLOOR E4.1 SECOND FLOOR REMODEL PLAN
- E4.2 GARAGE BAYS REMODEL PLAN
- E5.1 DETAILS AND LOAD CALCULATION
- E6.1 PANEL SCHEDULES

ASSEMBLIES--GENERAL NOTES

6. WALL ASSEMBLY REFLECTS GENERAL WALL CONDITION, DETAILS & ELEVATIONS WILL

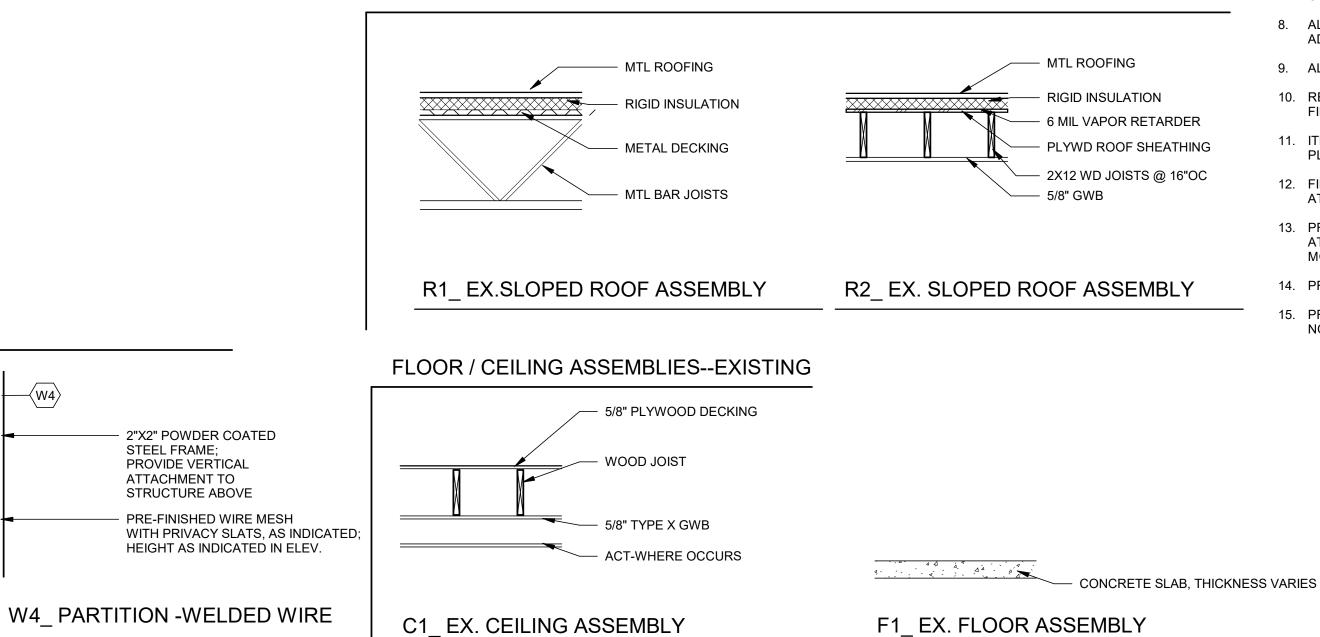
BID ALTERNATES

ALTERNATE ONE--ALL WORK ASSOCIATED WITH DEMOLITION, ABATEMENT AND RENOVATIONS EAST OF GRIDLINE "F"

ALTERNATE TWO--ALL WORK IN KEYPLAN AREA "B"

ALTERNATE THREE--PROTECT AND REMOVE BUILDING-APPLIED ARTWORK; REFRAME WALL, DELIVER TO OWNER

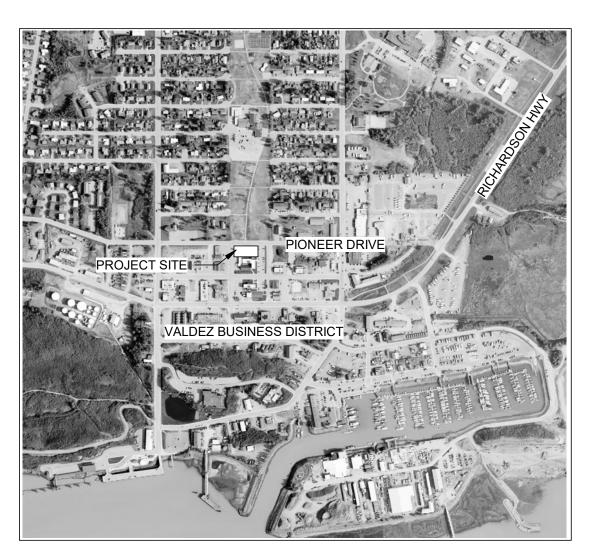
ROOF ASSEMBLIES--EXISTING



PROJECT INFORMATION

PROJECT NAME: VALDEZ DEPARTMENTAL STORAGE RENOVATION PROJECT ADDRESS: 212 CHENEGA AVENUE, VALDEZ, AK 99686 ARCHITECT: WOLF ARCHITECTURE, INC. CONTACT: GARY WOLF 625 SOUTH COBB PHONE 907-746-6670 PALMER AK 99645 FAX: 907-746-6680 DEPARTMENTAL STORAGE RENOVATION CITY OF VALDEZ CENTRAL BUS DIST

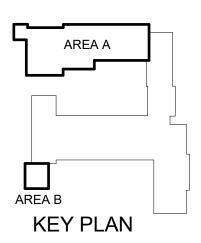
DESCRIPTION ZONING:

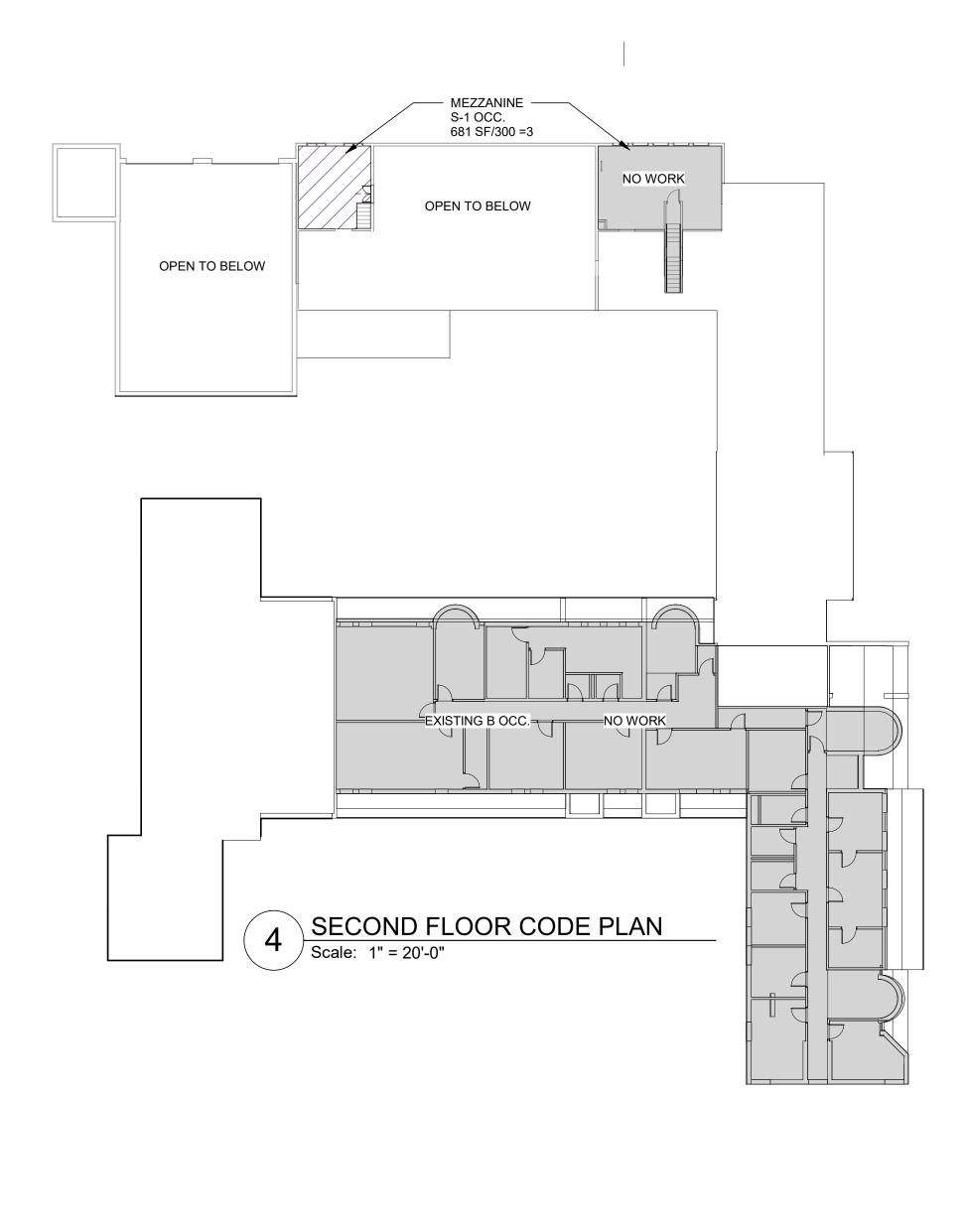


3-1-2022 CONSTRUCTION DRAWINGS

GENERAL NOTES

- INFORMATION TAKEN FROM OWNER-PROVIDED DRAWINGS AND NON-DESTRUCTIVE SITE OBSERVATIONS ONLY. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, EQUIPMENT DIMENSIONS AND ASSEMBLIES PRIOR TO START OF WORK.
- 2. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DRAWINGS, DIMENSIONS, SPECIFICATIONS AND SCHEDULES PRIOR TO PROCEEDING WITH ANY WORK OF FABRICATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY UNCERTAINTY OR DISCREPANCY.
- 3. DRAWINGS SHALL NOT BE SCALED.
- WHERE NOTES ON THE DRAWINGS INDICATE A CONDITION AT ONE LOCATION, WHETHER INDICATED AS TYPICAL OR NOT, THE NOTE SHALL APPLY TO ALL SIMILAR LOCATIONS UNO.
- 5. SEE SHEET A1.0 FOR SYMBOLS, & ABBREVIATIONS, ETC.
- 6. SEE CODE PLAN & DETAIL, SHEETS G0.4 FOR EXTENT OF RATED WALLS, CEILINGS & OPENINGS AS WELL AS CONSTRUCTION REQUIREMENTS.
- 7. DIMENSIONS ARE TYPICALLY TAKEN TO GRID LINE, CENTERLINE OF STUD WALL OR STRUCTURAL COLUMN @ FRAMED WALLS, UNLESS NOTED OTHERWISE OR INDICATED ON DETAILS.
- 8. ALL BUILDING SIGNAGE AND IDENTIFYING DEVICES TO COMPLY WITH THE REQUIREMENTS OF THE ADA (AMERICANS WITH DISABILITIES ACT).
- 9. ALL GYPSUM BOARD PRODUCTS TO BE TYPE 'X' GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 10. REFER TO ENLARGED PLANS FOR DIMENSIONS & NOTES. SEE ALSO DOOR/RELITE SCHEDULE AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 11. ITEMS BEYOND MATCH LINE ARE FOR REFERENCE ONLY. REFER TO THE APPROPRIATE PLAN SHEET FOR ACCURATE DRAWING INFORMATION.
- 12. FINISH FLOORING TO EXTEND TO WALLS BELOW ALL CASEWORK NOT PERMANENTLY ATTACHED TO THE FLOOR UNLESS NOTED OTHERWISE.
- 13. PROVIDE SOLID BLOCKING AT ALL CASEWORK AT TOP AND BOTTOM OF UPPERS AND AT TOP OF COUNTERS AND LOWER CABINETS. ALSO PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED/SUPPORTED ITEMS INCLUDING ALL TOILET ROOM ACCESSORIES, ACCESS PANELS, ETC.
- 14. PROVIDE FIRE EXTINGUISHER CABINET WHERE INDICATED AS "FEC" ON CODE PLANS.
- PROVIDE HANDRAILS ON BOTH SIDES OF ALL INTERIOR RAMPS & STAIRS INDICATED ON PLANS UNLESS NOTED OTHERWISE. HANDRAILS TO BE INSTALLED AS SHOW ON DETAILS IN X&X/A6.X.





FIRE STOPPING NOTES

ALL PENETRATIONS MADE THROUGH FIRE-RATED WALLS, CEILINGS AND FLOOR ASSEMBLIES, BOTH EMPTY HOLES AND HOLES ACCOMODATING SUCH ITEMS AS DUCTS. PIPES. CONDUIT. AND OTHER PENETRATING ITEMS SHALL BE FIRE- STOPPED. PENETRATIONS SHALL BE FIRE STOPPED TO RETAIN THE INTEGRITY OF THE TIME-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND GASES, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 07270 - FIRESTOPPING. MECHANICAL AND ELECTRICAL RELATED PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR MAKING THE PENETRATION - SEE MECHANICAL AND ELECTRICAL.

CODE PLAN GENERAL NOTES

- 1. SEE MAIN FLOOR PLAN FOR DIMENSIONS, WALL TYPE REFERENCES AND FIRE EXTINGUISHER LOCATIONS.
- 2. SEE DOOR AND RELITE SCHEDULES FOR DOOR HARDWARE AND OTHER FIRE RATING REQUIREMENTS FOR
- 3. SEE ELECTRICAL FOR EXIT SIGNS AND EMERGENCY EGRESS LIGHT FIXTURES.
- 4. ARCHITECT SHALL REVIEW ALL DEFERRED SUBMITTALS AND VERIFY COMPLIANCE WITH THE DESIGN CONCEPT AND CODE REQUIREMENTS RELATING TO:
 - A. INSTALLATION DETAILS OF MEMBRANE AND THROUGH-PENETRATION FIRE STOPS, AND FIRE-RESISTIVE JOINT SYSTEMS.
- 6. A PROGRAM OF PROTECTION FOR ALL THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF FIRE AND SMOKE RATED ASSEMBLIES SHALL BE REQUIRED. THIS PROGRAM SHALL APPLY AN 'F' RATING EQUAL TO THE FIRE RESISTIVE RATING OF THE COMPONENT BEING PENETRATED AS DEMONSTRATED BY THE MANUFACTURER OF THE PENETRATION PROTECTION SYSTEM THROUGH RECOGNIZED TESTING. ALL PENETRATIONS THROUGH ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED IN THIS MANNER.
- 7. AT JOINTS BETWEEN FIRE RESISTIVE ASSEMBLIES A FIRE RESISTIVE JOINT SYSTEM SHALL BE PROVIDED. SUBMIT MANUFACTURER'S LITERATURE DESCRIBING FIRE RATING TESTING AND SPECIFIC DETAIL REQUIREMENTS FOR THE INSTALLATION OF THE SYSTEM. IF REQUIRED TO COMPLY WITH MANUFACTURER'S REQUIREMENTS, SURROUNDING CONSTRUCTION SHALL BE MODIFIED, ONLY WITH PRIOR APPROVAL OF THE ARCHITECT, TO ALLOW FOR THE INSTALLATION OF THE PROPOSED SYSTEM.
- 8. INTERIOR WALL AND CEILING FINISHES SHALL CONFORM TO IBC SECTION 803.5 AND TABLE 803.5 FOR FLAME SPREAD REQUIREMENTS.

3. FIXTURES PRO

DOORS AND RELITES.



				2012 INT 2012 INT 2012 NFF 1997 UNI	ERNATION/ ERNATION/ PA STANDA FORM PLU TIONAL ELE
	NOTE: N	O CH	IANGE IN (OCCUPAN	ICY OR EXIT
	OCCUPANCY GROUP (AREA OF WORK):				
	STORAG			S-1 B, INCIDI	ENTAL USE
			ION TYPE: SPRINKLI		NON-SPRIN
	SEPARA	TION	OF OCCU	JPANCIES:	
		NO	N-SEPARA	TED OCC	UPANCIES
	BUILDIN	ALL	ight: .owable - fual	- B OCC	
			OR AREA: LOOR:		
 2HR OCCUPANCY SEPARATION 		S1 B	STORAG BUSINES		4,822 SF 2,862 SF
	_	тот	TAL AREA		7,684 SF
	ALLOWA	BLE	FLOOR AF	REA:	

S1/B OCCUPANY: ACTUAL AREA 8,365 SF < ALLOWABLE AREA 9,000 SF

FIRE-RATED ASSEMBLIES: STRUCTURAL FRAME

EXTERIOR BEARING WALLS

INTERIOR BEARING WALLS

FLOOR/CEILING

ROOF/CEILING FIRE BARRIERS

FIRE PARTITIONS

DOORS

SMOKE PARTITIONS

EXISTING SPRINKLER SYSTEM ARE ANTICIPATED.

107.3..1

Р	LUMBING FIXTUR	E CALCULATIO	NS				
BASED ON 1997 UNIFORM PLUMBING CODE AND A							
1. <u>OCCUPANCY:</u> FIRST FLOOR GROUP S-1/B STORAGE (5000SF/OCC) OFFICE/CLINICS (200 SF/OCC)	<u>AREA</u> 4,822 SF <u>785 SF</u> 5,607 SF	OCCUPANT LOA 1 <u>3</u> 4	<u>ND:</u>				••• ••••
MEZZANINE GROUP S-1 STORAGE (5000SF/OCC)	681 SF	<u>1</u> 5 (3 EACH GEND	DER)			##	EXIT FROM ROO ACCUMULATED INDICATES EXIT
2. <u>FIXTURES REQUIRED:</u> <u>WC-MALE</u> 1	URINAL-MALE -	<u>LAVS-MALE</u> 1	<u>WC-FEMALE</u> 1	<u>LAVS-FEMALE</u> 1	DRINK FOUNT -		WORK LIMITS
							AREA OF NO W
3. <u>FIXTURES PROVIDED:</u> <u>WC-MALE</u> 1	<u>URINAL-MALE</u> 1	<u>LAVS-MALE</u> 1	<u>WC-FEMALE</u> 1	<u>LAVS-FEMALE</u> 1	<u>DRINK FOUNT</u> 1	FEC	FIRE EXTINGUIS
PLUMBING FIXTURE COUNT MEETS AND EXCEEDS	THE REQUIRED PLUM	BING FIXTURES.					

CONSTRUCTION TYPE II-B

1010

EXIST. GARAGE

TYPE II-B

CONSTRUCTION TYPE V-B

EXISTING I-3 OCC.

FIRST FLOOR CODE PLAN

Scale: 1" = 20'-0"

3

EXIST S-1 OCC.

17 4822 SF/300=17

11+18

EXIST B OCC

FEC

🎇 758 SF/100=8

🔶 Г

EXISTING B OCC.

EXISTING B OCC. 2104 SF/100=22

二 二

NO WORK

μ,

BUILDING CODE ANALYSIS

GOVERNING CODES: 2012 INTERNATIONAL BUILDING CODE (AK AMMENDMENTS) 2012 ICC/ANSI A117.1 (AK AMMENDMENTS) 2012 INTERNATIONAL MECHANICAL CODE (AK AMMENDMENTS) ERNATIONAL FUEL AND GAS CODE (AK AMMENDMENTS) ERNATIONAL FIRE CODE (AK AMMENDMENTS) PA STANDARD 13 & 72 FIRE PROTECTION FORM PLUMBING CODE (AK AMMENDMENTS) TIONAL ELECTRICAL CODE (AK AMMENDMENTS)

> NCY OR EXITING; AREA OF WORK IN EXISTING BUILDING, MAINTAINING OCCUPANCY TYPES S-1, B WORK):

ENTAL USE

NON-SPRINKLERED (I-3 AND B OCCUPANCIES SOUTH OF FIRE AREA

2 STORIES, 40'-0" 2 STORIES, 23'-0"

MEZZANINE:

S1 OCCUPANCY: 681 SF

TOTAL AREA: 681 SF

9,000 SF

RATING:	ASSEMBLY:
0-HR	N/A
0-HR	N/A
0 MIN	N/A
NR	CORRIDORS, STAIR ENCLOSURE, MECHANICAL ROOM

NOTES: BUILDING IS EQUIPPED WITH AN EXISTING FIRE DETECTION, SUPPRESSION AND ALARM SYSTEM. FIRE DETECTION AND ALARM MODIFICATIONS FOR THE RENOVATIONS WILL BE PROVIDED DESIGN-BUILD BY CONTRACTOR. NO CHANGES TO

CONTRACTOR TO PROVIDE DEFERRED SUBMITTAL FOR EXISTING FIRE ALARM SYSTEM MODIFICATION, PER IBC 2012, SECTION

PLAN LEGEND

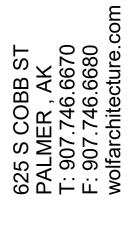
• -	2 HR WALLS; 60 MINUTE OPENINGS; FIRE AREA SEPARATION
_	1 HR WALLS; 60 MINUTE OPENINGS OCCUPANCY SEPARATION
•••	1 HR WALLS; 20 MINUTE OPENINGS OCCUPANCY SEPARATION

ROOMS. NUMBER INDICATES THE CALCULATED ED LOAD AT THAT ROOM OR BUILDING EXIT. ARROW EXIT DIRECTION.

WORK

UISHER CABINET; 2A-10BC







SHEET CONTENTS

CODE PLAN



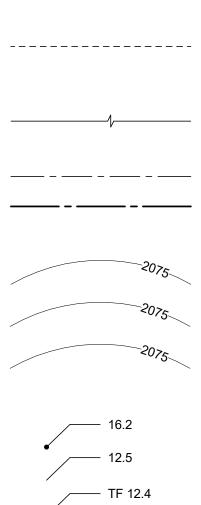
ARCHITECTURAL MATERIALS ARCHITECTURAL MATERIALS DETAIL INDICATIONS $\begin{bmatrix} \mathbf{0} \end{bmatrix}$ ACOUSTIC TILE OR BOARD $\langle 0 \rangle$ ASPHALT CONCRETE PAVIN GRID LINE BRICK DOOR IDENTIFICATION R123A RELITE IDENTIFICATION CONCRETE Α WINDOW TYPE 4 4 4 4 PRECAST CONCRETE $\langle 1 \rangle$ LOUVER TYPE CONCRETE MASONRY UNIT \sim REVISION EARTH / FINISH GRADE <u>SEE A3.1</u> MATCH LINE GLASS ____ Shaded area is side considered RAAAI GRAVEL WORK POINT, DATUM POINT, • CONTROL POINT GYPSUM BOARD DETAIL INSULATION, BATT Upper mark denotes drawing number Lower mark denotes sheet INSULATION, RIGID A5.1 MORTAR, PLASTER, SAND MDF PARTIAL BUILDING SECTION /// /// PLYWOOD $\overline{}$ WOOD, FINISH BUILDING CROSS SECTION WOOD FRAMING \sim Continuous member

⁄1À Α 1D A7.1 **∖1Ç∕**

Room name (12345) \bigcirc

____A

<123456>



------ TW 17.33 — TC 12.42 _____ TP 11.92

WALL TYPE

INTERIOR ELEVATION

arrow

Elevation number denoted in

Sheet number denoted in box

ROOM IDENTIFICATION

CODED NOTE

EQUIPMENT IDENTIFICATION

DASHED LINE Used to denote items hidden, overhead, not in contract (NIC), or to be removed

BREAK LINE Material to continue

CENTER LINE, GRID LINES PROPERTY LINE

EXISTING CONTOUR, DISTURBED NEW CONTOUR

EXISTING CONTOUR, UNCHANGED

NEW FINISH GRADE EXISTING GRADE

TOP OF FOOTING

TOP OF WALL

TOP OF CURB TOP OF PAVEMENT

IRAL MATERIALS		ABBREVIATIONS
	Ć.	ANGLE
		CENTERLINE
	# &	POUND OR NUMBER AND
ACOUSTIC TILE OR BOARD	∝ @	AND
ASPHALT CONCRETE PAVING	° ±	DEGREE PLUS / MINUS
ROOFING	Ø	DIAMETER
	A/C	AIR CONDITIONING
BRICK	AB	ANCHOR BOLT
	AC ACOUS	ASPHALT CONCRETE ACOUSTICAL
CONCRETE	ACCOUS	AREA DRAIN
CONCRETE	ADDL	ADDITIONAL
	ADJ	ADJUSTABLE
PRECAST CONCRETE	ADJT	
	AFF AGGR	ABOVE FINISHED FLOOR AGGREGATE
	AJ	ACCENT JOINT
CONCRETE MASONRY UNIT	AL	ALUMINUM
	ALT	ALTERNATE
EARTH / FINISH GRADE	ANC	ANCHOR(AGE)
	APC APPD	ACOUSTICAL PANEL CEILING APPROVED
	APPROX	APPROXIMATE
GLASS	ARCH	ARCHITECTURAL
	ASB	ASBESTOS
GRAVEL	ASPH	ASPHALT
	AUTO AWP	AUTOMATIC ACOUSTICAL WALL PANEL
GYPSUM BOARD	BD	BOARD
	BET	BETWEEN
INSULATION, BATT	BITUM	BITUMINOUS
INOULATION, DATI	BLDG	BUILDING
INSULATION, RIGID	BLK BLKG	BLOCK BLOCKING
INSULATION, RIGID	BM	BEAM
	BOF	BOTTOM OF FRAME
MORTAR, PLASTER, SAND	BOM	BOTTOM OF MASONRY
	BOTT BRG	BOTTOM BEARING
	BSMT	BASEMENT
MDF	BUR	BUILT UP ROOF
PLYWOOD	С	COURSES
12111000	CAB	CABINET
	CB	CATCH BASIN, CHALKBOARD
WOOD, FINISH	CC CEM	CUBICLE CURTAIN & TRACK CEMENT
	CER	CERAMIC
WOOD FRAMING	CG	CORNER GUARD
Continuous member	CI	CAST IRON
WOOD FRAMING	CIP CJ	CAST-IN-PLACE CONCRETE CONTROL JOINT
Interrupted member	CLG	CEILING
	CLKG	CAULKING
	CLO	CLOSET
	CLR	CLEAR, COLOR
STUD WALL	CMU CNTR	CONCRETE MASONRY UNIT COUNTER
BRICK	CO	CLEANOUT
DINON	COL	COLUMN
CONCRETE MASONRY UNIT	COMBO	COMBINATION TPD, SNR, & SCD
	COMP CONC	COMPOSITION, COMPOSITE CONCRETE
CONCRETE	CONC	CONCRETE
	CONST	CONSTRUCTION
	CONT	CONTINUOUS
	CONTR	CONTRACTOR
	COORD	COORDINATE

COORD COORDINATE

CORRIDOR

CERAMIC TILE

CARPET

CORR CPT

СТ

PLAN INDICATIONS

	ABBREVIATIONS
CTR	CENTER
CW	CURTAIN WALL
D	DEEP, DEPTH
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPOSAL
DIV	DIVISION
DN	DOWN
DP	DAMPPROOF(ING)
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG	DRAWING
DWR	DRAWER
E EA EHD EJ EL ELEC ELEV EM EMB EMER ENCL EP EQ EQUIP EW EWC EXC EXH EXPO EXT	EAST EACH ELECTRIC HAND/ HAIR DRYER EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENTRY MAT ENAMELIZED MARKING BOARD EMERGENCY ENCLOSURE ELECTRICAL PANELBOARD, EPOXY PAINT EQUAL EQUIPMENT EYEWASH ELECTRIC WATER COOLER EXCAVATE EXHAUST EXISTING EXPANSION EXPOSED EXTERIOR
FA	FIRE ALARM
FAB	FABRICATE
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET (RECESSED)
FEC-S	FIRE EXTINGUISHER CABINET (RECESSED)
FF	FIRE EXTINGUISHER CABINET
FFL	(SEMI-RECESSED)
FHC	FACTORY FINISHED
FIN	FINISHED FLOOR LINE
FLASH	FIRE HOSE CABINET
FLASH	FINISH
FLASH	FLASHING
FLASH	FLOOR, FLOORING
FLASH	FLUORESCENT
FLOOR	FACE OF CONCRETE
FOG	FACE OF FINISH
FOG	FACE OF FINISH
FOS	FACE OF STUDS
FOSH	FACE OF SHEATHING
FP	FIREPROOF
FR	FIRE RESISTANT
FRMG	FRAMING
FRP	FIBER REINFORCED PLASTIC
FRTW	FIRE RETARDANT TREATED WOOD
FS	FLOOR SINK

ABBREVIATIONS

_____ FT

FT	FOOT, FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
FWC	FABRIC WALL COVERING
	GAUGE GALVANIZED GRAB BAR GENERAL GALVANIZED IRON GLASS GLUE LAMINATED BEAM GLAZING GLAZED MASONRY UNIT GROUND GRADE GYPSUM WALL BOARD GYPSUM BOARD (SCHEDULES ONLY) GYPSUM BOARD
HSS HT HTG HVAC	HIGH HOSE BIB HOLLOW CORE, HANDICAP (ACCESSIBLE) HEAD HARDWARE HARDWOOD HORIZONTAL HOLLOW STEEL SECTION HEIGHT HEATING HEATING/ VENTILATING/ AIR CONDITIONING HOT WATER HEATER (TANK)
I/S	INSIDE
ID	INSIDE DIAMETER (DIM)
INCL	INCLUDE
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INTERCOM	INTERCOMMUNICATION
IR	IMPACT RESISTANT
JAN	JANITOR
JST	JOIST
JT	JOINT
KIT	KITCHEN
L	LENGTH, LONG
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
LMS	LIQUID MARKING SURFACE
LN	LINOLEUM
LT	LIGHT, LEFT
LV	LOUVER
MACH	MACHINE
MATL	MATERIAL
MAX	MAXIMUM
MB	MARKING BOARD
MBR	MEMBER
MC	MEDICINE CABINET
MCSP	MINERAL COMPOSITE SCULPTURAL PANEL
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE

ABBREVIATIONS

MEZZANINE MANUFACTURER MANHOLE, MOP HOLDER MINIMUM MIRROR MIRROR W/ SHELF MISCELLANEOUS MASONRY OPENING MOUNT(ED) METAL MULLION	
NORTH NATURAL NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	
OUTSIDE OVERALL OBSCURE ON CENTER OCCUPANT, OCCUPANCY OUTSIDE DIAMETER (DIM) OWNER FURNISHED CONTRACTOR INSTALLED OFFICE OWNER FURNISHED OWNER INSTALLE OVERHEAD OVERHEAD OVERHEAD OVERHEAD OOR OPENING OPPOSITE ORIGINAL	D
PARALLEL PEG BOARD PRECAST PORTLAND CEMENT CONCRETE PAPER CUP DISPENSER PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL POSITIVE PAIR PREFABRICATE(D) PREFINISH(ED) PROJECT PROJECT PROJECTON SCREEN POINT, PAINT PAPER TOWEL DISPENSER COMBINATION PAPER TOWEL DISPENS & RECEPTACLE PARTITION PAPER TOWEL RECEPTACLE PAVEMENT PLASTIC WALL PROTECTION	EER
QUARRY TILE	
RISER, RADIUS CLOSET ROD & SHELF RESILIENT ATHLETIC FLOORING RUBBER BASE REFLECTED CEILING PLAN ROOF DRAIN ROOF DRAIN, OVERFLOW REINFORCING BAR RECEIVED REFERENCE REFLECTED	

REFR REINF REQD	REFRIGERATOR REINFORCE(D)(ING) REQUIRED
RESIL	RESILIENT
RF RFT	ROOF RESILIENT FLOORING TILE
RH	ROBE HOOK
RM RO	ROOM ROUGH OPENING
RSD	RECESSED SOAP DISPENSER
RST	RUBBER STAIR TREAD
RT RWL	RIGHT RAIN WATER LEADER
S	SOUTH
SC SCD	SOLID CORE SEAT COVER DISPENSER
SCHED	SCHEDULE
SD SDG	SOAP DISPENSER SIDING
SECT	SECTION
SHR SHT	SHOWER SHEET
SHTG	SHEETING / SHEATHING
SIM SLR	SIMILAR SEALER
SND	SANITARY NAPKIN DISPENSER
SNR SPEC	SANITARY NAPKIN RECEPTACLE SPECIFICATION
SQ	SQUARE
SS SSK	SOLID SURFACE SERVICE SINK
SST	STAINLESS STEEL
STD STL	STANDARD STEEL
STN	STAIN
STOR STRFT	STORAGE STOREFRONT
STRUCT	
SUB	SUBSTITUTE
SUSP SV	SUSPENDED SHEET VINYL
SWC SYM	SANITARY WALL COVERING
SYS	SYMMETRICAL SYSTEM
T	TREAD, TEE
TB TC	TOWEL BAR, TACK BOARD TOP OF CURB
TEL	TELEPHONE
TEMP TERR	TEMPORARY TERRAZZO
TF	TOP OF FOOTING
THK THRU	THICK THROUGH
TOF	
TOM TP	TOP OF MASONRY TOP OF PAVEMENT
TPD	
TR TS	TOWEL RACK TUBE STEEL
TV	
TVB TW	TELEVISION BRACKET TOP OF WALL
TYP	TYPICAL
UNFIN UNO	UNFINISHED UNLESS NOTED OTHERWISE
UPT	UNGLAZED PORCELAIN TILE
UR USK	URINAL UTILITY SINK
VB	VAPOR BARRIER
VCT VENT	VINYL COMPOSITION TILE VENTILATE
VER	VERIFY
VERT VEST	VERTICAL VESTIBULE
VOL	VOLUME
VRB VTR	VENTILATING RUBBER BASE VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	WEST, WIDE, WIDTH
W/ W/D	WITH WASHER/DRYER
W/O	WITHOUT
WC WD	WATER CLOSET WOOD
WDW	WINDOW
WH WP	WALL HUNG WATERPROOF, WALL PADS
WPTL	WOOD PRESERVATIVE TREATED LUMBER
WR WS	WATER RESISTANT WEATHER STRIPPING
WSCT	WAINSCOT
WT WTR	WEIGHT WATER
VV IIN	

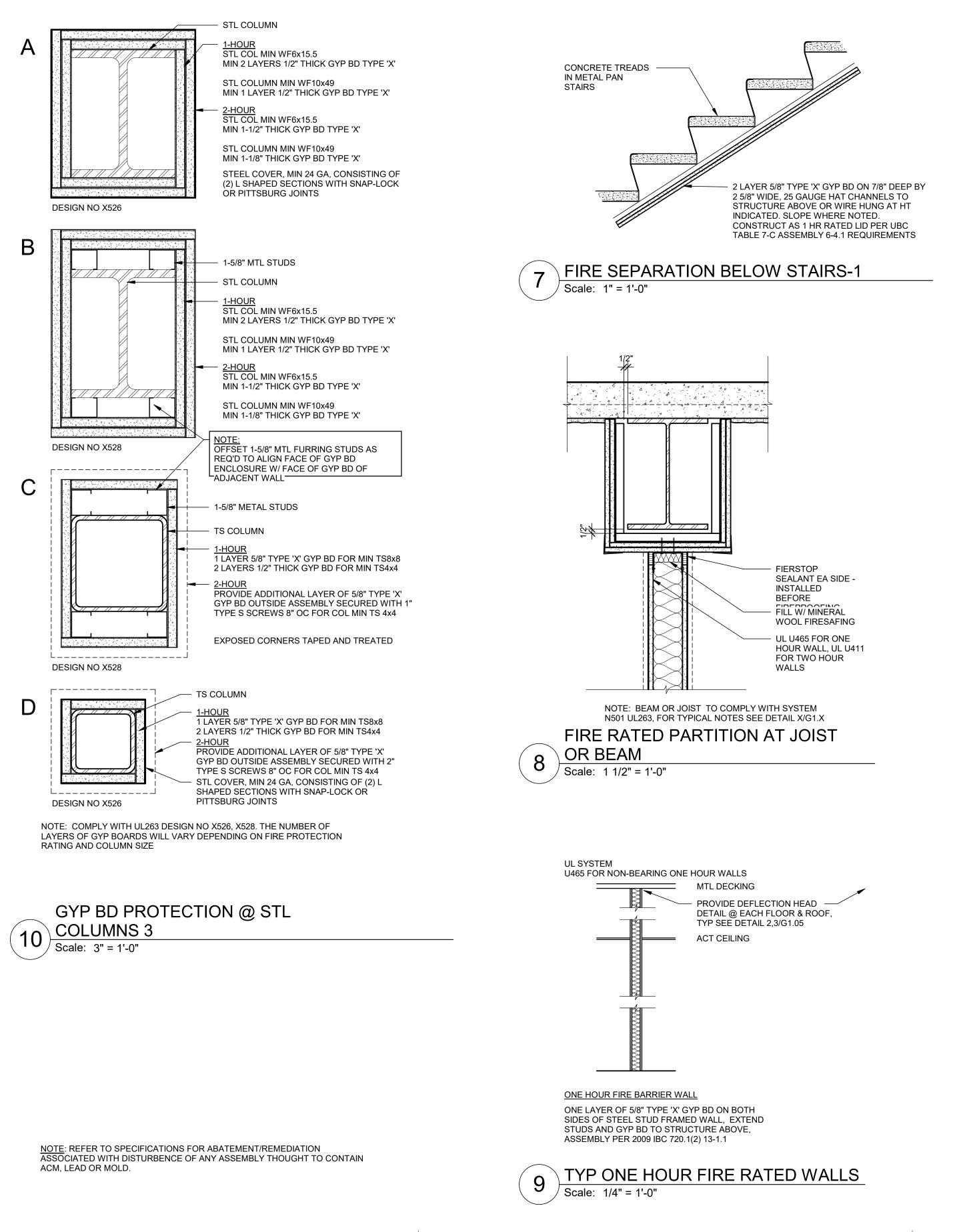
ABBREVIATIONS

	DRAWN JC		CHECKED GW	DATE 3-1-2022		FULL SIZE DRAWINGS: 22" x 34"		
	 VALUEZ DEPARTIVIENTAL OLORAGE RENOVATION					212 CHENEGA AVENUE, VALDEZ, AK 99686		
C OF A			Card N' L'	원 · 3-1-2022	CARY S. WOLF WITH		HOLESSION	
		PALMER, AK	T: 907.746.6670	E ONT 746 6680		Wolfarchitecture.com		

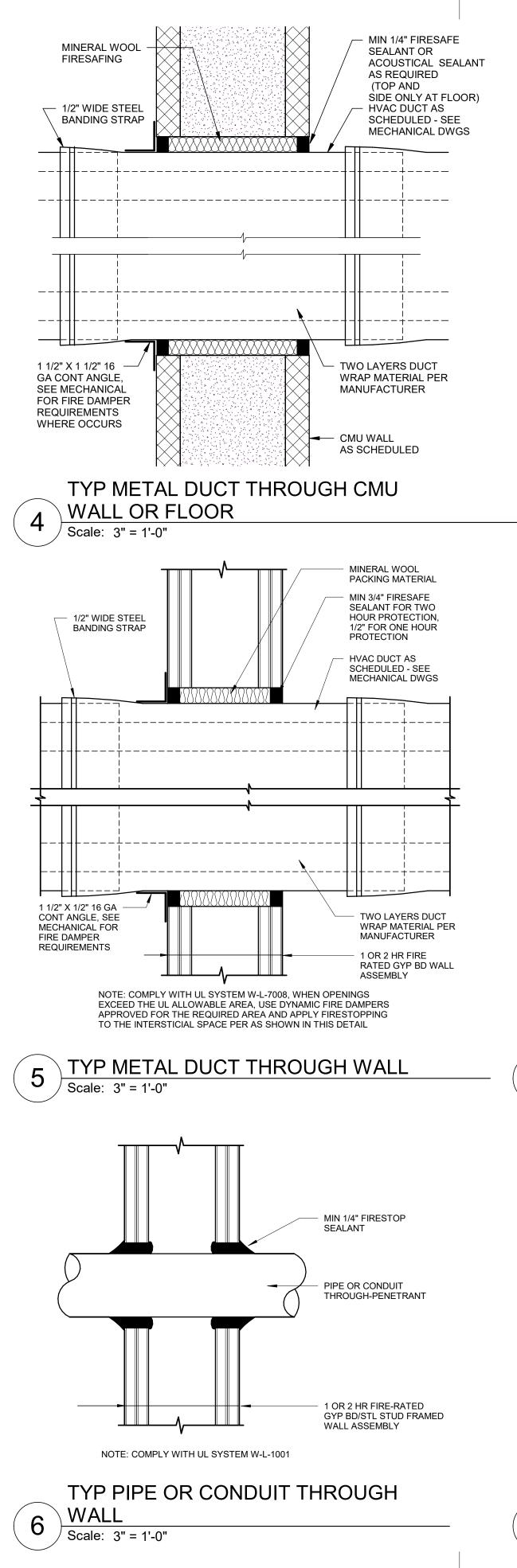


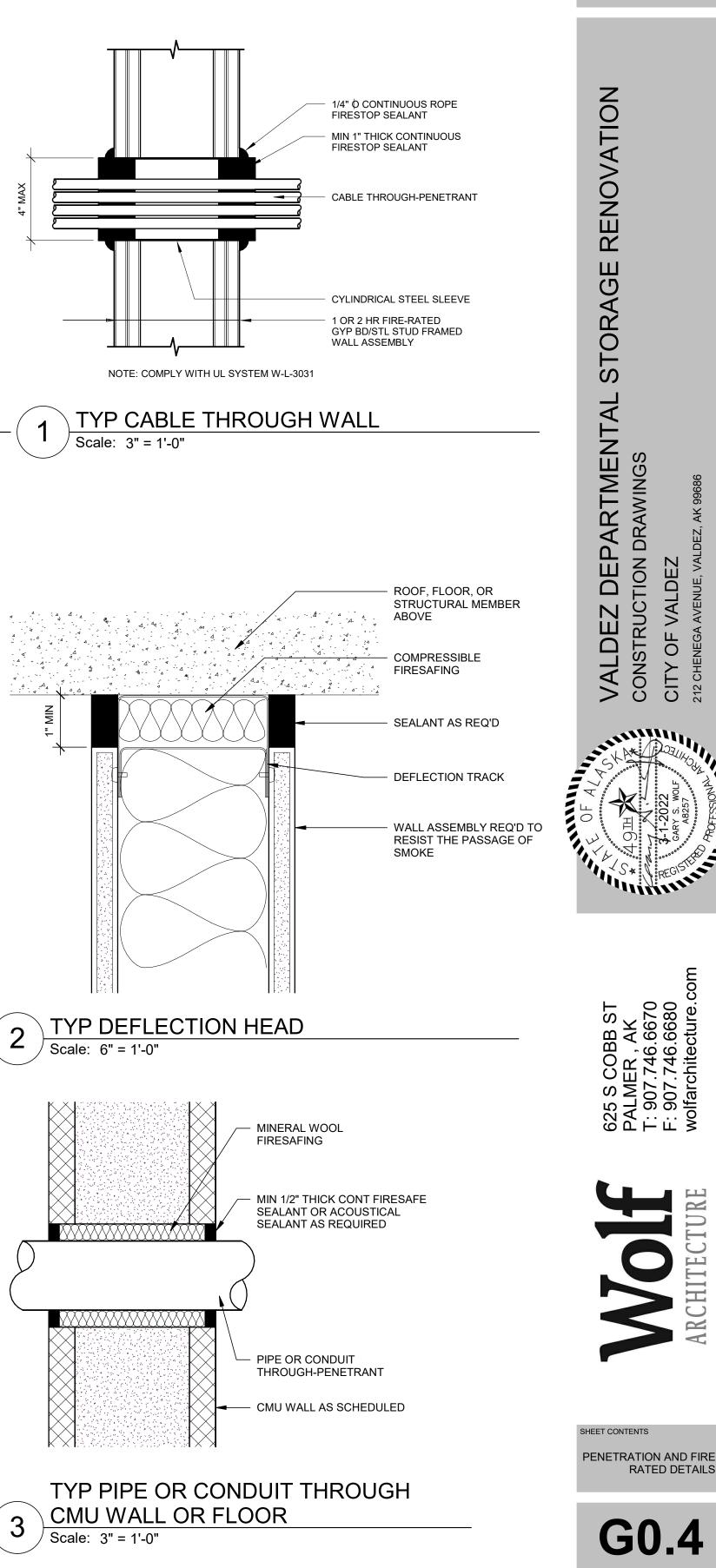
SHEET CONTENTS ARCHITECTURAL SYMBOLS AND ABBREVIATIONS

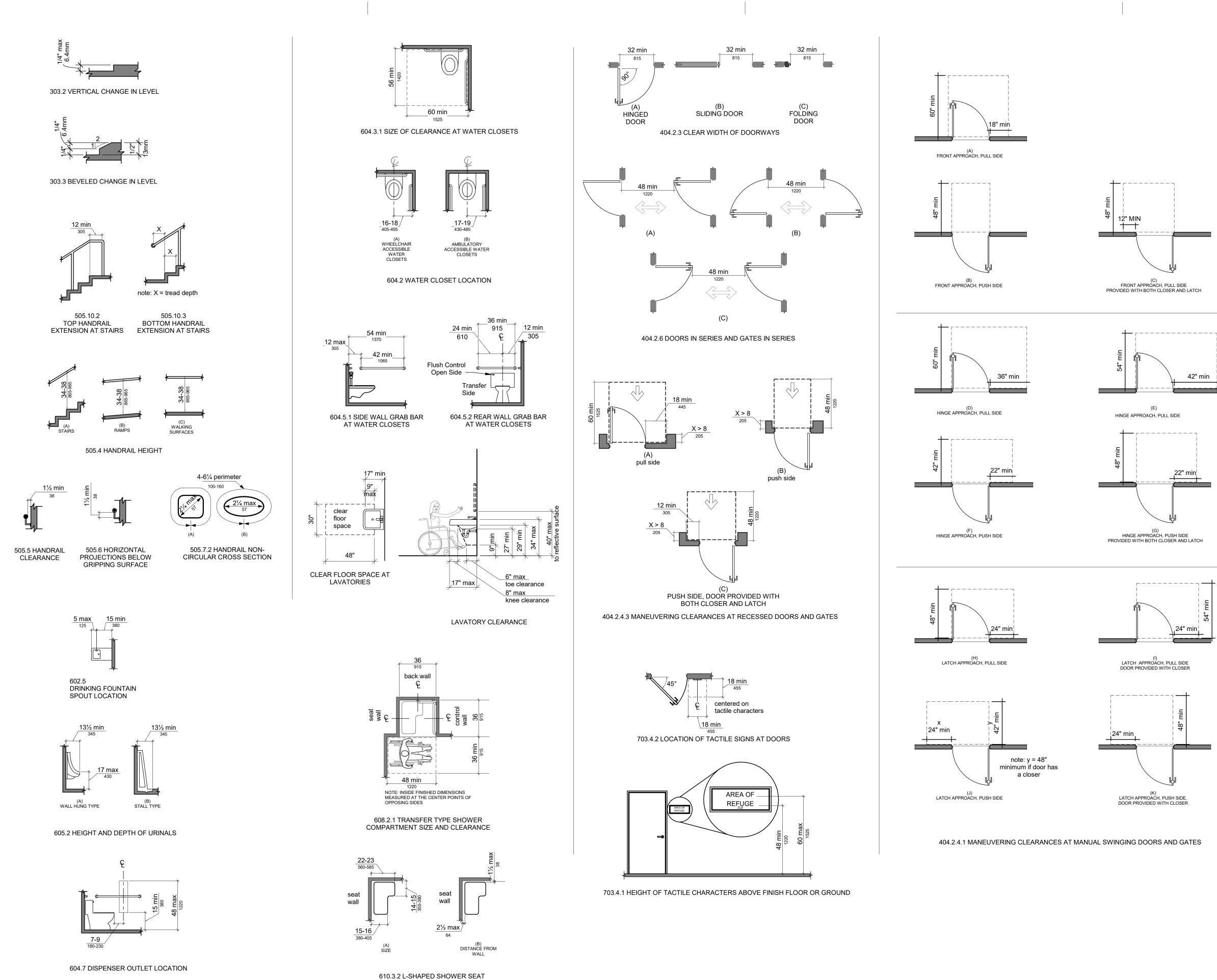


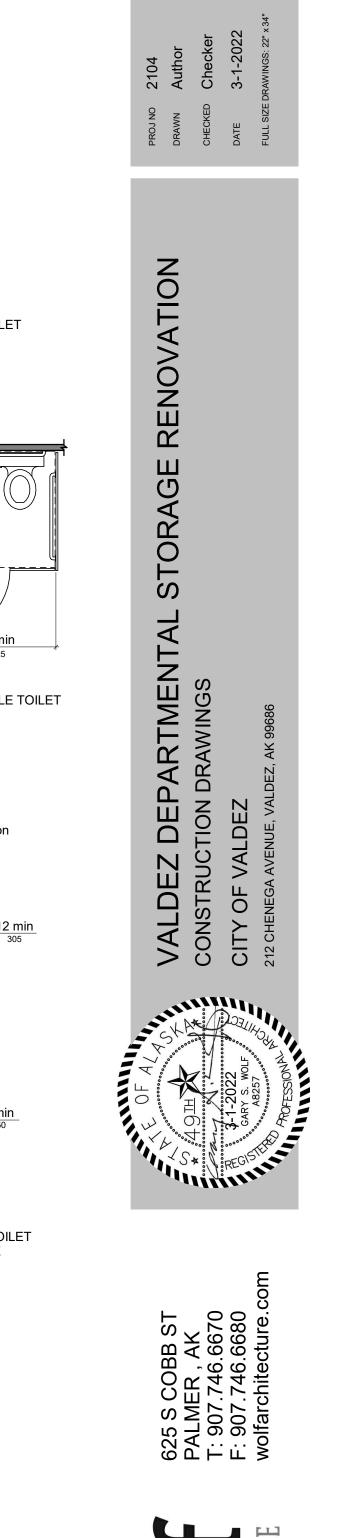


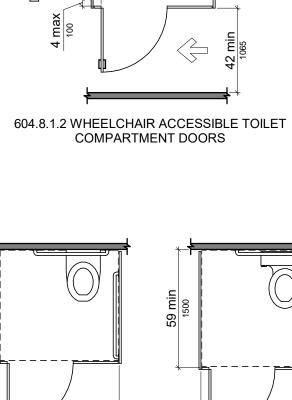
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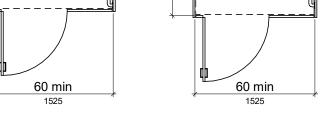




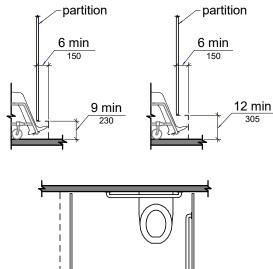
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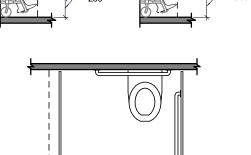
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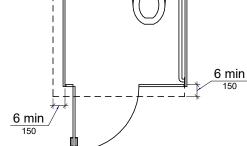
door location



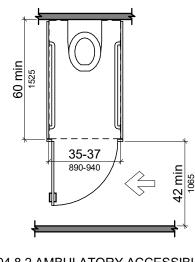








604.8.1.4 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE



604.8.2 AMBULATORY ACCESSIBLE TOILET COMPARTMENT

42" min

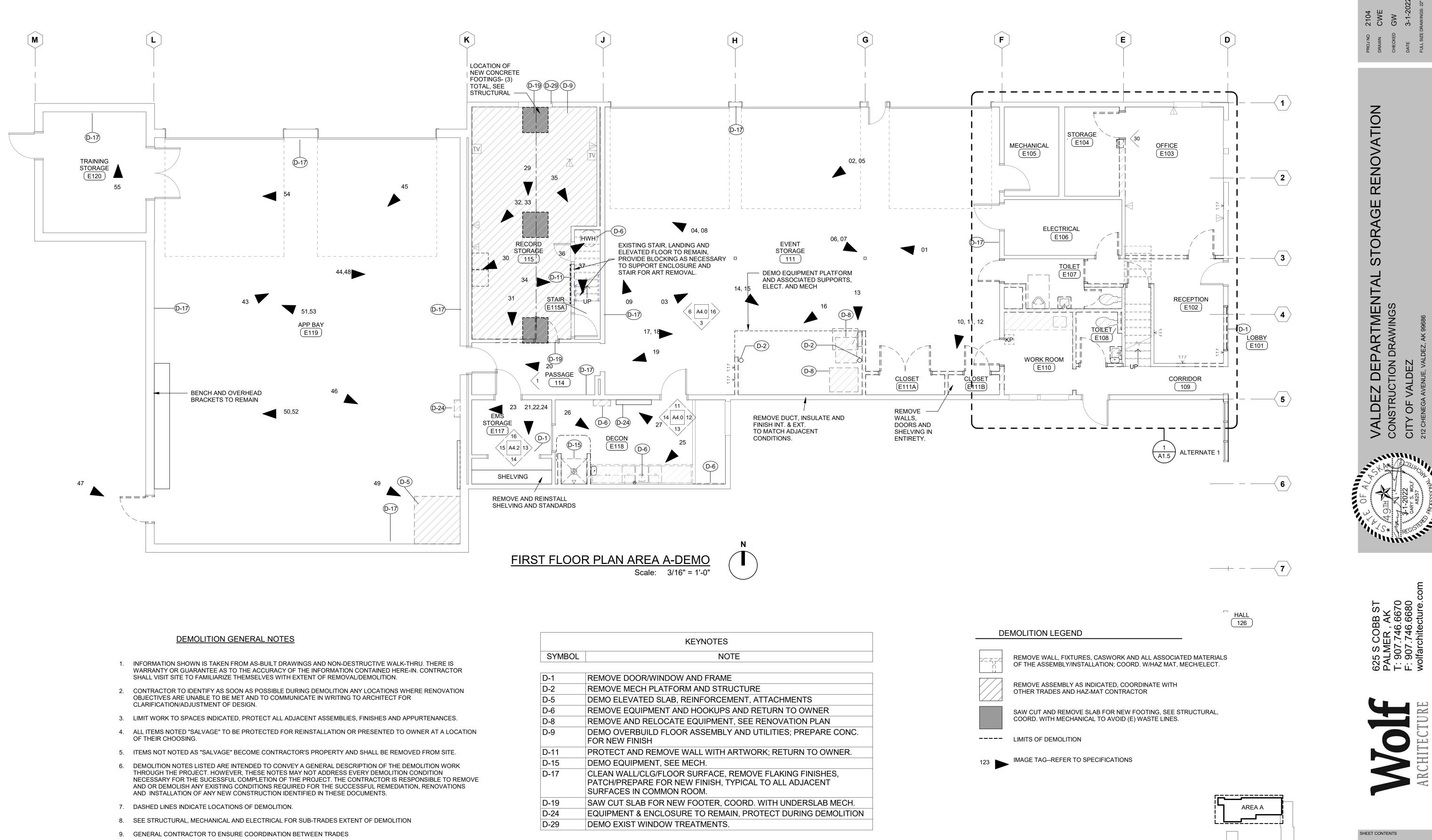
22" min

.24" min

TYPICAL ADA DETAILS

SHEET CONTENTS



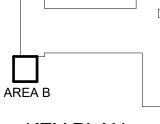


- 10. SEE HAZ MAT DRAWINGS AND SPECIFICATION FOR EXTENT OF ASSOCIATED ABATEMENT
- 11. CONTRACTOR TO PROTECT ALL EXISTING FIRE, ELECTRICAL AND MECHANICAL APPURTENANCES AS NEEDED TO COMPLETE WORK. SEE SPECIFICATION AND IMAGES.
- 12. REFERENCE ELEC AND MECH FOR EXISTING FIRE, EXITING AND OTHER APPURENANCES.



	KEYNOTES
SYMBOL	NOTE
D-1	REMOVE DOOR/WINDOW AND FRAME
D-2	REMOVE MECH PLATFORM AND STRUCTURE
D-5	DEMO ELEVATED SLAB, REINFORCEMENT, ATTACHMENTS
D-6	REMOVE EQUIPMENT AND HOOKUPS AND RETURN TO OWNER
D-8	REMOVE AND RELOCATE EQUIPMENT, SEE RENOVATION PLAN
D-9	DEMO OVERBUILD FLOOR ASSEMBLY AND UTILITIES; PREPARE CONC. FOR NEW FINISH
D-11	PROTECT AND REMOVE WALL WITH ARTWORK; RETURN TO OWNER.
D-15	DEMO EQUIPMENT, SEE MECH.
D-17	CLEAN WALL/CLG/FLOOR SURFACE, REMOVE FLAKING FINISHES, PATCH/PREPARE FOR NEW FINISH, TYPICAL TO ALL ADJACENT SURFACES IN COMMON ROOM.
D-19	SAW CUT SLAB FOR NEW FOOTER, COORD. WITH UNDERSLAB MECH.
D-24	EQUIPMENT & ENCLOSURE TO REMAIN, PROTECT DURING DEMOLITION
D-29	DEMO EXIST WINDOW TREATMENTS.

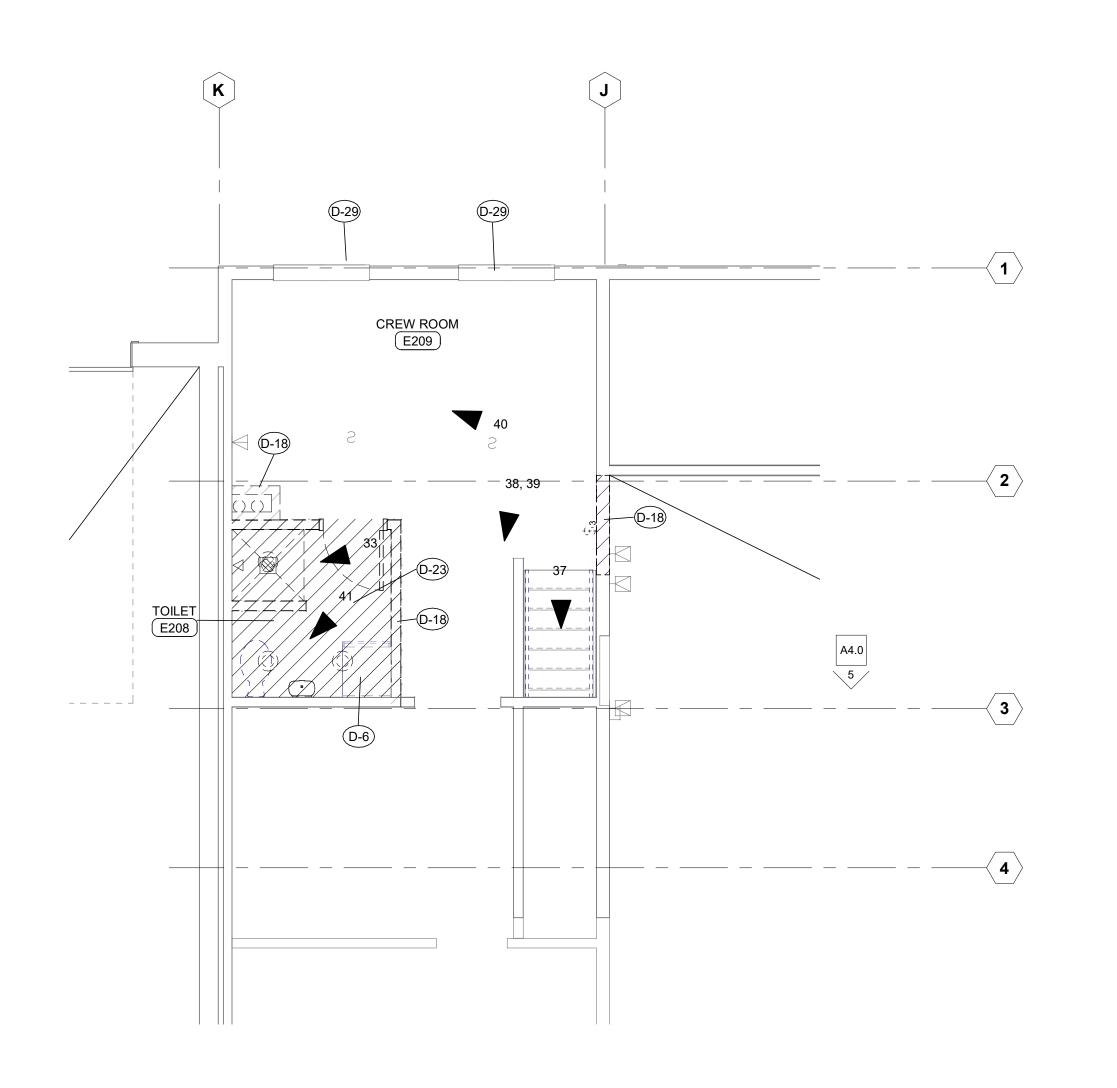
DEI	
== z ₁ == 11	REMOVE WALL, OF THE ASSEME
	REMOVE ASSEM OTHER TRADES
	SAW CUT AND R COORD. WITH M
	LIMITS OF DEMC
123	IMAGE TAGREF



KEY PLAN

FIRST FLOOR

PLAN--DEMO

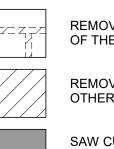


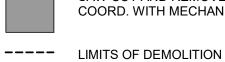


DEMOLITION GENERAL NOTES

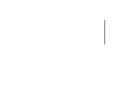
- 1. INFORMATION SHOWN IS TAKEN FROM AS-BUILT DRAWINGS AND NON-DESTRUCTIVE WALK-THRU. THERE IS WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION CONTAINED HERE-IN. CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE THEMSELVES WITH EXTENT OF REMOVAL/DEMOLITION.
- CONTRACTOR TO IDENTIFY AS SOON AS POSSIBLE DURING DEMOLITION ANY LOCATIONS WHERE RENOVATION 2. OBJECTIVES ARE UNABLE TO BE MET AND TO COMMUNICATE IN WRITING TO ARCHITECT FOR CLARIFICATION/ADJUSTMENT OF DESIGN.
- 3. LIMIT WORK TO SPACES INDICATED, PROTECT ALL ADJACENT ASSEMBLIES, FINISHES AND APPURTENANCES.
- 4. ALL ITEMS NOTED "SALVAGE" TO BE PROTECTED FOR REINSTALLATION OR PRESENTED TO OWNER AT A LOCATION OF THEIR CHOOSING.
- 5. ITEMS NOT NOTED AS "SALVAGE" BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM SITE.
- DEMOLITION NOTES LISTED ARE INTENDED TO CONVEY A GENERAL DESCRIPTION OF THE DEMOLITION WORK 6. THROUGH THE PROJECT. HOWEVER, THESE NOTES MAY NOT ADDRESS EVERY DEMOLITION CONDITION NECESSARY FOR THE SUCESSFUL COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND OR DEMOLISH ANY EXISTING CONDITIONS REQUIRED FOR THE SUCCESSFUL REMEDIATION, RENOVATIONS AND INSTALLATION OF ANY NEW CONSTRUCTION IDENTIFIED IN THESE DOCUMENTS.
- 7. DASHED LINES INDICATE LOCATIONS OF DEMOLITION.
- 8. SEE STRUCTURAL, MECHANICAL AND ELECTRICAL FOR SUB-TRADES EXTENT OF DEMOLITION
- 9. GENERAL CONTRACTOR TO ENSURE COORDINATION BETWEEN TRADES
- 10. SEE HAZ MAT DRAWINGS AND SPECIFICATION FOR EXTENT OF ASSOCIATED ABATEMENT
- 11. CONTRACTOR TO PROTECT ALL EXISTING FIRE, ELECTRICAL AND MECHANICAL APPURTENANCES AS NEEDED TO COMPLETE WORK. SEE SPECIFICATION AND IMAGES.
- 12. REFERENCE ELEC AND MECH FOR EXISTING FIRE, EXITING AND OTHER APPURENANCES.

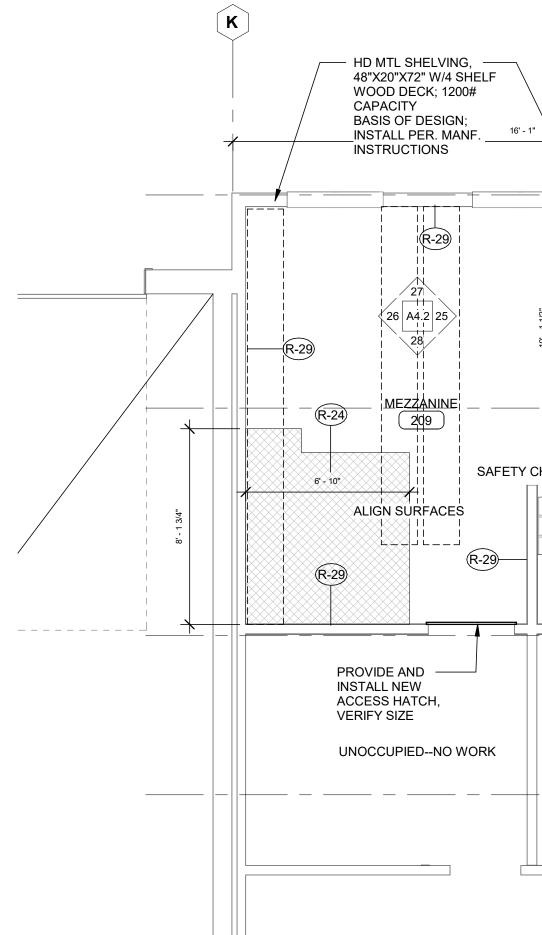
DEMOLITION LEGEND













REMOVE WALL, FIXTURES, CASWORK AND ALL ASSOCIATED MATERIALS OF THE ASSEMBLY/INSTALLATION; COORD. W/HAZ MAT, MECH/ELECT.

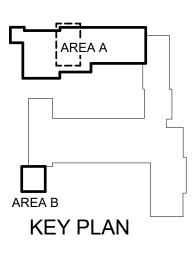
REMOVE ASSEMBLY AS INDICATED, COORDINATE WITH OTHER TRADES AND HAZ-MAT CONTRACTOR

SAW CUT AND REMOVE SLAB FOR NEW FOOTING, SEE STRUCTURAL, COORD. WITH MECHANICAL TO AVOID (E) WASTE LINES.

123 MAGE TAG--REFER TO SPECIFICATIONS

	KEYNOTES
SYMBOL	NOTE
D-6	REMOVE EQUIPMENT AND HOOKUPS AND RETURN TO OWNER
D-18	DEMO WALL ASSEMBLY, UTILITIES, AND APPURTENANCES; RELOCATE IF REQUIRED, SEE MECH./ELEC.
D-23	PATCH FLOOR, PREPARE FOR NEW FINISH
D-29	DEMO EXIST WINDOW TREATMENTS.
R-24	INSTALL NEW RIGID PLANK, MATCH COLOR, DEPTH AND SIZE, ALIGN SURFACE WITH EXISTING.
R-29	APPLY GWB TO EXIST. WALL TO PROVIDE CONSISTENT FINISH, PT.
R-30	INSTALL HANDRAIL BOTH SIDES OF STAIR.
R-31	INSTALL NEW VINYL TREAD/RISER FINISH.

J	PROJ NO2104DRAWN2104DRAWNAuthorCHECKEDCheckerCHECKED3-1-2022DATE3-1-2022FULL SIZE DRAWINGS: 22" x34"
	VALDEZ DEPARTMENTAL STORAGE RENOVATION CONSTRUCTION DRAWINGS CITY OF VALDEZ 212 CHENEGA AVENUE, VALDEZ 212 CHENEGA AVENUE, VALDEZ, AK 99686
	A DESIGN A POPESSION



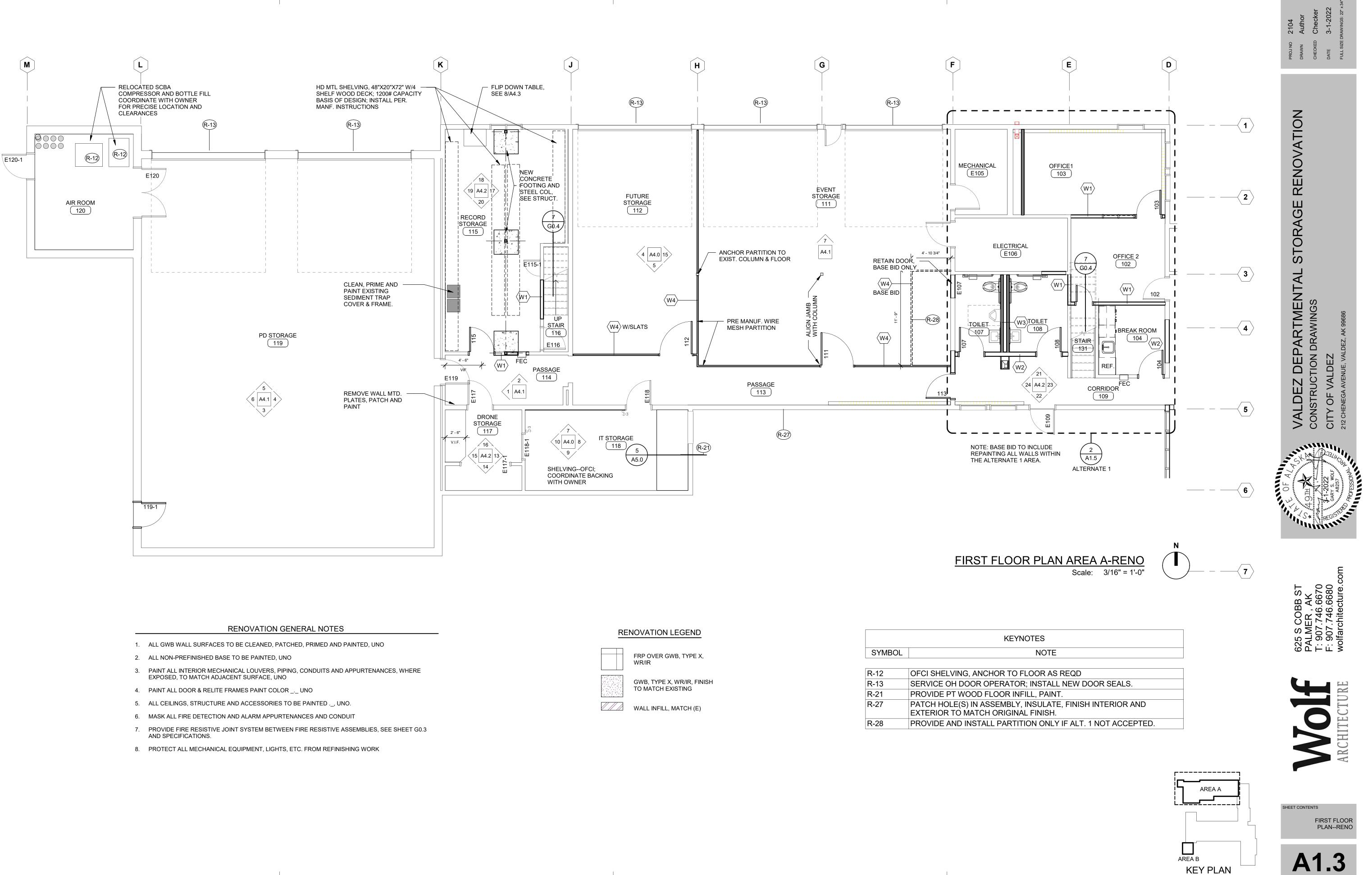
S* REGIST OBB ST R, AK 46.6670 46.6680 itecture.o , 46. 46. ഗ –



SECOND FLOOR PLAN--DEMO/RENO

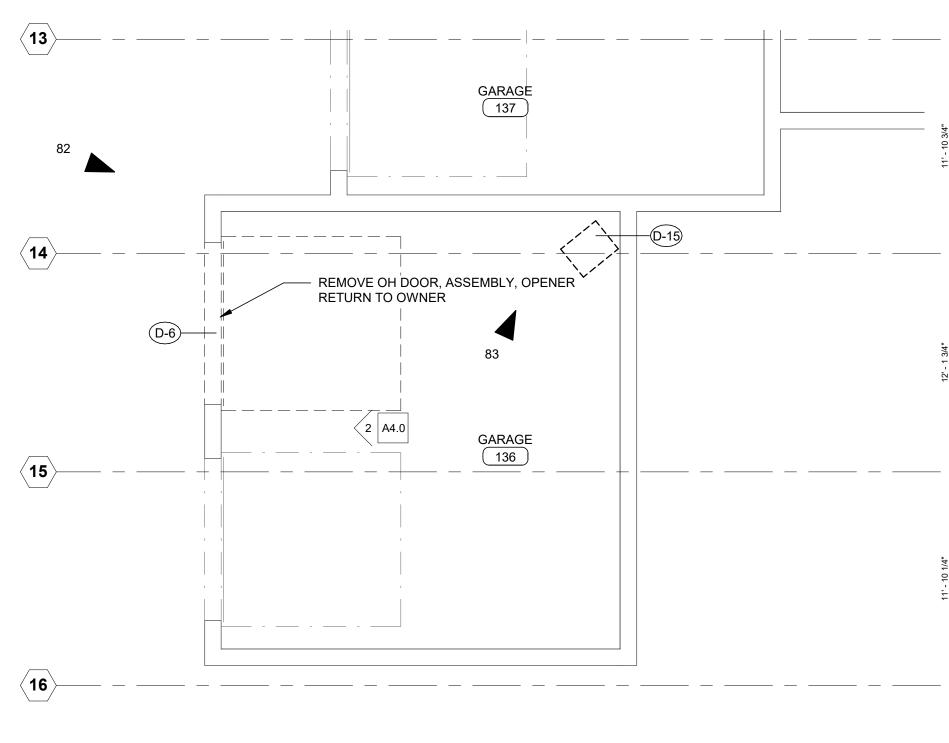
SHEET CONTENTS







SYMBOL	
R-12	OFCI SHELVING, ANCHO
R-13	SERVICE OH DOOR OPE
R-21	PROVIDE PT WOOD FLC
R-27	PATCH HOLE(S) IN ASSE EXTERIOR TO MATCH O
R-28	PROVIDE AND INSTALL



FIRST FLOOR PLAN-DEMO

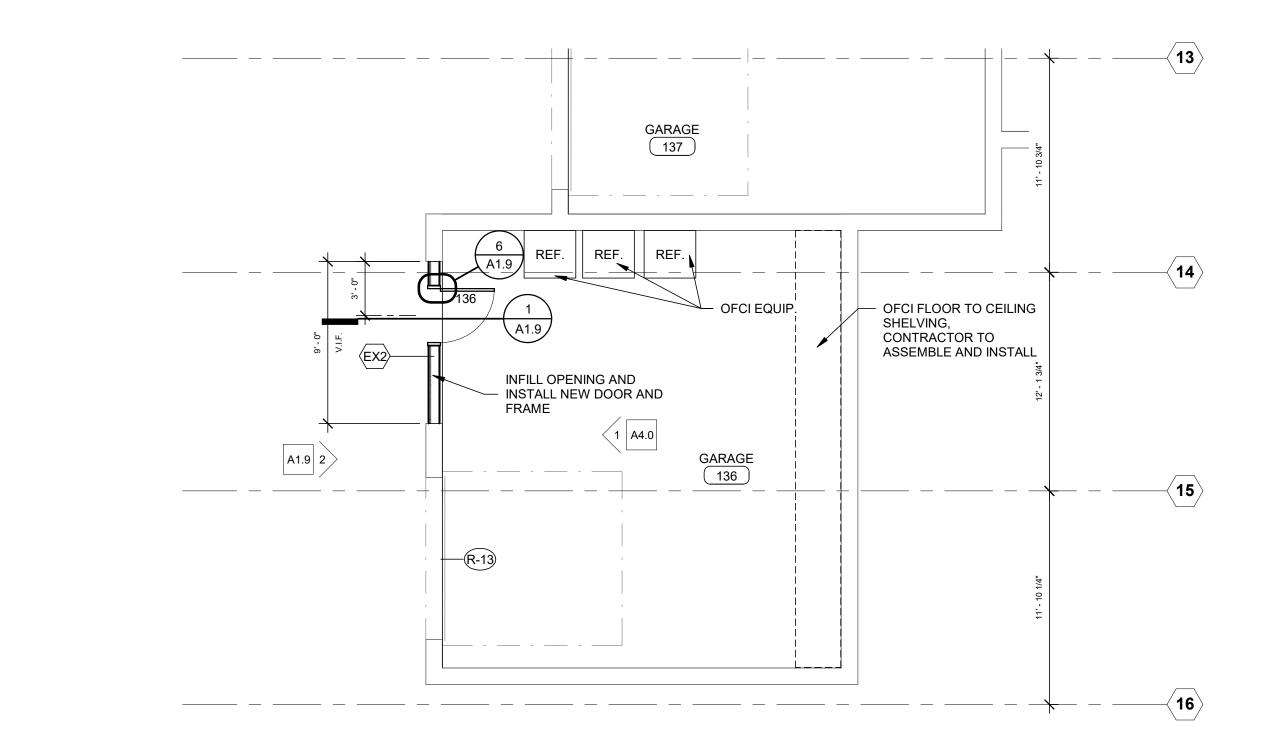
GARAGE--ALT 2

Scale: 3/16" = 1'-0"

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- 12. REFERENCE ELEC AND MECH FOR EXISTING FIRE, EXITING AND OTHER APPURENANCES.





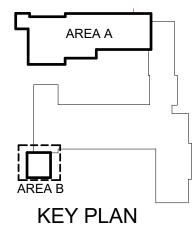
FIRST FLOOR PLAN-RENO 2 GARAGE--ALT 2 / Scale: 3/16" = 1'-0"

	KEYNOTES
SYMBOL	NOTE
D-6	REMOVE EQUIPMENT AND HOOKUPS AND RETURN TO OWNER
D-15	DEMO EQUIPMENT, SEE MECH.
R-13	SERVICE OH DOOR OPERATOR; INSTALL NEW DOOR SEALS.

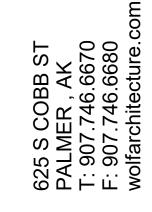
- 1. ALL GWB WALL SURFACES TO BE CLEANED, PATCHED, PRIMED AND PAINTED, UNO
- 2. ALL NON-PREFINISHED BASE TO BE PAINTED, UNO 3. PAINT ALL INTERIOR MECHANICAL LOUVERS, PIPING, CONDUITS AND APPURTENANCES, WHERE
- EXPOSED, TO MATCH ADJACENT SURFACE, UNO
- 4. PAINT ALL DOOR & RELITE FRAMES PAINT COLOR _._ UNO
- 5. ALL CEILINGS, STRUCTURE AND ACCESSORIES TO BE PAINTED ._, UNO.
- 6. MASK ALL FIRE DETECTION AND ALARM APPURTENANCES AND CONDUIT 7. PROVIDE FIRE RESISTIVE JOINT SYSTEM BETWEEN FIRE RESISTIVE ASSEMBLIES, SEE SHEET G0.3 AND SPECIFICATIONS.
- 8. PROTECT ALL MECHANICAL EQUIPMENT, LIGHTS, ETC. FROM REFINISHING WORK

NOTE: ALL WORK THIS SHEET TO BE DONE ONLY UNDER ALTERNATE 2.

RENOVATION GENERAL NOTES



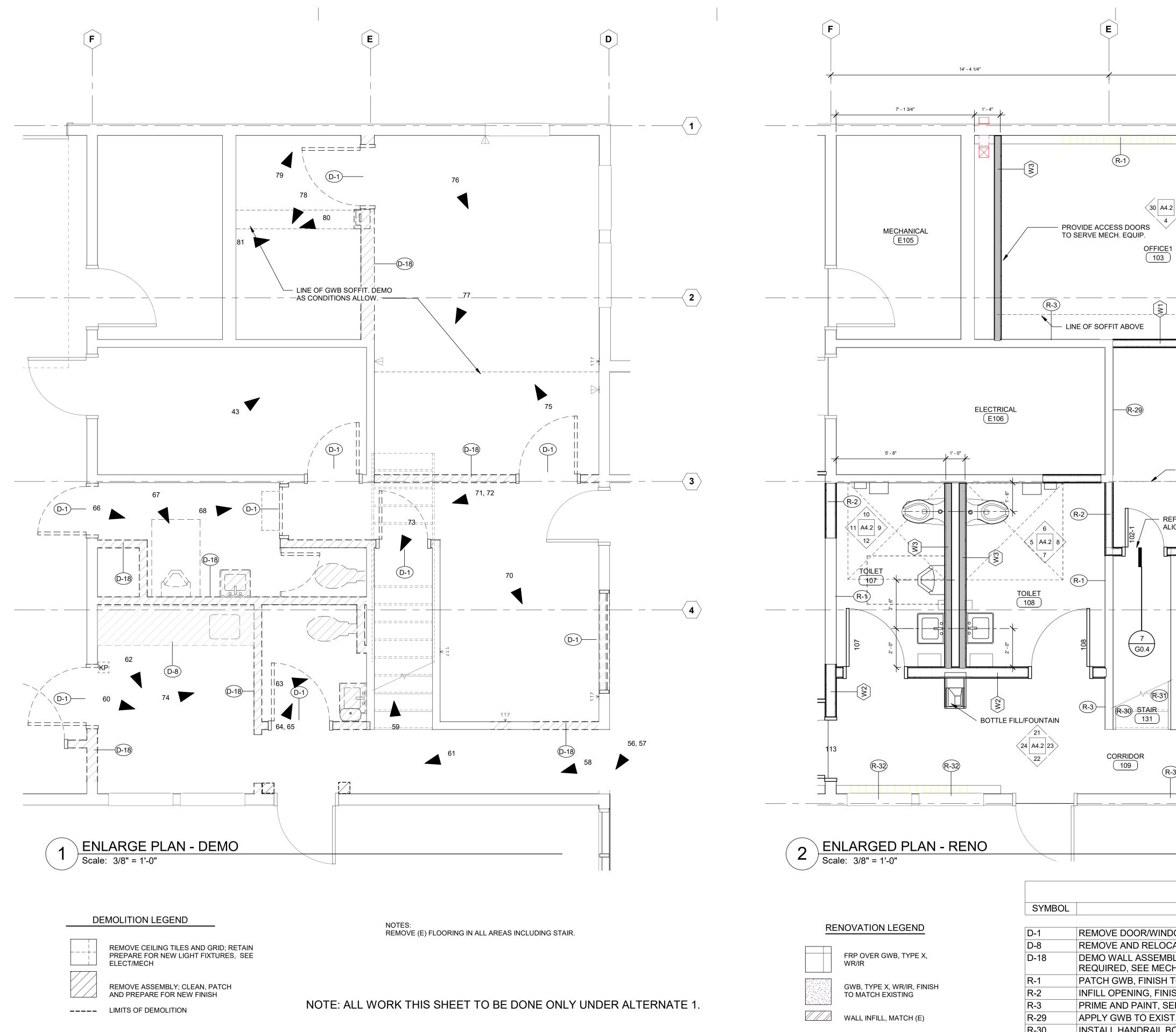
PROJ NO 2104	DRAWN Author	снескер Checker	DATE 3-1-2022	FULL SIZE DRAWINGS: 22" x 34"	
	VALUEZ DEPARTMENTAL STORAGE RENOVATION	CONSTRUCTION DRAWINGS	CITY OF VALDEZ	212 CHENEGA AVENUE, VALDEZ, AK 99686	
OF ALA			田 。 3-1-2022 の 。 GARY S. WOLF 、 小丘	PROFESSION N. P.C.	
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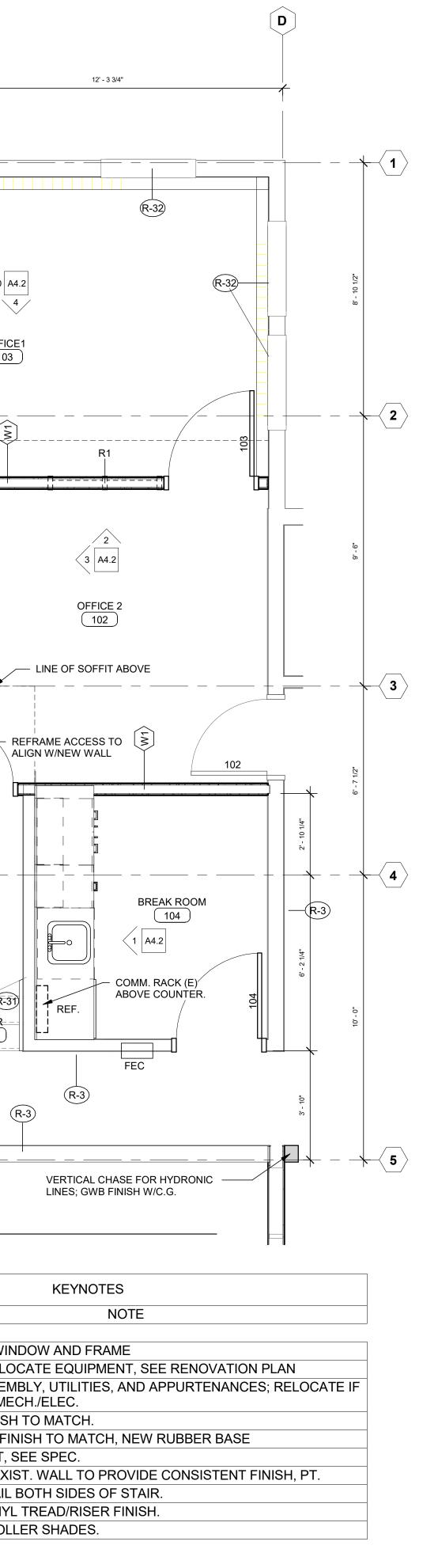


SHEET CONTENTS GARAGE BAYS 4-5, ALTERNATE 2





D-1	REMOVE DOOR/WINDO
D-8	REMOVE AND RELOCA
D-18	DEMO WALL ASSEMBL
	REQUIRED, SEE MECH
R-1	PATCH GWB, FINISH TO
R-2	INFILL OPENING, FINIS
R-3	PRIME AND PAINT, SEE
R-29	APPLY GWB TO EXIST.
R-30	INSTALL HANDRAIL BC
R-31	INSTALL NEW VINYL T
R-32	PROVIDE NEW ROLLEF

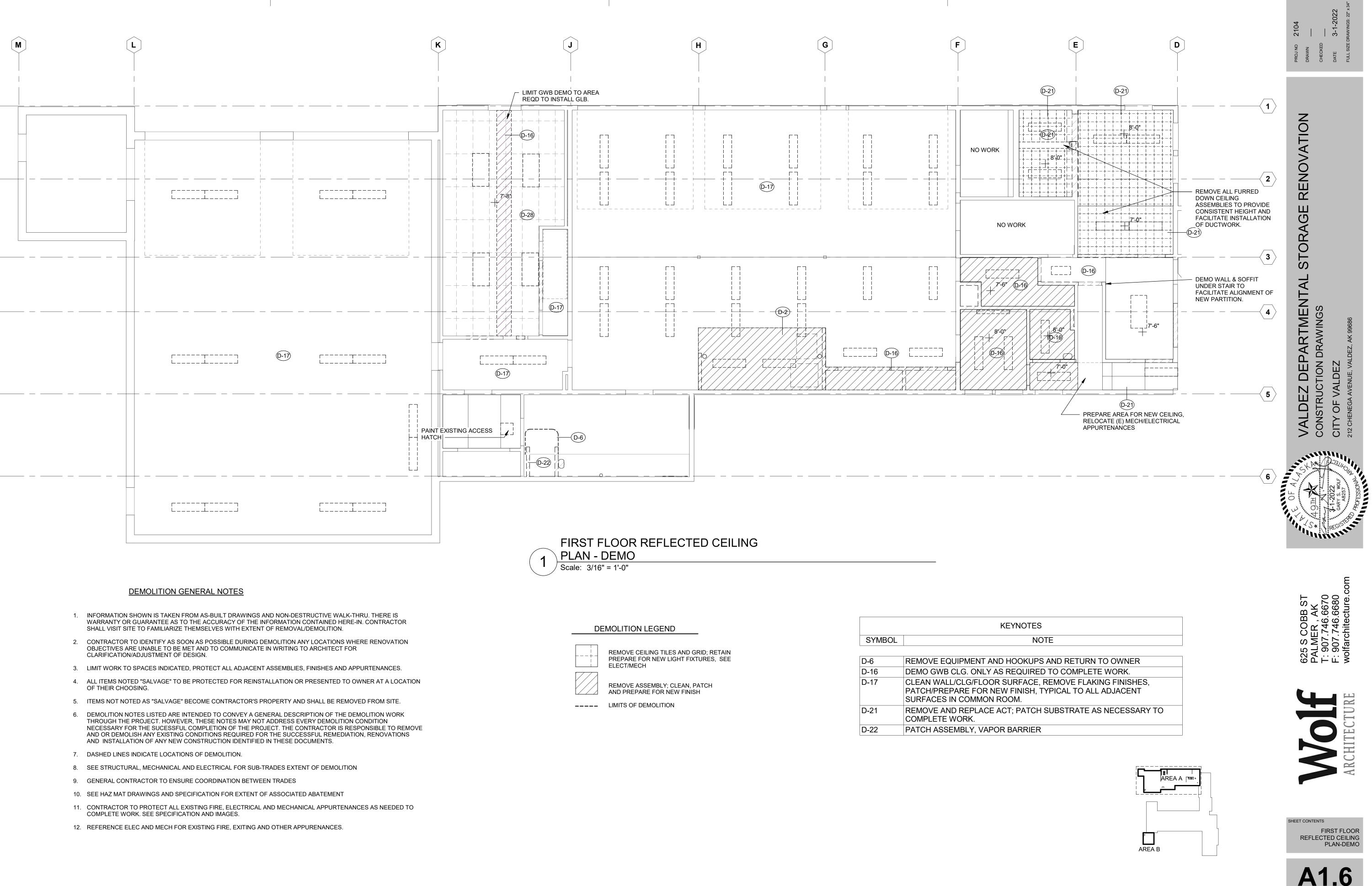


	PRO I NO 2104		DRAWN CWE	снескер JC	DATE 3-1-2022	FULL SIZE DRAWINGS: 22" × 34"	
	R OF A/	VALDEZ DEDARTMENTAL STORAGE BENOVATION		CONSTRUCTION DRAWINGS	GARY S. WOLE CITY OF VALDEZ	POFESSION POFESSION POFESSION POPESSION POPESS	
25			/ S *		REGIST		
		RUE CUBB CT	PALMER AK	T: 907.746.6670	F: 907.746.6680	wolfarchitecture.com	
						ARCHITECTURE	

SHEET CONTENTS

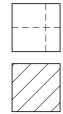
ENLARGED PLANS-ALT 1



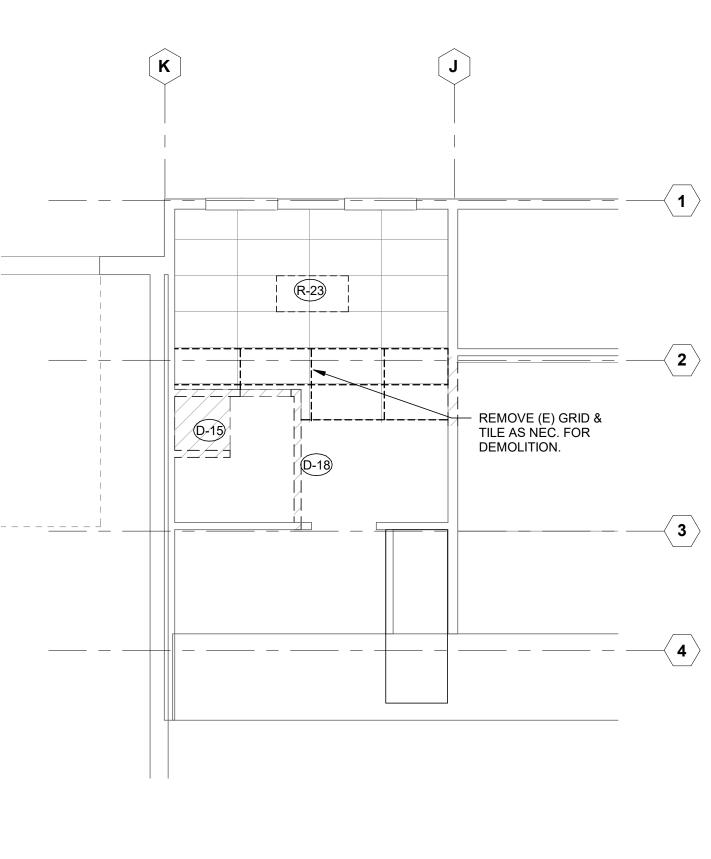


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SYMBOL	
D-6	REMOVE EQUIPMENT AN
D-16	DEMO GWB CLG. ONLY A
D-17	CLEAN WALL/CLG/FLOOF PATCH/PREPARE FOR NE SURFACES IN COMMON F
D-21	REMOVE AND REPLACE A
D-22	PATCH ASSEMBLY, VAPC

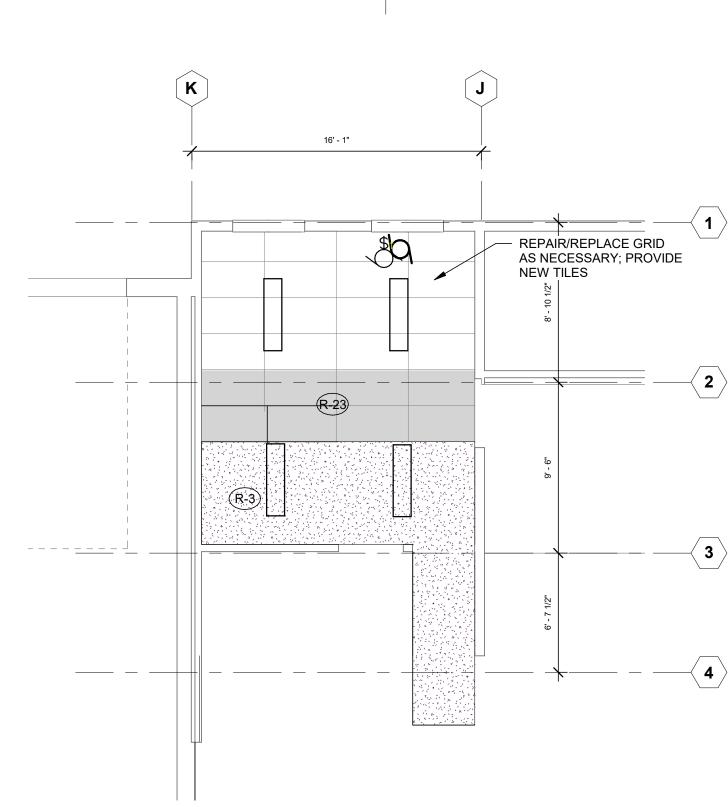




DEMOLITION GENERAL NOTES

- 1. INFORMATION SHOWN IS TAKEN FROM AS-BUILT DRAWINGS AND NON-DESTRUCTIVE WALK-THRU. THERE IS WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION CONTAINED HERE-IN. CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE THEMSELVES WITH EXTENT OF REMOVAL/DEMOLITION.
- 2. CONTRACTOR TO IDENTIFY AS SOON AS POSSIBLE DURING DEMOLITION ANY LOCATIONS WHERE RENOVATION OBJECTIVES ARE UNABLE TO BE MET AND TO COMMUNICATE IN WRITING TO ARCHITECT FOR CLARIFICATION/ADJUSTMENT OF DESIGN.
- 3. LIMIT WORK TO SPACES INDICATED, PROTECT ALL ADJACENT ASSEMBLIES, FINISHES AND APPURTENANCES.
- 4. ALL ITEMS NOTED "SALVAGE" TO BE PROTECTED FOR REINSTALLATION OR PRESENTED TO OWNER AT A LOCATION OF THEIR CHOOSING.
- 5. ITEMS NOT NOTED AS "SALVAGE" BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM SITE.
- 6. DEMOLITION NOTES LISTED ARE INTENDED TO CONVEY A GENERAL DESCRIPTION OF THE DEMOLITION WORK THROUGH THE PROJECT. HOWEVER, THESE NOTES MAY NOT ADDRESS EVERY DEMOLITION CONDITION NECESSARY FOR THE SUCESSFUL COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND OR DEMOLISH ANY EXISTING CONDITIONS REQUIRED FOR THE SUCCESSFUL REMEDIATION, RENOVATIONS AND INSTALLATION OF ANY NEW CONSTRUCTION IDENTIFIED IN THESE DOCUMENTS.
- 7. DASHED LINES INDICATE LOCATIONS OF DEMOLITION.
- 8. SEE STRUCTURAL, MECHANICAL AND ELECTRICAL FOR SUB-TRADES EXTENT OF DEMOLITION
- 9. GENERAL CONTRACTOR TO ENSURE COORDINATION BETWEEN TRADES
- 10. SEE HAZ MAT DRAWINGS AND SPECIFICATION FOR EXTENT OF ASSOCIATED ABATEMENT
- 11. CONTRACTOR TO PROTECT ALL EXISTING FIRE, ELECTRICAL AND MECHANICAL APPURTENANCES AS NEEDED TO COMPLETE WORK. SEE SPECIFICATION AND IMAGES.
- 12. REFERENCE ELEC AND MECH FOR EXISTING FIRE, EXITING AND OTHER APPURENANCES.

-



SECOND FLOOR REFLECTED CEILING PLAN - RENO 2 Scale: 3/16" = 1'-0"

	KEYNOTES								
SYMBOL	NOTE								
D-15	DEMO EQUIPMENT, SEE MECH.								
D-18	DEMO WALL ASSEMBLY, UTILITIES, AND APPURTENANCES; RELOCATE IF REQUIRED, SEE MECH./ELEC.								
R-23	INFILL ACT GRID AND GWB.								

RCP - CODED NOTES

- C-1 2' x 4' SUSPENDED ACOUSTICAL TILE CEILING C-2 1' X 1' DIRECT APPLIED ACOUSTICAL TILE CEILING
- C-3 FRAMED OR SUSPENDED 5/8" GYPSUM BOARD

GENERAL RCP NOTES

- 1. GENERALLY CENTER CEILING GRIDS IN EACH ROOM TO PROVIDE EQUALLY SIZED PANELS ON OPPOSITE WALLS. IF PLANS INDICATE A GRID ALIGNING WITH A COLUMN, WALL, SOFFIT, ETC, START GRID AT THE INDICATED SURFACE. AVOID PANELS LESS THANK 12" IN WIDTH.
- 2. INSTALL NEW CEILINGS AS HIGH AS FEASIBLE.
- 3. SEE FINISH SCHEDULE FOR COLORS.
- 4. ALL GYP BD CEILING AND SOFFITS TO BE PAINTED.
- 5. ALL EXPOSED STEEL FRAMING AND DECK AT CEILINGS TO BE PAINTED.
- 6. PAINT ALL EXPOSED DUCTWORK, PIPING AND CONDUITS.
- 7. CEILING HEIGHT TO BE MEASURED FROM FINISH FLOOR LEVEL OF THE ROOM OR THE AREA WHERE CEILING IS IN.
- 8. INSTALL NEW LIGHT FIXTURES AS LOCATED ON ARCHITECTURAL; COORDINATE WITH OWNER/ARCHITECT FOR ANY REQUIRED RELOCATIONS BASED ON CONFLICTS

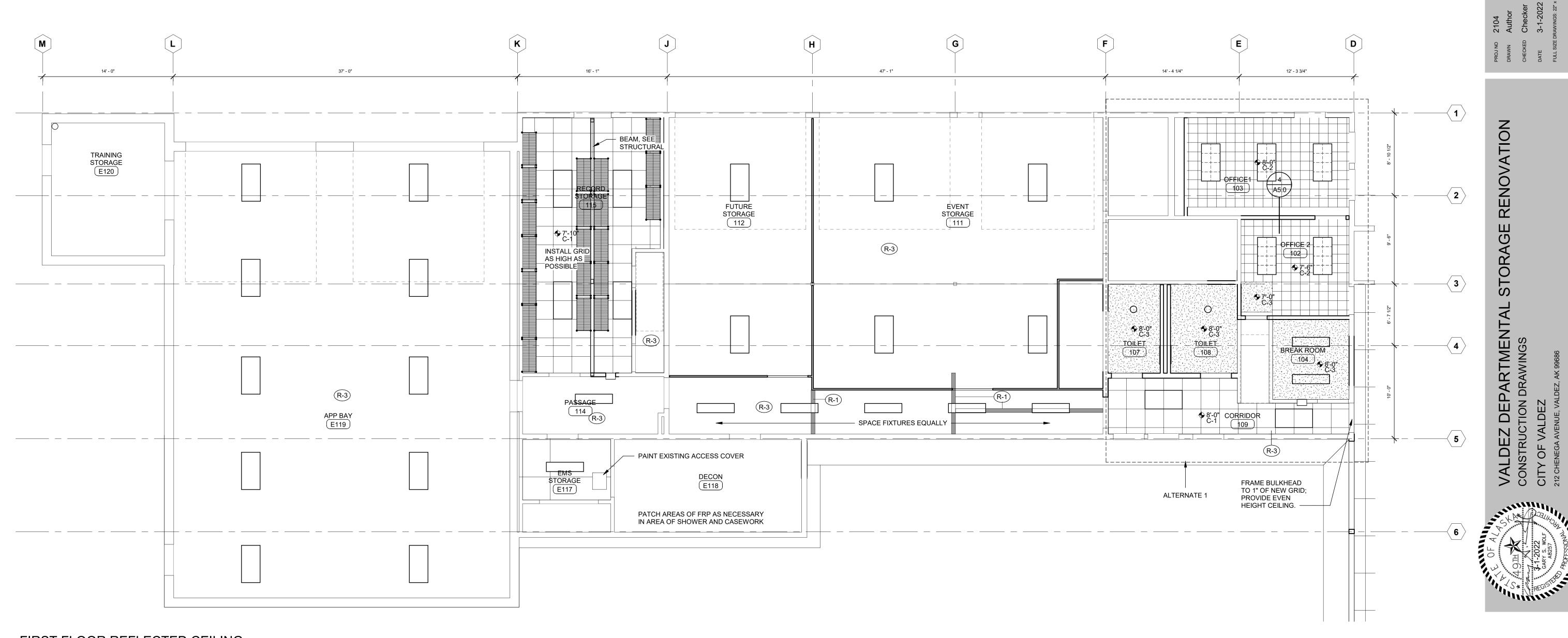
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SHEET CONTENTS SECOND FLOOR REFLECTED CEILING PLAN--DEMO/RENO





FIRST FLOOR REFLECTED CEILING

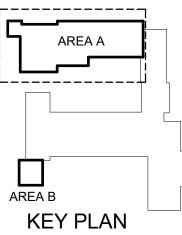
PLAN - RENO Scale: 3/16" = 1'-0"

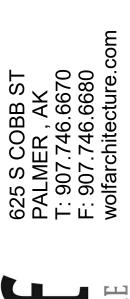
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GENERAL RCP NOTES

- 1. GENERALLY CENTER CEILING GRIDS IN EACH ROOM TO PROVIDE EQUALLY SIZED PANELS ON OPPOSITE WALLS. IF PLANS INDICATE A GRID ALIGNING WITH A COLUMN, WALL, SOFFIT, ETC, START GRID AT THE INDICATED SURFACE. AVOID PANELS LESS THANK 12" IN WIDTH.
- 2. INSTALL NEW CEILINGS AS HIGH AS FEASIBLE.
- 3. SEE FINISH SCHEDULE FOR COLORS.
- 4. ALL GYP BD CEILING AND SOFFITS TO BE PAINTED.
- 5. ALL EXPOSED STEEL FRAMING AND DECK AT CEILINGS TO BE PAINTED.
- 6. PAINT ALL EXPOSED DUCTWORK, PIPING AND CONDUITS.
- 7. CEILING HEIGHT TO BE MEASURED FROM FINISH FLOOR LEVEL OF THE ROOM OR THE AREA WHERE CEILING IS IN.
- 8. INSTALL NEW LIGHT FIXTURES AS LOCATED ON ARCHITECTURAL; COORDINATE WITH OWNER/ARCHITECT FOR ANY REQUIRED RELOCATIONS BASED ON CONFLICTS

	LEGEND			
	CEILING ACCESS PANEL, 18"X18" UNO.			
	CEILING HEIGHT (HEIGHTS INDICATED ARE RELATIVE TO 100'-0" FLOOR LEVEL).		KEYNOTES	
		SYMBOL	NOTE	
		R-1	PATCH GWB, FINISH TO MATCH.	
		R-3	PRIME AND PAINT, SEE SPEC.	
	PROJECTOR (POSITIONS SHOWN ARE APPROXIMATE. FINAL POSITION TO BE VERIFIED WITH OWNER).			
$ \square $	SUSPENDED LIGHT FIXTURES			
\square	SUPPLY DIFFUSERS			
\square	RETURN AIR REGISTER OR EXHAUST FAN		C-1 2' x 4' SUSPENDED ACOUSTICAL TILE CEILING	<u> </u>
\otimes			C-2 1' X 1' DIRECT APPLIED ACOUSTICAL TILE CEILING C-3 FRAMED OR SUSPENDED 5/8" GYPSUM BOARD	
(S)	SMOKE DETECTOR HEAT DETECTOR			┊╽╶┎╍╍╼╇
Ð	INTERCOM			
P	PAGING SPEAKER			
R	INFRARED DETECTOR			
Ś	SPEAKER			
X	VIDEO CAMERA			
DL	DAYLIGHT SENSOR			AREA B
М	MOTION DETECTOR			KEY PLAN

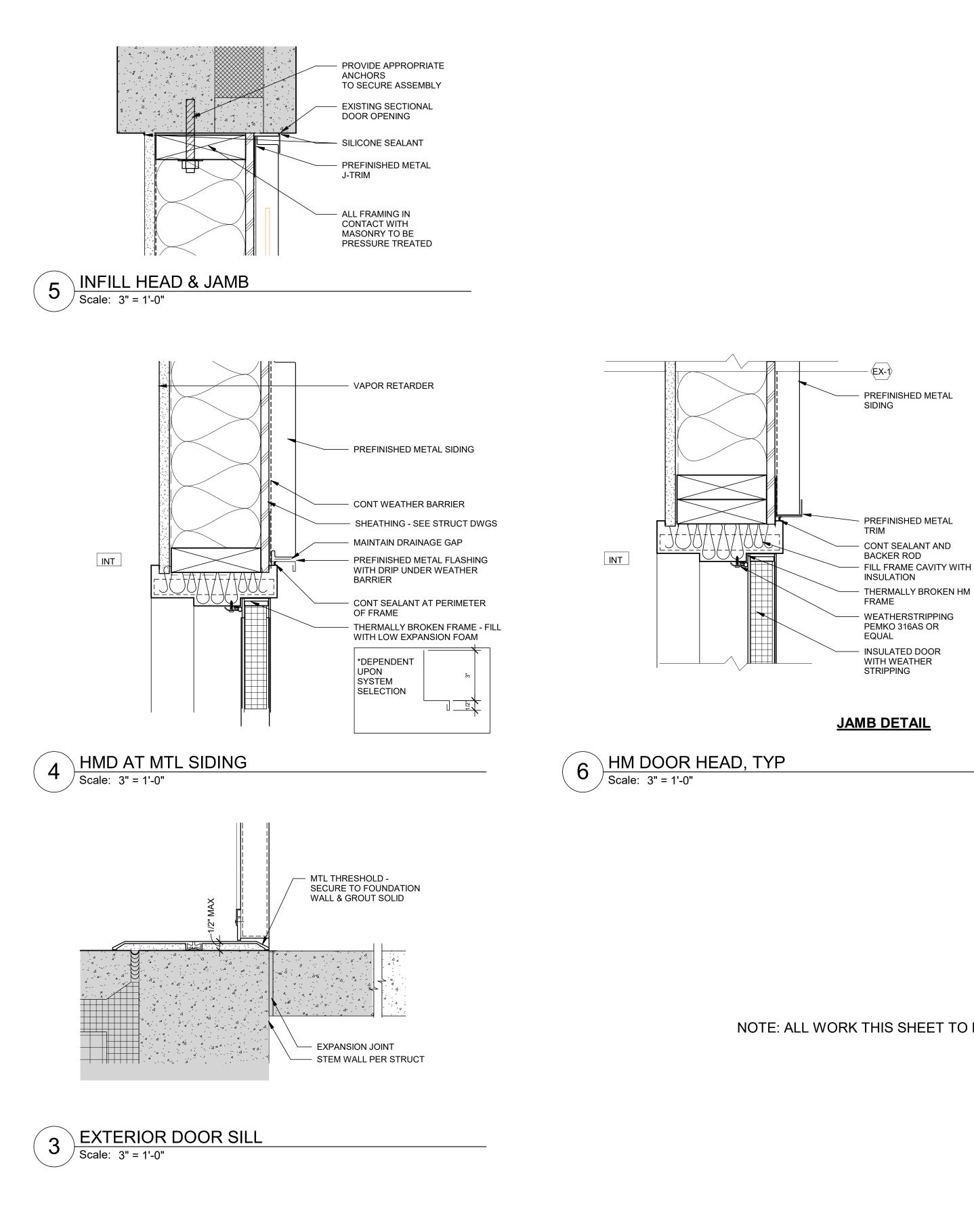






SHEET CONTENTS FIRST FLOOR REFECTED CELING PLAN-RENO



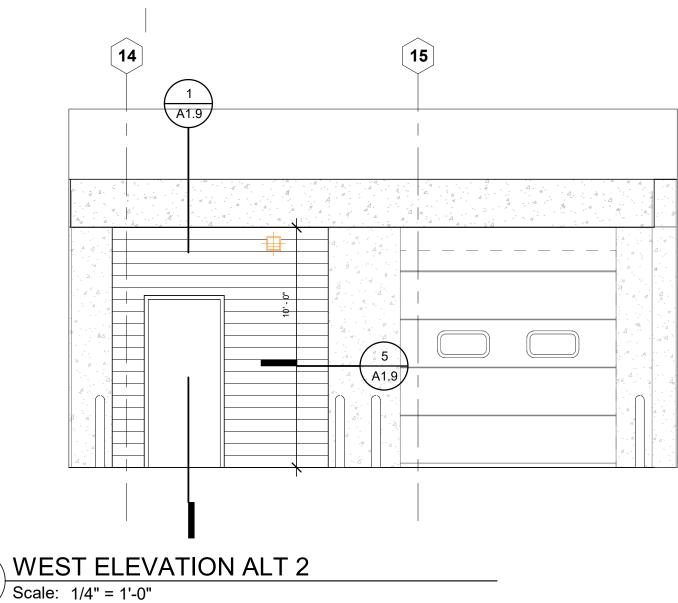


MATERIALS LEGEND



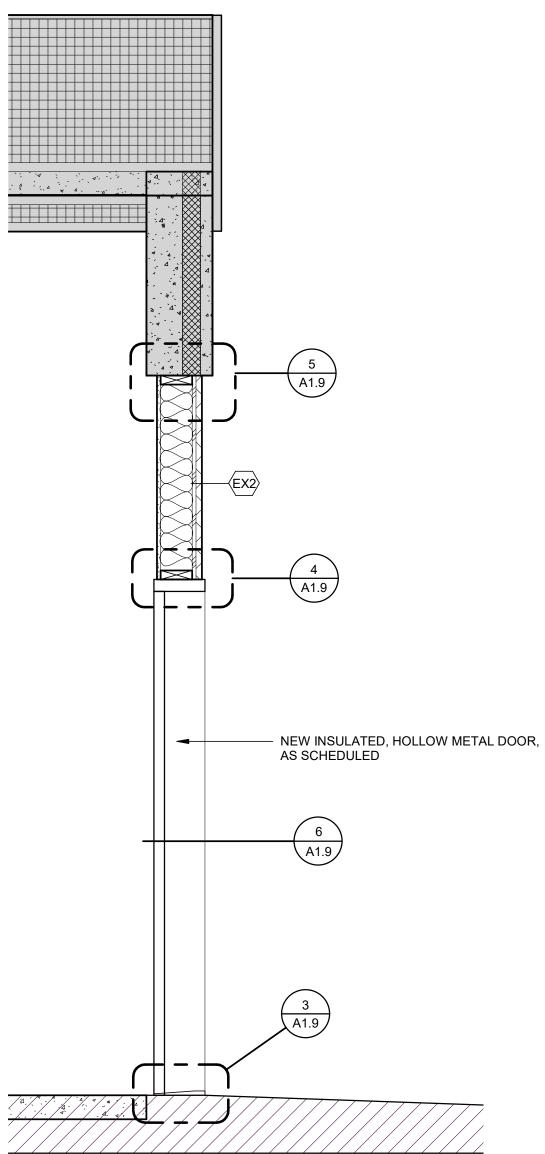
12" METAL SIDING w/6" SCRIBE --BASIS OF DESIGN, AEP SPAN PRESTIGE

NOTE: THIS LEGEND DOES NOT INCLUDE ALL MATERIALS. SEE NOTES & REFERENCED DETAILS FOR ADDITIONAL INFORMATION.



2

NOTE: ALL WORK THIS SHEET TO BE DONE ONLY UNDER ALTERNATE 2.

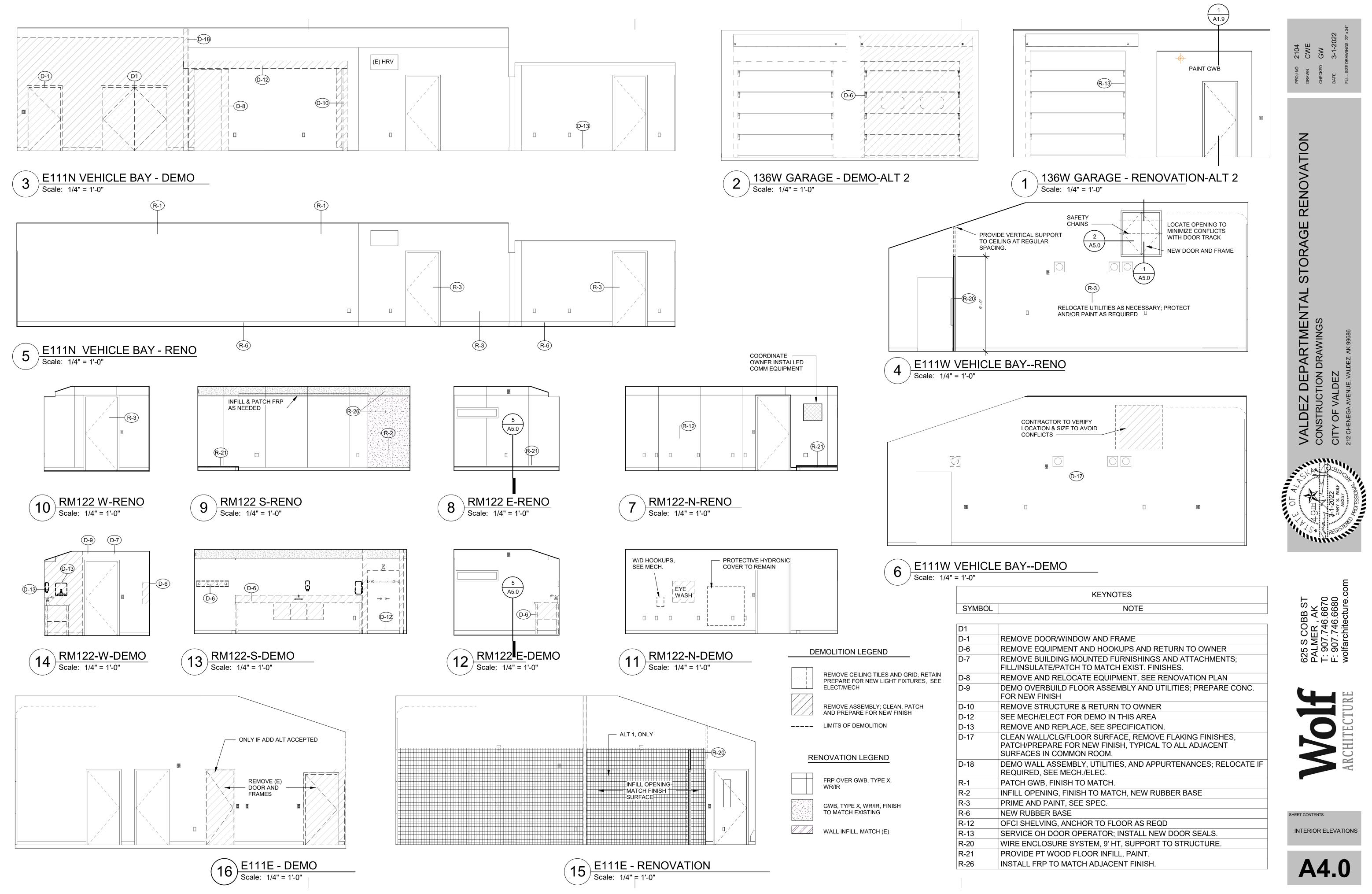


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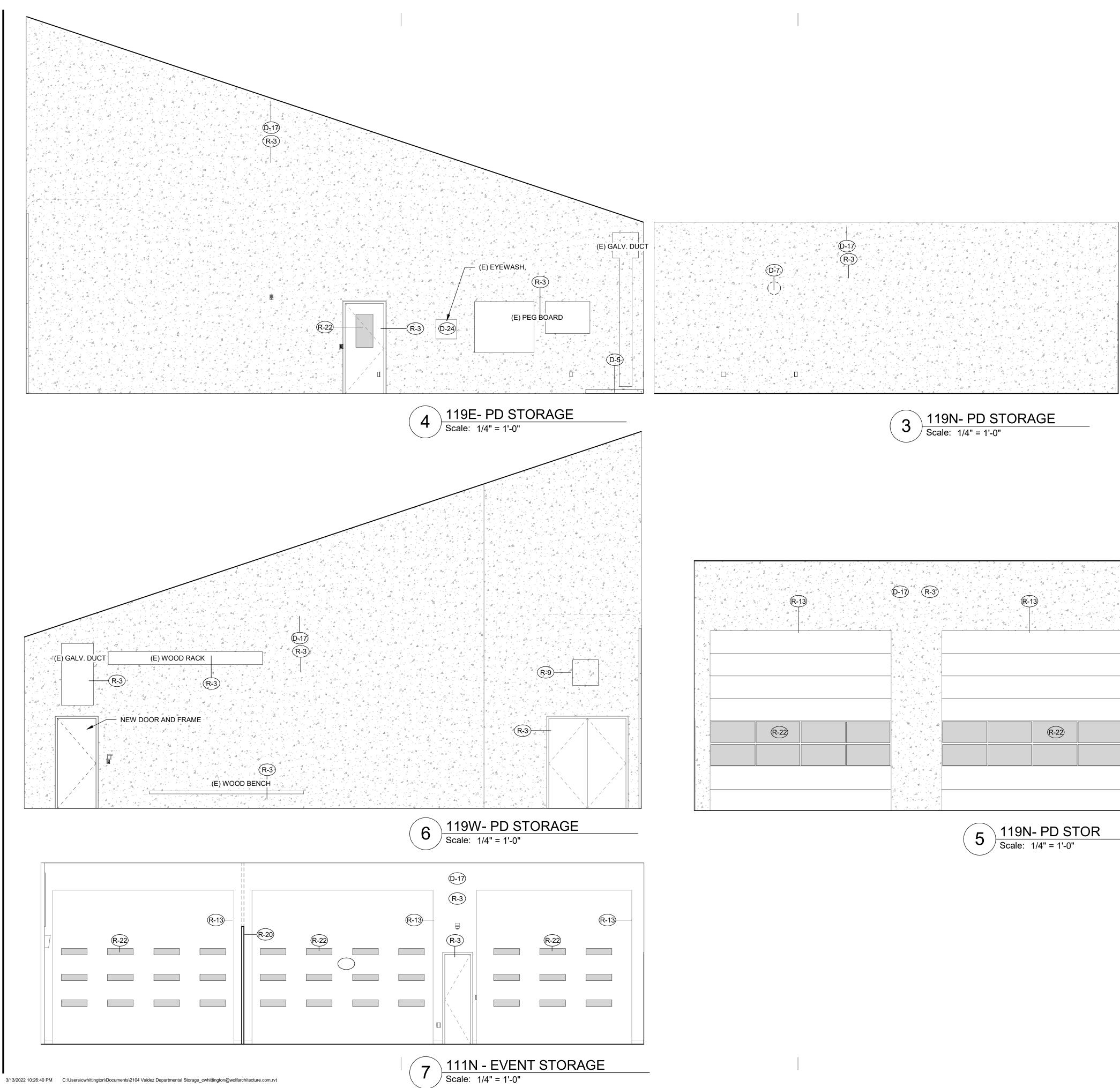


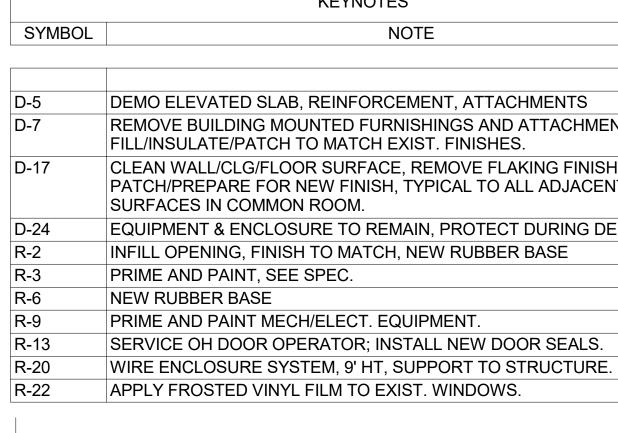
SHEET CONTENTS GARAGE BAY 4-5 ELEV/DETAILS, ALT. 2 A1.9

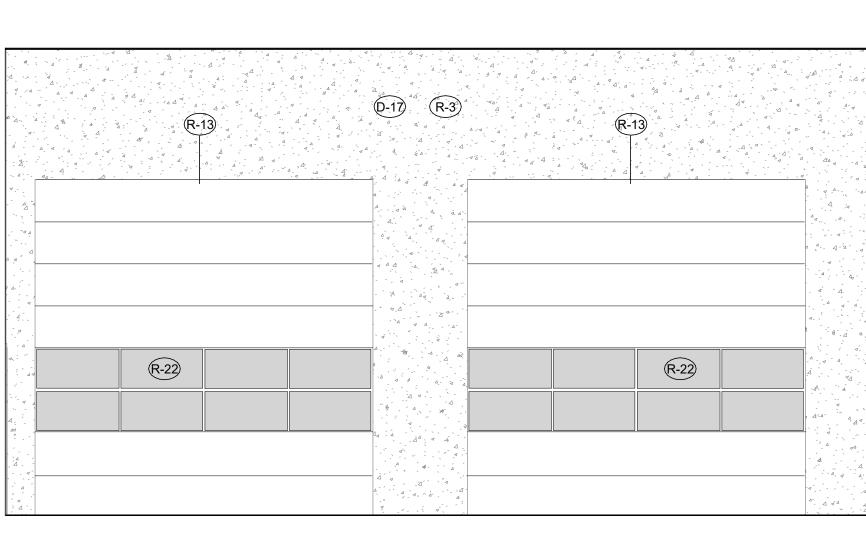


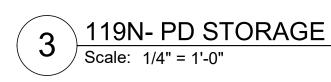


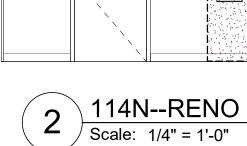
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2	7	5	

REMOVE BUILDING MOUNTED FURNISHINGS AND ATTACHMENTS; FILL/INSULATE/PATCH TO MATCH EXIST. FINISHES. CLEAN WALL/CLG/FLOOR SURFACE, REMOVE FLAKING FINISHES, PATCH/PREPARE FOR NEW FINISH, TYPICAL TO ALL ADJACENT SURFACES IN COMMON ROOM. EQUIPMENT & ENCLOSURE TO REMAIN, PROTECT DURING DEMOLITION INFILL OPENING, FINISH TO MATCH, NEW RUBBER BASE PRIME AND PAINT, SEE SPEC. PRIME AND PAINT MECH/ELECT. EQUIPMENT. SERVICE OH DOOR OPERATOR; INSTALL NEW DOOR SEALS.

DEMO ELEVATED SLAB, REINFORCEMENT, ATTACHMENTS

KEYNOTES		
NOTE		



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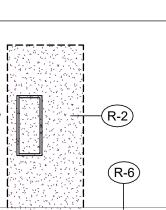
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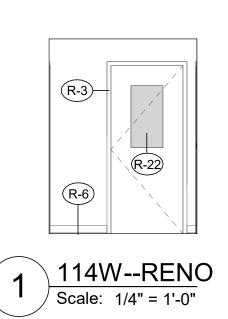
SHEET CONTENTS

INTERIOR ELEVATIONS

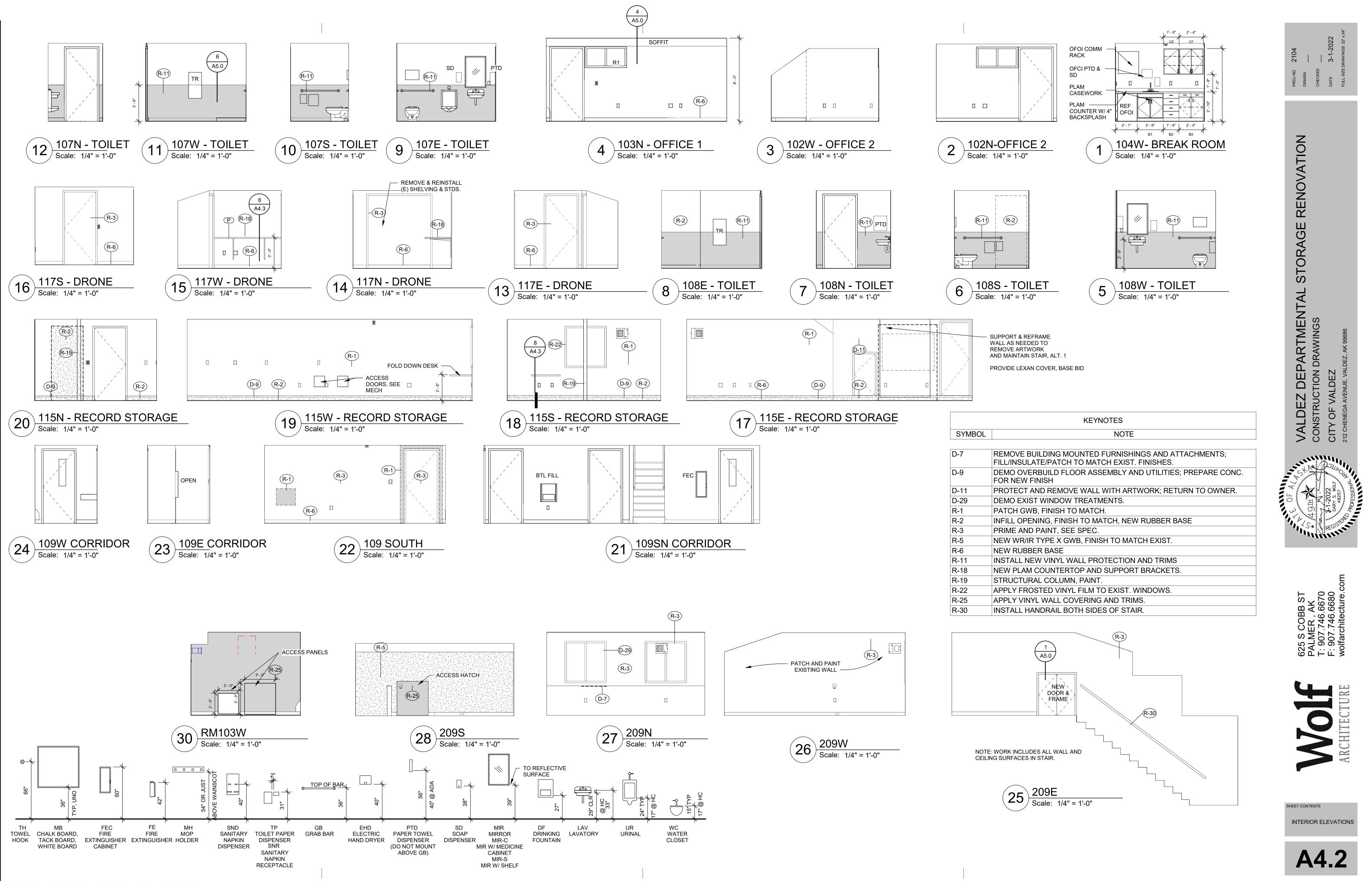
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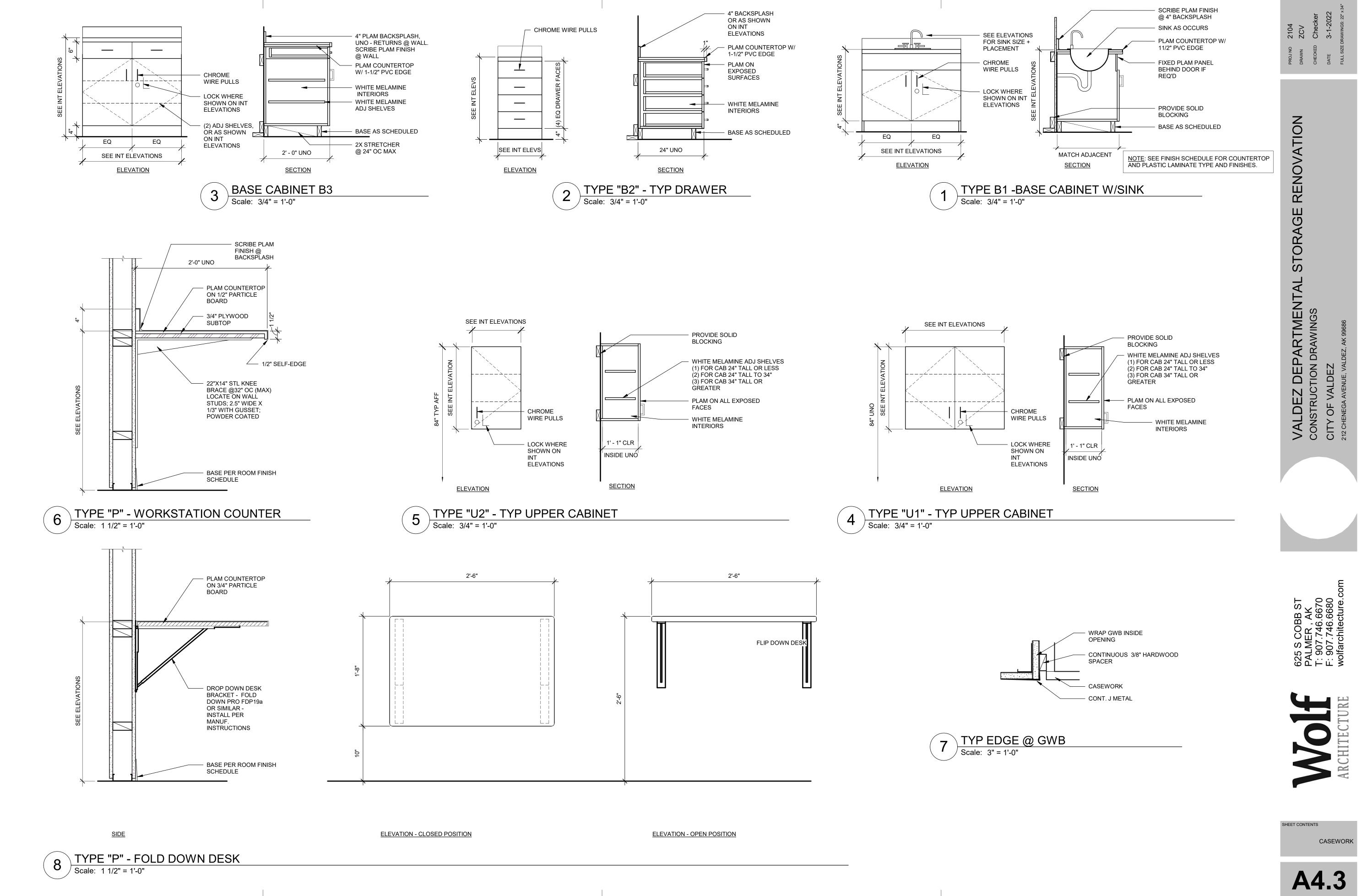


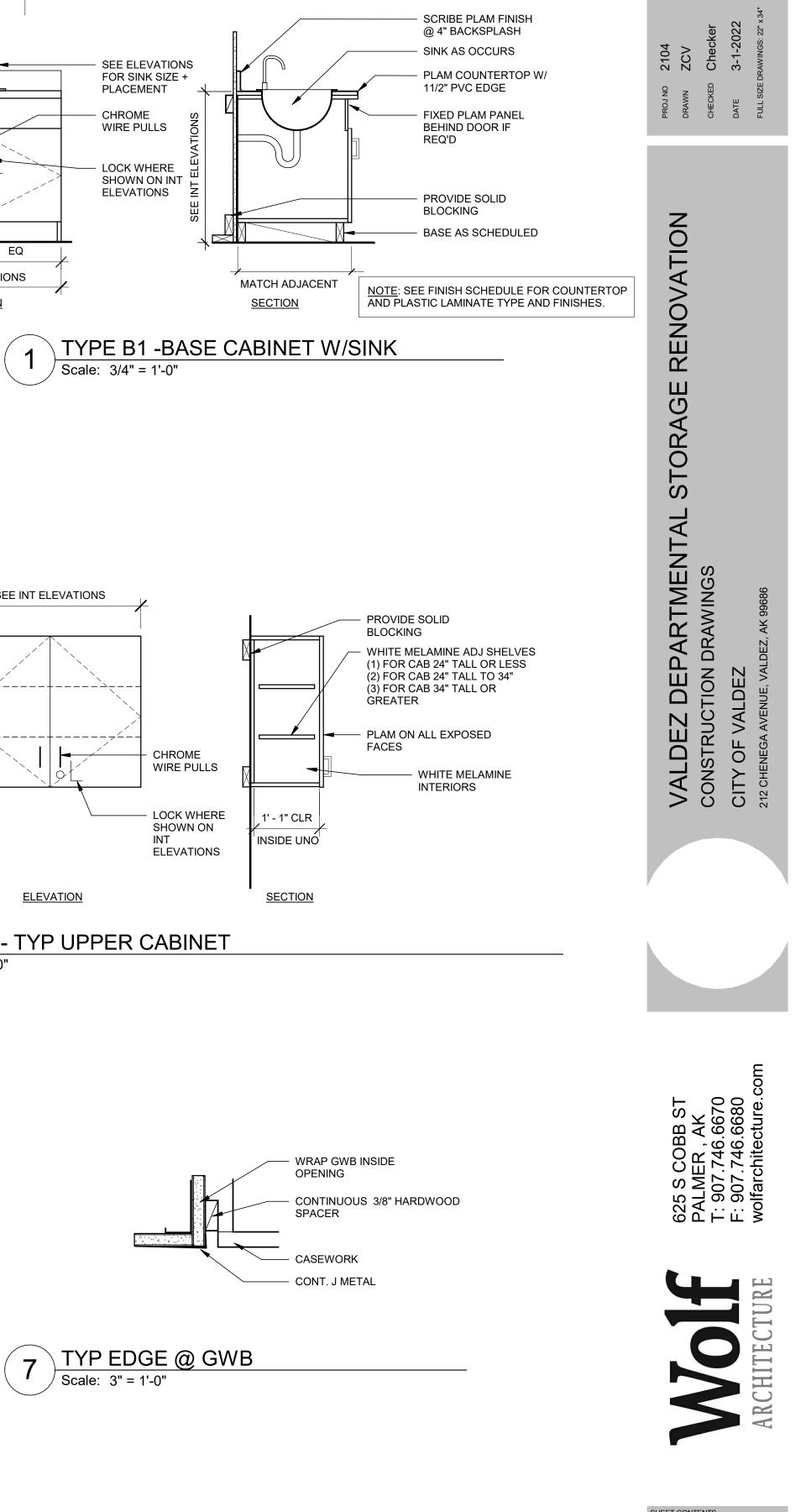


RAGE RENOVATION PROJ NO 2104 DRAWN	DATE 3-1-2022 FULL SIZE DRAWINGS: 22" x 34"
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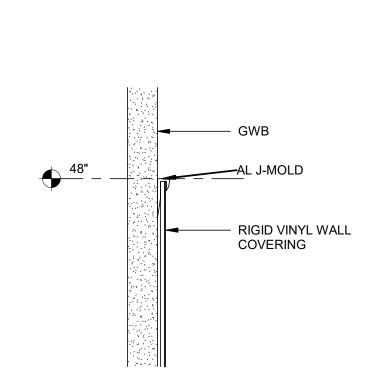


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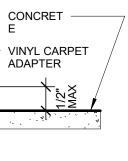


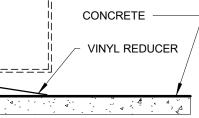






DOOR WHERE OCCURS, TYP CARPET -A CARPET TO CONCRETE RESIL OR SPORT FLOORING _____ B RESILIENT FLOORING TO CONCRETE CPT OR WOM CARPET TO RESILIENT FLOORING \bigcirc J MARBLE CERAMIC TILE TRANSITION THRESHOLD 1 3/8" CARPET -CARPET TO CERAMIC TILE \bigcirc MARBLE TRANSITION THRESHOLD RESIL, 1 3/8' FLOORING, CONC . . 4"⊅ . 4 · 4 á E RESIL FLOOR / CONC TO CERAMIC TILE NOTES: 1. REFER TO ROOM FINISH SCHEDULE & PLANS FOR SPECIAL FLOOR FINISHES 2. REFER TO DOOR HARDWARE SETS FOR OTHER SPECIFIED TRANSITIONS / THRESHOLDS

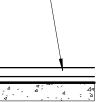


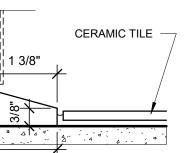


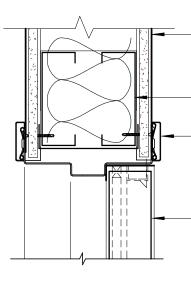


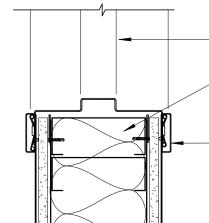


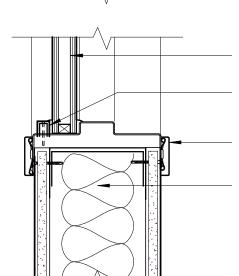








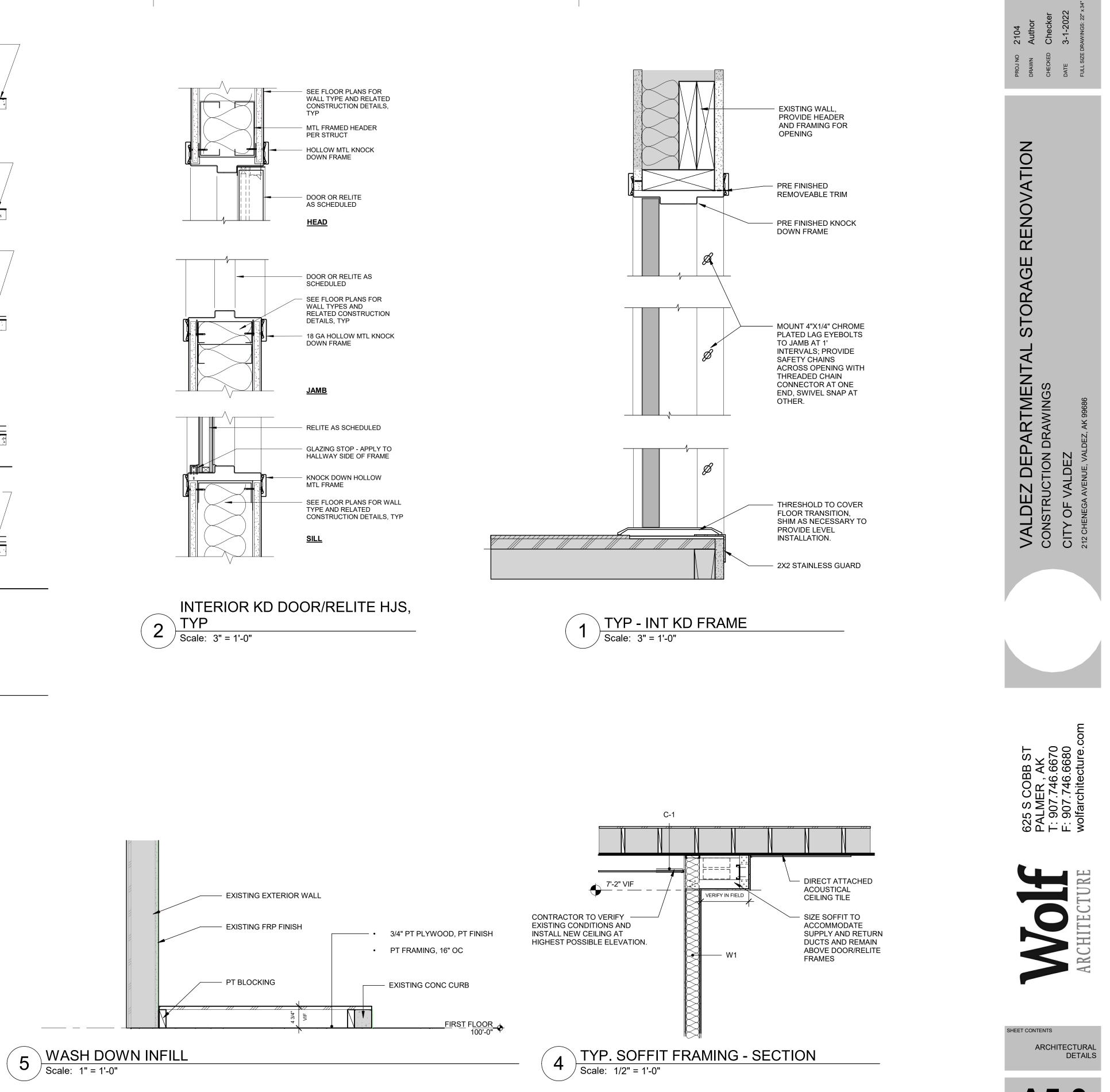




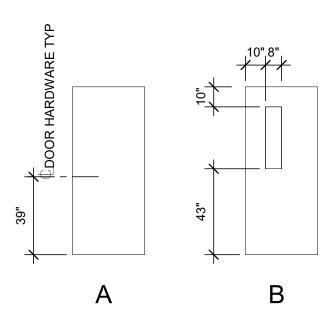
TYP

GLAZING STOP - APPLY TO HALLWAY SIDE OF FRAME



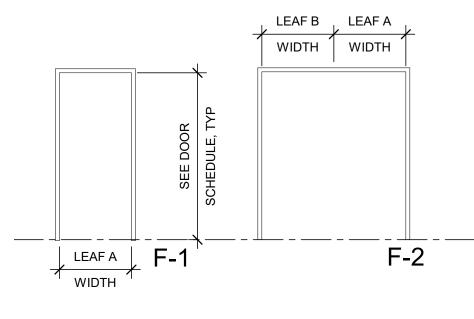


	DOOR SCHEDULE													
DOOR		DOOR	DOOR				DOOR			FRAME				DOOR
NO	PR	LEAF A	LEAF B	DOOR HT	DR THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HARDWARE	REMARKS / CODED NOTES	NO
102		2'-8"	0"	7'-0"	1 3/4"	A	WD	PLAM	F-1	HM	FF		ALT 1/VERIFY SIZE	102
102-1		2'-0"	0"	5'-0"	1 3/4"	A	WD	PLAM	F-1	HM	FF		ALT 1/VERIFY SIZE	102-1
103		3'-0"	0"	7'-0"	1 3/4"	A	WD	PLAM	F-1	HM	FF			102 1
104		3'-0"	0"	7'-0"	1 3/4"	В	WD	PLAM	F-1	HM	FF		ALT 1	104
107		3'-0"	0"	7'-0"	1 3/4"	А	WD	PLAM	F-1	НМ	FF		ALT 1	107
108		3'-0"	0"	7'-0"	1 3/4"	А	WD	PLAM	F-1	HM	FF		ALT 1	108
111		4'-0"	0"	7'-0"	1 3/4"	А	Welded Wire	FF	F-1	HM	FF		PART OF SYSTEM	111
112		4'-0"	0"	7'-0"	1 3/4"	А	Welded Wire	FF	F-1	HM	FF		PART OF SYSTEM	112
113		3'-0"	0"	7'-0"	1 3/4"	В	WD	PLAM	F-1	HM	FF			113
115		3'-0"	0"	7'-0"	1 3/4"	А	WD	PLAM	F-1	HM	PT			115
119-1		3'-0"	0"	7'-0"	1 3/4"	А	IHM	PT	F-1	IHM	PT		KEYPAD	119-1
209	PR	1'-9"	1'-9"	4'-0"	1 3/4"	А	HM	PT	F-2	STL	PT		VERIFY SIZE	209
E107		2'-6"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	HM	PT		BASE BID ONLY	E107
E109		3'-0"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	HM	PT		INTERIOR FINISH ONLY	E109
E115-1		2'-0"	0"	4'-0"	1 3/4"	А	WD	PT	F-1	WD	PT			E115-1
E116		2'-8"	0"	7'-0"	1 3/4"	А	WD	PT	F-1	WD	PT		PROVIDE SIGN FOR STEP	E116
E117		3'-0"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	HM	PT		NEW HARDWARE, KEYPAD	E117
E118		3'-0"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	HM	PT		NEW HARDWARE, KEYPAD	E118
E118-1		3'-0"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	HM	PT		NEW HARDWARE	E118-1
E119		3'-0"	0"	7'-0"	1 3/4"	D	HM	PT	F-1	HM	PT		NEW HARDWARE, KEYPAD	E119
E120	PR	3'-0"	3'-0"	7'-0"	1 3/4"	А	HM	PT	F-2	HM	PT		NEW HARDWARE	E120
E120-1		3'-0"	0"	7'-0"	1 3/4"	А	HM	PT	F-1	IHM	PT		INTERIOR FINISH ONLY	E120-1



DOOR TYPES

Scale: 1/4" = 1'-0"



FRAME TYPES - DOOR/RELITE Scale: 1/4" = 1'-0"

GENERAL DOOR & RELITE NOTES

- 1. ALL DOORS TO BE 1 3/4" THICK, UNLESS NOTED OTHERWISE
- 2. ALL DOOR, RELITE, SIDELITE AND TRANSOM GLAZING TO HAVE FROSTED FILM UNLESS NOTED OTHERWISE.
- 3. REUSED EXISTING DOORS TO BE SERVICED AND FUNCTIONING HARDWARE REUSED OR RETURNED TO OWNER.
- 5. GLAZING DIMENSIONS FOR DOOR TYPES ARE TO INSIDE OF FRAME (CLEAR GLAZING AREA). ACTUAL CUTOUT AND TOTAL FRAME WILL BE SLIGHTLY LARGER
- 6. RELITE GLAZING AND STOP TO OCCUR ON CORRIDOR SIDE OF FRAME, UNLESS NOTED OTHERWISE
- 7. ALL DOOR HANDLES TO BE LEVER TYPE COMPLYING WITH ADA
- 8. ALL RELITE AND TRANSOM GLAZING AND LITES IN DOORS TO BE TEMPERED GLASS
- 9. INTERIOR DOOR FRAMES ARE TO BE PREFINISHED, COLOR TO BE SELECTED, EXTERIOR DOOR FRAMES ARE TO MATCH EXIST. COLOR.

	ROOM FINISH SCHEDULE											
ROOM				FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL			
NUMBER	NAME	CEILING	PLAM	FIN	CLR	FIN	FIN	FIN	FIN	Comments		
102	OFFICE 2	ACT-2/GWB	-	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	ALT 1;GWB OVER PANELING		
103	OFFICE1	ACT 2		CPT-1	RB-1	PT-1	PT-1	PT-1	PT-2	ALT 1; GWB OVER PANELING		
104	BREAK ROOM	GWB/PT-1	PL-1/PL-2	RS-1	RB-1	PT-1	PT-1	PT-1	PT-1/RVS	ALT 1		
107	TOILET	GWB/PT-1	-	RS-1	SELF	PT-1/RVS	PT-1/RVS	PT-1/RVS	PT-1/RVS	ALT 1		
108	TOILET	GWB/PT-1	-	RS-1	SELF	PT-1/RVS	PT-1/RVS	PT-1/RVS	PT-1/RVS	ALT 1		
109	CORRIDOR	ACT-1	-	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	ALT 1 (WALL PAINT INCLUDED IN BASE BID)		
111	EVENT STORAGE	(E)GWB/PT-1	-	-	RB-2	PT-1	PT-1	PT-1	PT-1	CLEAN AND PREP WALLS/CLG FOR NEW PAINT		
112	FUTURE STORAGE	(E)GWB/PT-1	-	-	RB-2	PT-1	PT-1	PT-1	PT-1	CLEAN AND PREP WALLS/CLG FOR NEW PAINT		
113	PASSAGE	(E)GWB/PT-1	-	EPY	RB-2	PT-1	PT-1	PT-1	PT-1	RUBBER BASE ON SOUTH AND EAST		
114	PASSAGE	(E)GWB/PT-1	-	EPY	RB-2	PT-1	PT-1	PT-1	PT-1			
115	RECORD STORAGE	ACT-1	PL-1	EPY	RB-1	PT-1	PT-1	PT-1	PT-1			
116	STAIR	(E)GWB/PT-1	-	RS-1/RTR	RB-2	PT-1	PT-1	PT-1	PT-1	CLEAN/PREP PANELING & HANDRAIL FOR PT		
117	DRONE STORAGE	(E)GWB/PT-1	PL-1	EPY	RB-1	-	-	-	-	CLEAN ALL FRP SURFACES; PATCH CEILING		
118	IT STORAGE	-	-	-	RB-1	-	-	FRP/E	FRP/E	CLEAN AND PATCH EXIST. FRP WALLS/CLG AS NEEDED		
119	PD STORAGE	(E)MTL DECK/PT-1	-	-	RB-2	PT-1	PT-1	PT-1	PT-1	CLEAN AND PREP WALLS/CLG FOR NEW PAINT		
120	AIR ROOM	-	-		-	PT-1	PT-1	PT-1	PT-1	FINISHES LIMITED TO 10'AFF		
131	STAIR	(E)GWB/PT-1	-	RS-1/RTR	RB-2	PT-1	PT-1	PT-1	PT-1	CLEAN/PREP WALLS,CLG & HANDRAIL FOR PT		
136	GARAGE	-	-	-	-	-	-	-	-	ALT 2		
209	MEZZANINE	(E)ACT/GWB/PT-1	-	LP	RB-1	PT-1	PT-1	PT-1	PT-1	PATCH WALLS, CEILING, FLOOR; GWB OVER PANELING		

FINISH MATERIAL LEGEND

CODE	MATERIAL	MANUFACTURER	PATTERN/STY
FLOORS CPT-1 EPY LP RTR	CARPET TILE EPOXY PAINT LAMINATE PLANK	MOHAWK AZ POLYMERS SHAW BOD ROPPE #96	WAVELENGTH XXX MATCH EXISTI SINGLE-PIECE
	<u>SE</u> RESILIENT BASE RESILIENT BASE SELF-COVED TO 6" AFF	ROPPE ROPPE (SAME AS FLOOR MATERIAL	COVE PROFILE COVE PROFILE)
WALLS PT-1 PT-2 RVS	PAINT PAINT RIGID VINYL SHEET	SHERWIN WILLIAMS SHERWIN WILLIAMS INPRO CORP	PER SPECIFICA PER SPECIFICA 0.60" THICK
<u>CEILINGS</u> ACT-1 ACT-2	<u>S</u> ACOUSTIC CEILING TILE ACOUSTIC CEILING TILE	ARMSTRONG ARMSTRONG	FINE FISSUREI DURATILE, 1X1
PL-1	<u>PRK MATERIALS</u> PLASTIC LAMINATE PLASTIC LAMINATE	FORMICA FORMICA	HIGH PRESSU HIGH PRESSU
<u>WINDOW</u> ROLLER	<u>' TREATMENT</u> SHADES	HUNTER DOUGLAS	DESIGNER RO

MISCELLANEOUSGWBGYPSUM WALL BOARDRGWBMOISTURE/IMPACT RESISTANT GYPSUM WALL BOARDFFFACTORY FINISHEDAFFABOVE FINISHED FLOORTDOTDO

TBS TO BE SELECTED UNO UNLESS NOTED OTHERWISE

SANITARY WALL COVERING

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE VENTILATING RUBBER BASE

VINYL WALL COVERING

SHEET VINYL

WALL PADS

SWC

SV UNO

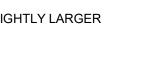
VCT VRB

VWC

WP

FINISH ABBREVIATIONS

AL APC	ALUMINUM ACOUSTICAL PANEL CEILING	1.		AN ASTERISK (*) IN THE FINISH S
AWP CLR	ACOUSTICAL WALL PANEL COLOR	2.		ALL FLOORING/COLOR TRANSIT
CONC CPT CT	CONCRETE CARPET CERAMIC TILE	3.		PAINT ALL INTERIOR MECHANIC UNLESS NOTED OTHERWISE.
EM EP	ENTRY MAT EPOXY PAINT	4.		VINYL WALL COVERING COLOR
EXP FF	EXPOSED FACTORY FINISHED	5.	.	PAINT ALL EXISTING HM DOOR &
	FINISH GLAZING	6.	.	PAINT ALL EXISTING HM DOORS
LN	GYPSUM BOARD LINOLEUM MATERIAL MINERAL COMPOSITE SCULPTURAL	7.		ALL GYP BD CEILINGS TO BE PA
PANEL MTL	METAL			
PT	PAINT			
RAF RB RFT RSS SLR STL	RESILIENT ATHLETIC FLOORING RUBBER BASE RESILIENT FLOORING TILE RUBBER STAIR STRINGER SEALER STEEL			



R-1

COLOR

TING E RUBBER TREAD/RISER STYLE

LE--4" LE--6"

ICATIONS ICATIONS

RED/SECOND LOOK, 2X4 TEGULAR X1 DIRECT APPLIED

SURE LAMINATE / MATTE FINISH SURE LAMINATE / MATTE FINISH

OLLER SHADES W/CORD LOOP

949 CADENCE TBS MATCH EXIST. 150 DARK GREY

150 DARK GREY 150 DARK GREY

SW 8917 SHELL WHITE SW 9138 STARDEW SILVER

8906-58 DANISH MAPLE 6698-58 PALOMA POLAR

TBD

INTERIOR FINISH GENERAL NOTES

THE FINISH SCHEDULE REFERENCES CODED NOTES IN THE REMARKS COLUMN. OR TRANSITIONS WHERE REQUIRED SHALL BE CENTERED UNDER DOOR. R MECHANICAL LOUVERS, WHERE EXPOSED TO MATCH ADJACENT SURFACE,

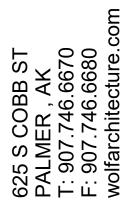
RING COLOR TO BE _._.

G HM DOOR & RELITE FRAMES PAINT COLOR _._ UNLESS NOTED OTHERWISE.

G HM DOORS PAINT COLOR __ UNO.

GS TO BE PAINT ._, UNO.

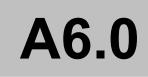
OF ALA		PROJ NO 21
	VALDEZ DEPARIMENTAL STORAGE RENOVATION	DRAWN CV
A THO TO A	CONSTRUCTION DRAWINGS	снескер GV
A -1-2022	CITY OF VALDEZ	рате 3-1
ADTESSION ACTION	212 CHENEGA AVENUE, VALDEZ, AK 99686	FULL SIZE DRAWI



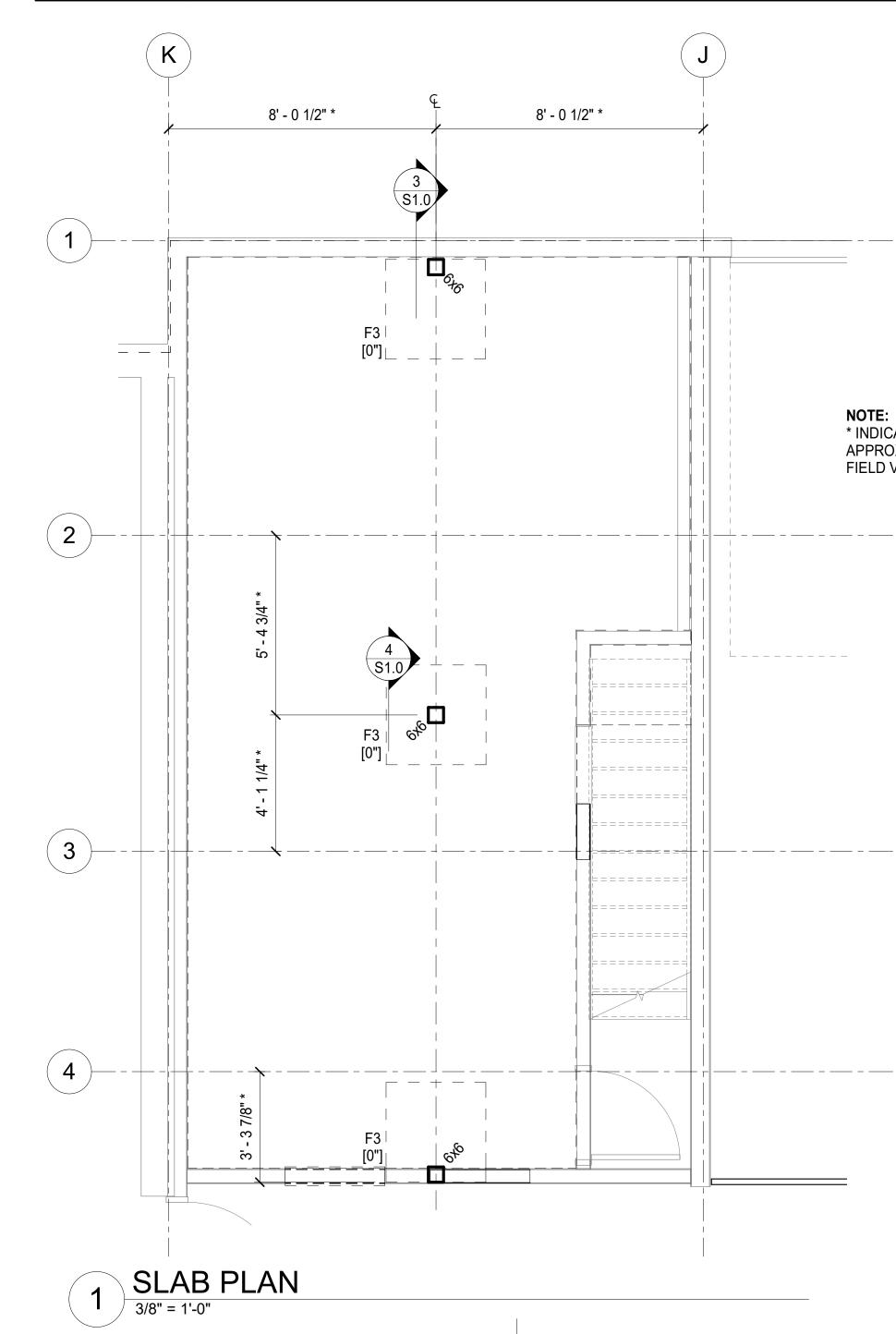


SHEET CONTENTS

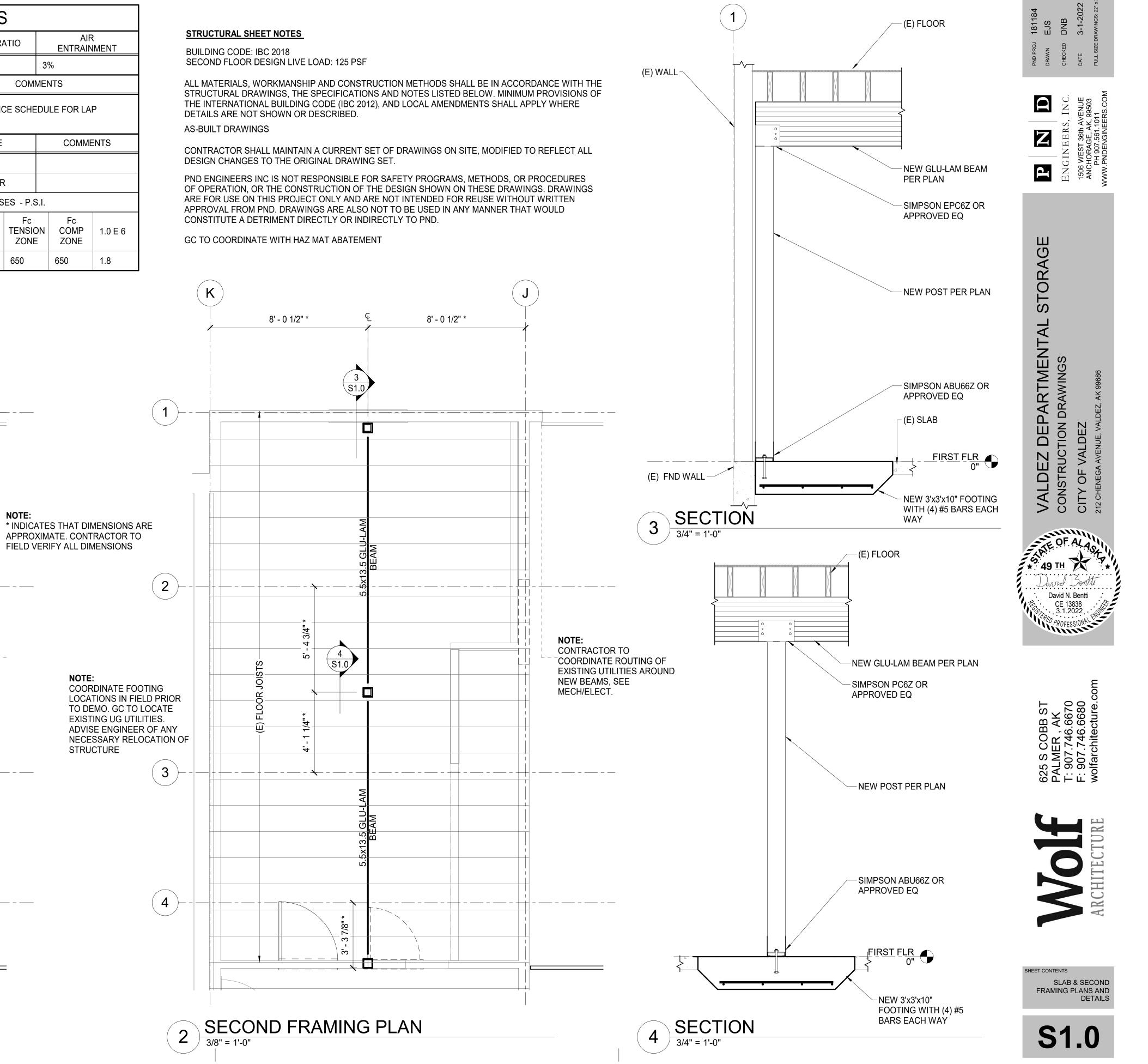
SCHEDULES



SCHEDULE OF CONSTRUCTION MATERIALS											
CONCRETE	LOCATION			28-DAY STRENGTH		M	AX. W/C R/	ΑΤΙΟ	AIF ENTRAIN		
	INTERIOR SL	ABS (NOT EXPOSED TO FREEZING)	4,00	0 P.S.I.		0.45			3%		
REINFORCING		TYPE					COMM	ENTS			
	FABRICATED	FABRICATED AND STRAIGHT BARS			ASTM A615, GRADE 60			SEE LAP SPLICE SCHEDULE FOR LAP			
	FIELD BENT				ASTM A615, GRADE 40			LENGTHS			
WOOD		APPLICATION	SPECIES			GRADE			COMMENTS		
	DIMENSION LUMBER	POSTS	HEM-FIR	HEM-FIR		NO. 1					
	LUMDER	BLOCKING, MISC FRAMING	HEM-FIR	HEM-FIR			& BETTER	R			
	GLUED-		ALLC			DWABLE STRESSES - P.S.I.					
	LAMINATED BEAMS		SPECIES COMB	Fb TENSION ZONE	Fb COM ZON	1P	Fv	Fc TENSION ZONE	Fc COMP ZONE	1.0 E 6	
		SIMPLE SPANS	DF V4	2400	1850		190	650	650	1.8	



NOTE:





GENERAL NOTES

- 1. THE HAZARDS ABATEMENT PORTION OF THIS PROJECT INCLUDES THE DISTURBANCE AND/OR REMOVAL AND DISPOSAL OF SELECTED ASBESTOS-CONTAINING MATERIALS, MERCURY-CONTAINING MATERIALS, LEAD-CONTAINING MATERIALS, AND ITEMS CONTAINING RADIOACTIVE COMPOUNDS. THE PURPOSE OF THE HAZARDS ABATEMENT PORTION OF THE WORK IS TO REMOVE THESE MATERIALS FROM THE "OLD" "OLD" VALDEZ FIRE STATION PRIOR TO RENOVATION OR DEMOLITION SO THAT PERSONNEL CAN SAFELY PERFORM THEIR WORK WITHOUT CREATING HAZARDS TO HEALTH OR THE ENVIRONMENT.
- 2. THE WORK DOES NOT INCLUDE REMOVAL OF ALL HAZARDOUS MATERIALS IN THE BUILDING. REMOVE HAZARDOUS MATERIALS COORDINATING WITH OTHER TRADES, AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS, OUTLINED IN THE SPECIFICATIONS, AND AS REQUIRED TO COMPLETE THE WORK. "REMOVAL" INCLUDES PROPER HANDLING, PACKAGING AND DISPOSAL OF MATERIALS REMOVED.
- 3. POTENTIALLY HAZARDOUS MATERIALS SUCH AS MERCURY-CONTAINING LAMPS, SELF-ILLUMINATING EXIT SIGNS CONTAINING RADIOACTIVE COMPONENTS, METALLIC LEAD ITEMS, REFRIGERANTS, AND HEATING SYSTEM GLYCOL AFFECTED BY THE PROJECT ARE TO BE REMOVED AND DISPOSED OF PROPERLY. REFER TO SPECIFICATIONS AND THE CONTRACTOR'S APPROVED WORK PLAN FOR HAZARDOUS MATERIALS REMOVAL, DISTURBANCE, CLEARANCE, AND DISPOSAL PROCEDURES.
- LEAD-BASED PAINTS (PAINT CONTAINING EQUAL TO OR GREATER THAN 1.0 mg/cm²) WERE IDENTIFIED DURING THE LIMITED LEAD TESTING SHOWN IN THE HAZMAT SURVEY, AND LEAD-BASED PAINTS MAY BE PRESENT AT OTHER LOCATIONS. LOW LEVELS OF LEAD FOUND BY XRF TESTING DOES NOT MEAN THE PAINTS ARE FREE OF LEAD, THE PAINTS MAY CONTAIN MEASURABLE AMOUNTS OF LEAD. LEAD-CONTAINING MATERIALS INCLUDE ALL PAINTED SURFACES, CERAMIC TILES, AND METALLIC LEAD, AS WELL AS LEAD-CONTAINING DUSTS. THIS IS NOT A LEAD ABATEMENT PROJECT, AND ALL TRADES WILL LIKELY DISTURB SOME LEAD-CONTAINING MATERIALS. CONTROL WORKER EXPOSURES USING LEAD-SAFE WORK PRACTICES AND CHOICE OF MEANS AND METHODS OF CONDUCTING THE WORK TO COMPLY WITH 29 CFR 1926.62 AND TO AVOID CONTAMINATION OF THE WORK AREA AND SITE.
- PERFORM INITIAL AIR MONITORING TESTS ON ALL TASKS THAT DISTURB ASBESTOS OR LEAD-CONTAINING MATERIALS, DUST OR PAINT TO DETERMINE THE APPROPRIATE WORKER AND SITE PROTECTION PROCEDURES REQUIRED. DUE TO THE AGE OF THE BUILDINGS, METALLIC LEAD IS ASSUMED PRESENT IN BELL AND SPIGOT PIPE JOINTS AND IN SOLDER ON COPPER PIPES.
- 6. SETTLED AND CONCEALED DUST ON ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL COMPONENTS THROUGHOUT THE PROJECT AREA(S) IS ASSUMED TO CONTAIN REGULATED AIR CONTAMINANTS INCLUDING ASBESTOS AND LEAD. WORK OF ALL TRADES MAY INCLUDE DISTURBANCE OF ASBESTOS AND LEAD AND MAY RESULT IN WORKER EXPOSURE TO ASBESTOS AND LEAD ABOVE THE OSHA ACTION LEVEL OR PERMISSIBLE EXPOSURE LIMITS FOR ASBESTOS OR LEAD IF PROPER WORK PRACTICES AND/OR ENGINEERING CONTROLS ARE NOT USED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE APPROPRIATE WORKER AND SITE PROTECTION PROCEDURES SO THAT THEIR WORKERS ARE NOT EXPOSED ABOVE THOSE LIMITS AND THAT WORK IS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE PRESENCE OF ASBESTOS OR LEAD IN DUSTS DOES NOT NECESSARILY MAKE THEM A HAZARD TO WORKERS OR A HAZARDOUS WASTE.
- THE CONTRACTOR'S INDEPENDENT LABORATORY SHALL PROVIDE ALL INSPECTIONS, MONITORING, SAMPLING, ANALYSES AND REPORTING SERVICES AS SPECIFIED. CLEARANCE AIR MONITORING SHALL BE CONDUCTED IN ACCORDANCE WITH 40 CFR 763. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SAMPLING.
- LOCATIONS OF MATERIALS SHOWN ON THESE DRAWINGS ARE SCHEMATIC AND APPROXIMATE. FIELD VERIFY AND COORDINATE CONSTRUCTION DETAILS, DIMENSIONS, WORK CONDITIONS, AND LOCATIONS WHICH WILL AFFECT THE REMOVAL OR DISTURBANCE OF HAZARDOUS MATERIALS. HAZARDOUS MATERIALS MAY HAVE COME LOOSE AND FALLEN ONTO FLOORS, CEILINGS, CHASES, OR WALL CAVITIES. THE QUANTITIES SHOWN IN THE SHEET SUMMARY ARE APPROXIMATE AND MAY VARY DEPENDING ON THE CONTRACTOR'S MEANS AND METHODS. REQUIRE ALL TRADES TO COORDINATE WITH EACH OTHER AND TO CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION, SEE DRAWINGS OF ALL DISCIPLINES FOR ADDITIONAL INFORMATION RELATING TO HAZARDOUS MATERIALS. IMMEDIATELY COMMUNICATE ALL DISCREPANCIES IN QUANTITIES TO THE OWNER. REFER TO HAZARDOUS MATERIALS ASSESSMENT FOR MORE INFORMATION ABOUT POTENTIALLY HAZARDOUS MATERIALS THAT ARE NOT SCHEDULED FOR DISTURBANCE BY THIS PROJECT. FURNISH ALL WORK AND MATERIALS REQUIRED FOR A FINISHED PROJECT AS DESCRIBED IN THE CONTRACT DOCUMENTS. QUANTITIES LISTED WITH A * MAY VARY DEPENDING ON THE CONTRACTOR'S MEANS AND METHODS. CONTRACTOR'S MEANS AND METHODS RESULTING IN ADDITIONAL MATERIALS REMOVAL SHALL NOT RESULT IN ADDED CONTRACT COSTS TO THE OWNER.
- PROVIDE ALL WASTE TESTING, PACKAGING, HANDLING, TRANSPORTATION AND DISPOSAL. ALL COSTS FOR DISPOSAL SHALL BE BORNE BY THE CONTRACTOR. PERFORM TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) TEST(S) OF WASTE(S) CONTAINING LEAD OR PAINTED WITH LEAD-CONTAINING PAINT TO CHARACTERIZE THE WASTE(S) AS HAZARDOUS OR NON-HAZARDOUS PRIOR TO DISPOSAL. PERFORM TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) TEST(S) OF HEAT TRANSFER FLUIDS (GLYCOL) IN HEATING SYSTEM TO CHARACTERIZE THE WASTE(S) AS HAZARDOUS OR NON-HAZARDOUS PRIOR TO DISPOSAL. COORDINATE REQUIREMENTS OF LANDFILL(S) REGARDING MATERIALS PACKAGING, HANDLING, AND DISPOSAL REQUIREMENTS PRIOR TO SUBMITTING BID.
- 10. MANY OF THE ORIGINAL ASBESTOS-CONTAINING FINISHES IN THIS BUILDING ARE CONCEALED BY NEWER FINISHES OR UNDER FIXED CABINETRY AND COMPONENTS, INCLUDING UNDER WALLS AT SOME LOCATIONS. THE WORK INCLUDES REMOVAL OF THOSE CONCEALED MATERIALS ONLY IF REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT. FOR FLOORING MATERIALS, THE VINYL ASBESTOS TILE WAS PARTIALLY REMOVED FROM THE BUILDING, HOWEVER, THE ORIGINAL ASBESTOS-CONTAINING BLACK FLOORING MASTICS WERE NOT. DEBRIS FROM THE VINYL ASBESTOS TILE IS TYPICALLY FOUND AT THE PERIMETERS OF THE PRIOR REMOVAL ACTIVITIES UNLESS NOTED OTHERWISE. ALL NEWER REPLACEMENT FLOORING (CARPET AND SHEET VINYL) ADHERED TO THE OLDER ASBESTOS-CONTAINING FLOORING MATERIALS ARE ASSUMED TO BE CONTAMINATED BY THE UNDERLYING ASBESTOS-CONTAINING FLOORING MATERIALS. IN AREAS WHERE ASBESTOS-CONTAINING SHEET VINYL IS TO BE REMOVED. THE SHEET VINYL IS ASSUMED TO BECOME FRIABLE DURING REMOVAL AND SHALL BE PERFORMED AS A CLASS I ASBESTOS ABATEMENT OPERATION AND DISPOSED OF AS RACM WASTE. SIMILARLY, WHERE NEWER NON-ASBESTOS-CONTAINING SHEET VINYL IS TO BE REMOVED, REMNANTS OF FORMER FLOORING MATERIALS ARE ASSUMED TO BE FRIABLE AND SHALL BE PERFORMED AS A CLASS I ASBESTOS ABATEMENT OPERATION AND DISPOSED OF AS RACM WASTE. ASBESTOS-CONTAINING AND/OR ASBESTOS-CONTAMINATED MASTICS SHALL BE COMPLETELY REMOVED FROM SUBSTRATES TO REMAIN. GYPSUM BOARD SYSTEMS WITH ASBESTOS-CONTAINING JOINT COMPOUND, AS WELL AS ASBESTOS-CONTAINING SPRAY-APPLIED TEXTURE COMPOUNDS WHERE PRESENT, ARE CONCEALED BY NEWER REPLACEMENT FINISHES IN MANY LOCATIONS. ALL WORK PENETRATING OR OTHERWISE DISTURBING CONCEALED GYPSUM BOARD SYSTEMS SHALL BE ASSUMED TO DISTURB THE CONCEALED ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-APPLIED TEXTURE COMPOUNDS.
- 11. PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION IS FOUND THROUGHOUT THE 1966 ERA OF THE BUILDING ON DOMESTIC HOT AND COLD WATER PIPING, VENT PIPING, RAIN LEADER PIPING, AND HEATING SUPPLY AND RETURN PIPING. THE "HARD FITTING" INSULATION WAS REPORTEDLY REMOVED FROM ELECTRICAL E106 AND VEHICLE BAY E111, HOWEVER, REMNANT "HARD FITTING" INSULATION WAS OBSERVED IN ELECTRICAL ROOM E106 DURING THE SEPTEMBER 2021 SURVEY. AND REMNANTS OF THE "HARD FITTING" INSULATION MAY BE FOUND UNDER NEWER REPLACEMENT FIBERGLASS INSULATION. THE HEATING SUPPLY AND RETURN PIPING INSIDE OF FINTUBE ENCLOSURES TYPICALLY HAS "HARD FITTING" INSULATION, HOWEVER, PORTIONS OF THE OLDER INSULATION APPEAR TO HAVE BEEN REMOVED. IN THOSE LOCATIONS, REMNANTS OF THE ASBESTOS-CONTAINING "HARD FITTING" INSULATION ARE ASSUMED TO EXIST BENEATH NEWER INSULATING MATERIALS. DAMAGED "HARD FITTING" INSULATION WAS FOUND ON EXPOSED PIPING AND IN CONCEALED WALL AND CEILING SPACES. DAMAGED "HARD FITTING" INSULATION IS TO BE REPAIRED AND ENCAPSULATED WHERE PIPING IS EXPOSED BY THE WORK BUT OTHERWISE SCHEDULED TO REMAIN. ALL ADJACENT SURFACES CONTAMINATED BY DUST AND DEBRIS FROM DAMAGED "HARD FITTING" INSULATION ENCOUNTERED WITHIN THE PROJECT AREAS SHALL BE REMOVED AND DISPOSED OF BY PROPERLY TRAINED PERSONNEL.

ESTIMATED QUANTITIES TO BE REMOVED (ADDITIVE ALTERNATE #2)

INCIDENTAL QUANTITIES OF MATERIALS, INCLUDING LEAD-CONTAINING MATERIALS, THAT ARE REQUIRED TO BE REMOVED TO COMPLETE THE WORK, BUT OTHERWISE ARE TO REMAIN, ARE NOT INCLUDED HERE, AS THEY WILL VARY DEPENDING ON THE CONTRACTOR'S CHOICE OF MEANS AND METHODS.

- FACH MERCURY-CONTAINING FLUORESCENT LIGHT TUBES
- EACH ASSUMED PCB-CONTAINING LIGHT BALLASTS

ESTIMATED QUANTITIES TO BE REMOVED (ADDITIVE ALTERNATE #1)

INCIDENTAL QUANTITIES OF MATERIALS, INCLUDING LEAD-CONTAINING MATERIALS, THAT ARE REQUIRED TO BE REMOVED TO COMPLETE THE WORK, BUT OTHERWISE ARE TO REMAIN, ARE NOT INCLUDED HERE, AS THEY WILL VARY DEPENDING ON THE CONTRACTOR'S CHOICE OF MEANS AND METHODS.

- SQUARE FEET OF VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER CARPET 350
- SQUARE FEET OF VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER WALLS
- SQUARE FEET OF REMNANT FRIABLE VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER SHEET VINYL 200
- SQUARE FEET OF CARPET CONTAMINATED BY ASBESTOS-CONTAINING BLACK FLOORING MASTIC
- 1.625 SQUARE FEET OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND
- LINEAR FEET OF ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES
- LINEAR FEET OF FIBERGLASS INSULATED PIPING WITH 100 EACH ASBESTOS-CONTAINING "HARD FITTINGS" INSULATION 300
- EACH ALLOWANCE FOR REPAIR OF DAMAGED "HARD FITTING" INSULATION WHICH IS TO REMAIN BUT WITHIN THE PROJECT AREA
- EACH EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES
- EACH MERCURY-CONTAINING FLUORESCENT LIGHT TUBES AND COMPACT FLUORESCENT LAMPS
- EACH SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS
- EACH MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST
- LOT OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL
- LOT OF ASSUMED ASBESTOS-CONTAINING GASKETS AND VALVE PACKINGS ON PIPING SYSTEMS

LEGEND (BASE BID) FADED LINEWORK & HATCHING INDICATE MATERIALS ARE TO REMAIN & ARE FOR REFERENCE ONLY

VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, EXPOSED

VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER WALLS

ASBESTOS-CONTAINING SHEET VINYL WITH ASSUMED ASBESTOS-CONTAMINATED MASTICS

ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER REPLACEMENT FLOORING MATERIALS

ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER WALLS

+ + + + + . GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND

GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE \bigcirc

GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND

GYPSUM BOARD WALL WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE

ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES

HHHH FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION

EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES

SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS

MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST

ESTIMATED QUANTITIES TO BE REMOVED (BASE BID)

INCIDENTAL QUANTITIES OF MATERIALS, INCLUDING LEAD-CONTAINING MATERIALS, THAT ARE REQUIRED TO BE REMOVED TO COMPLETE THE WORK, BUT OTHERWISE ARE TO REMAIN, ARE NOT INCLUDED HERE, AS THEY WILL VARY DEPENDING ON THE CONTRACTOR'S CHOICE OF MEANS AND METHODS.

- SQUARE FEET OF VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, EXPOSED
- SQUARE FEET OF VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER WALLS
- SQUARE FEET OF ASBESTOS-CONTAINING SHEET VINYL WITH ASSUMED ASBESTOS-CONTAMINATED MASTICS
- SQUARE FEET OF ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER REPLACEMENT FLOORING MATERIALS 600
- SQUARE FEET OF ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER WALLS
- 725 SQUARE FEET OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND
- SQUARE FEE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE
- LINEAR FEET OF ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES
- LINEAR FEET OF FIBERGLASS INSULATED PIPING WITH 25 EACH ASBESTOS-CONTAINING "HARD FITTINGS" INSULATION
- SQUARE FEET OF VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING FLOORING MASTICS
- EACH EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES
- EACH MERCURY-CONTAINING FLUORESCENT LIGHT TUBES AND COMPACT FLUORESCENT LAMPS 115
- EACH SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS
- EACH MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST
- LOT OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL
- 1 LOT OF ASSUMED ASBESTOS-CONTAINING GASKETS AND VALVE PACKINGS ON PIPING SYSTEMS

ESTIMATED QUANTITIES TO BE REMOVED (ADDITIVE ALTERNATE #3)

INCIDENTAL QUANTITIES OF MATERIALS, INCLUDING LEAD-CONTAINING MATERIALS, THAT ARE REQUIRED TO BE REMOVED TO COMPLETE THE WORK, BUT OTHERWISE ARE TO REMAIN, ARE NOT INCLUDED HERE, AS THEY WILL VARY DEPENDING ON THE CONTRACTOR'S CHOICE OF MEANS AND METHODS.

20 SQUARE FEET OF ARTWORK TO BE SALVAGED ON GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND WHICH IS TO BE REMOVED INTACT AND THE CUT EDGES ENCAPSULATED PRIOR TO TURNING OVER TO THE OWNER

LEGEND (ADDITIVE ALTERNATE #1) FADED LINEWORK & HATCHING INDICATE MATERIALS ARE TO REMAIN & ARE FOR REFERENCE ONLY

VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER CARPET

VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC. UNDER WALLS

REMNANT VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER SHEET VINYL

CARPET CONTAMINATED BY ASBESTOS-CONTAINING BLACK FLOORING MASTIC

GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE

GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND

GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND

ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES

FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION

EMERGENCY LIGHTS OR OTHER BATTERY DEVICE WITH UNIVERSAL WASTE BATTERIES

SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS

MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST.

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NOTIFICATION OF POTENTIAL HAZARDS

ASBESTOS, LEAD, AND OTHER HAZARDOUS MATERIALS ARE PRESENT IN THE BUILDING AND MAY IMPACT THE WORK OF ALL TRADES. REGULATED AIR CONTAMINANTS, INCLUDING ASBESTOS AND LEAD, ARE ALSO PRESENT IN SETTLED AND CONCEALED DUST IN AND ON ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL COMPONENTS OR SYSTEMS THROUGHOUT THE BUILDING. ALL TRADES SHALL COORDINATE WITH OTHER TRADES AND CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION. REFER TO SPECIFICATION DIVISIONS 0, 1, AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING, AND DISPOSING OF THESE MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.



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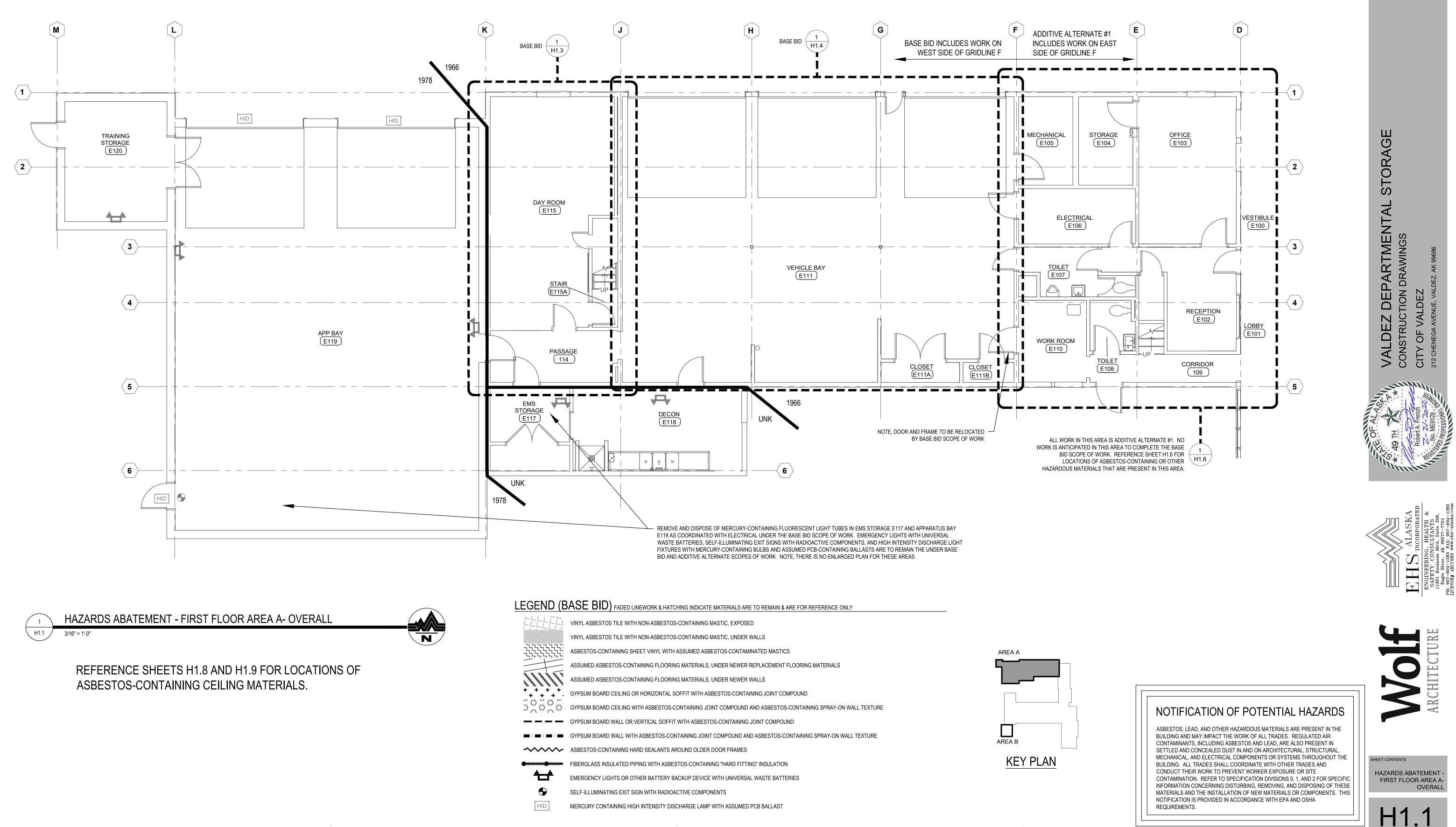
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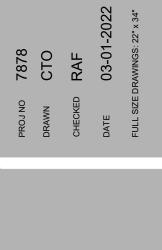


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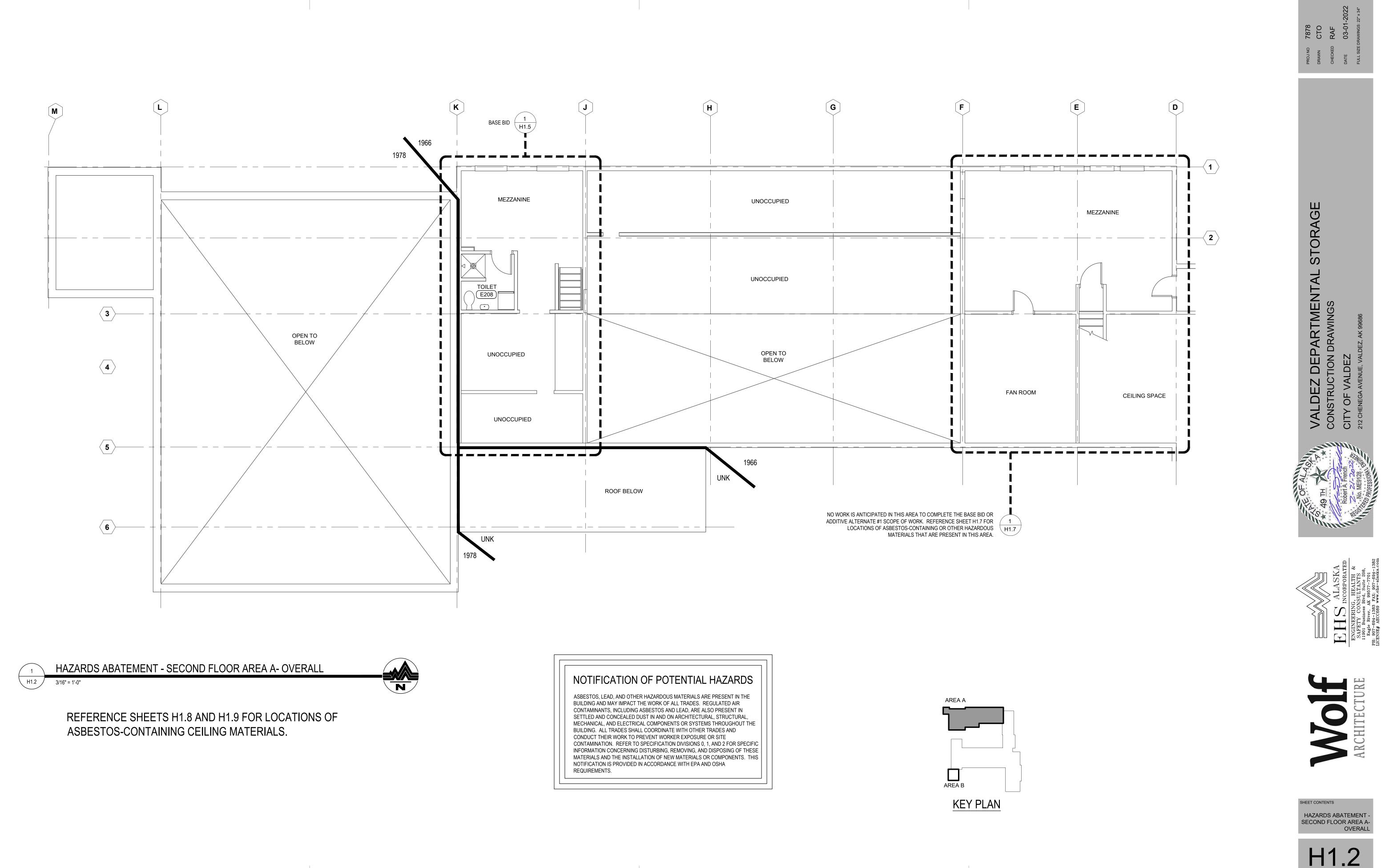
HAZARDS ABATEMENT · GENERAL NOTES LEGENDS & QUANTITIES

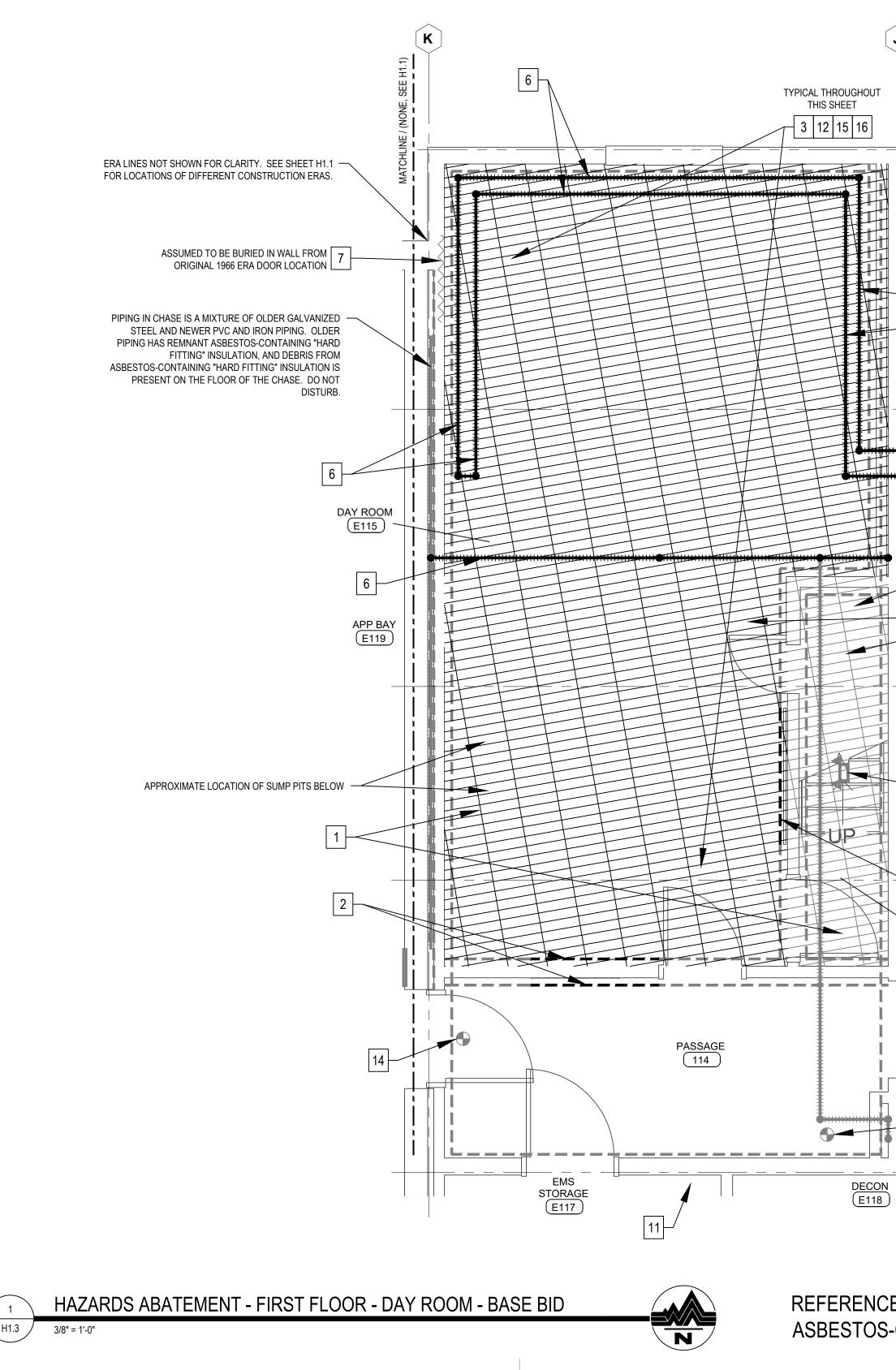


	VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, EXPOSED
	VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER WALLS
	ASBESTOS-CONTAINING SHEET VINYL WITH ASSUMED ASBESTOS-CONTAMINATED MASTICS
	ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER REPLACEMENT FLOORING MATERIALS
	ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER WALLS
+ + + + · ·	GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND
$\sim \sim \sim \sim \sim \sim$	GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE
	GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND
	GYPSUM BOARD WALL WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE
~~~~~	ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES
****	FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION
<b>1</b>	EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES
$\bullet$	SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS
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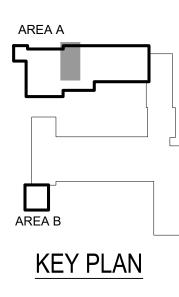






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VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, EXPOSED VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING MASTIC, UNDER WALLS ASBESTOS-CONTAINING SHEET VINYL WITH ASSUMED ASBESTOS-CONTAMINATED MASTICS ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER REPLACEMENT FLOORING MATERIALS ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER WALLS GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD WALL WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST



REFERENCE SHEETS H1.8 AND H1.9 FOR LOCATIONS OF ASBESTOS-CONTAINING CEILING MATERIALS.

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(E111)

STAIR

(E115A)

DECON (E118)

NO "HARD FITTING" INSULATION OBSERVED ON NEWER PIPING TO AND

NOTE, THE ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS

THROUGHOUT THIS VIEW ARE CONCEALED UNDER A RAISED WOODEN

FLOOR. RUBBER STAIR TREADS, RISERS, AND ASSOCIATED MASTICS IN

FROM THE HOT WATER HEATER IN THIS ROOM

THE STAIRWELL DO NOT CONTAIN ASBESTOS.

ERWISE)
RADES SHALL EXAMINE DRAWINGS OF OTHER TRADES AND ERIALS AFFECTED BY THE PROJECT. REFER TO GENERAL NOTES DS-CONTAINING MATERIALS, ALONG WITH ADDITIONAL T.
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ESTOS-CONTAMINATED MASTICS.
OOR FRAME WHICH IS SCHEDULED TO BE RELOCATED.
REMAIN AND BE DISTURBED ONLY AS NECESSARY TO
BATTERIES ARE TO REMAIN UNLESS NOTED OTHERWISE.

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SHEET CONTENTS

HAZARDS ABATEMENT -

H1.3

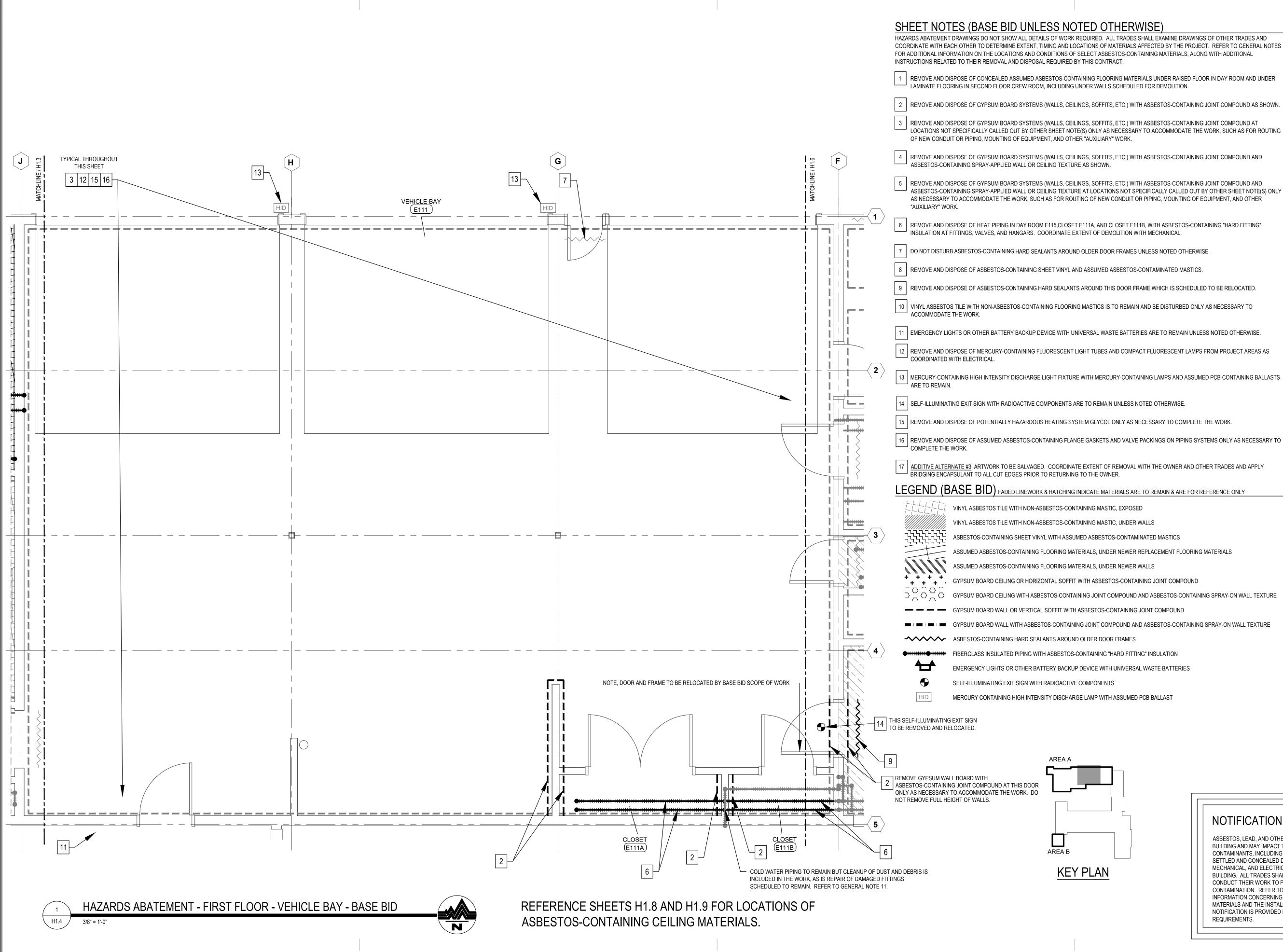
FIRST FLOOR - DAY

ROOM - BASE BID

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NOTIFICATION OF POTENTIAL HAZARDS



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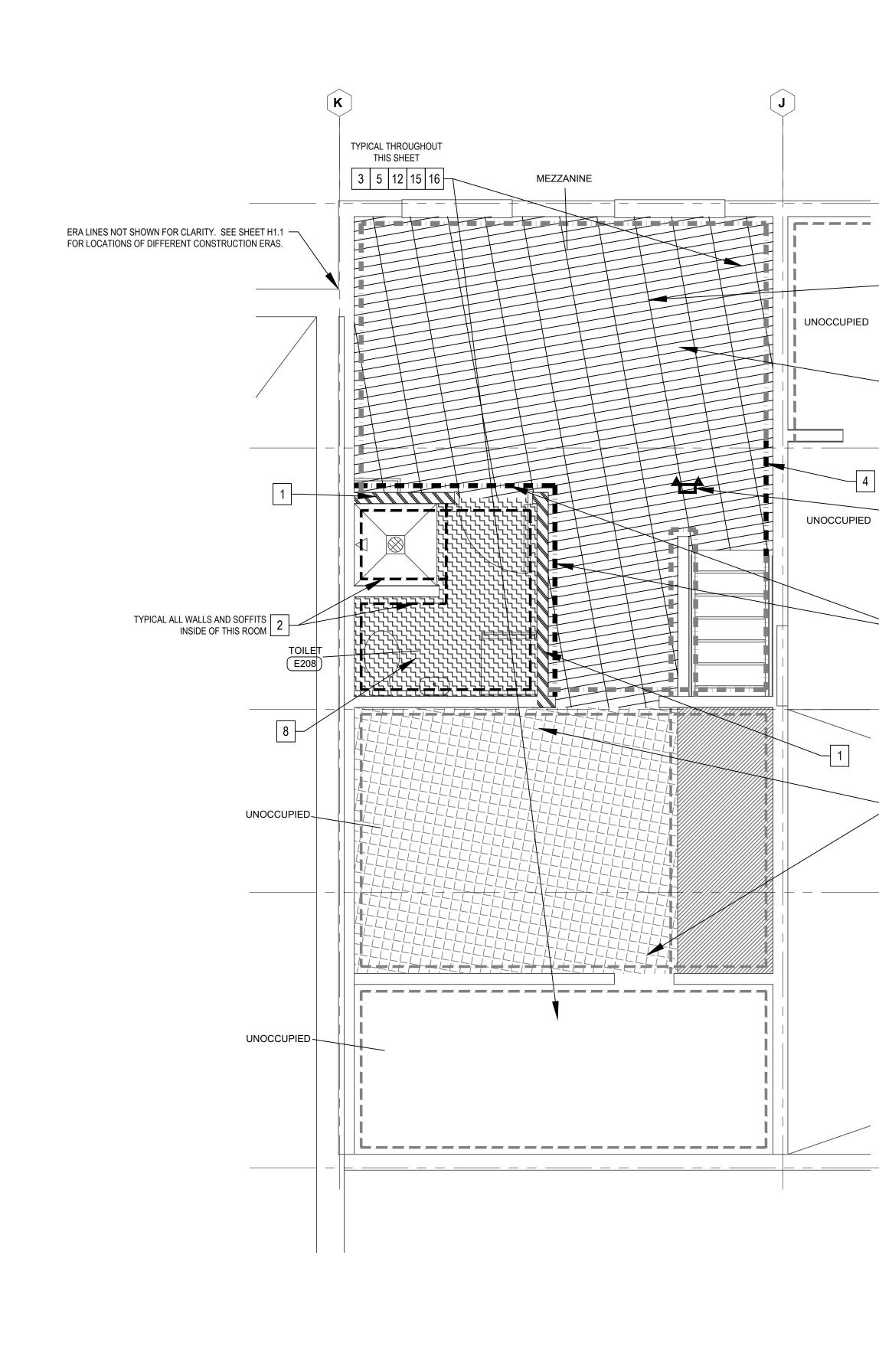
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HAZARDS ABATEMENT -

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HAZARDS ABATEMENT - SECOND FLOOR - WEST - BASE BID



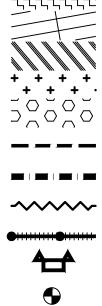
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H1.5

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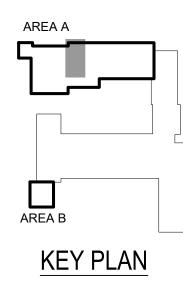
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	1 REMOVE AND DISPOSE OF CONCEALED ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS LAMINATE FLOORING IN SECOND FLOOR CREW ROOM, INCLUDING UNDER WALLS SCHEDULED FO
	2 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH AS
	3 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH AS LOCATIONS NOT SPECIFICALLY CALLED OUT BY OTHER SHEET NOTE(S) ONLY AS NECESSARY TO OF NEW CONDUIT OR PIPING, MOUNTING OF EQUIPMENT, AND OTHER "AUXILIARY" WORK.
	4 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH AS ASBESTOS-CONTAINING SPRAY-APPLIED WALL OR CEILING TEXTURE AS SHOWN.
1	5 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH AS ASBESTOS-CONTAINING SPRAY-APPLIED WALL OR CEILING TEXTURE AT LOCATIONS NOT SPECIF AS NECESSARY TO ACCOMMODATE THE WORK, SUCH AS FOR ROUTING OF NEW CONDUIT OR PIL "AUXILIARY" WORK.
	6 REMOVE AND DISPOSE OF HEAT PIPING IN DAY ROOM E115, CLOSET E111A, AND CLOSET E111B, MINSULATION AT FITTINGS, VALVES, AND HANGARS. COORDINATE EXTENT OF DEMOLITION WITH MINSULATION AT FITTINGS, VALVES, AND HANGARS.
	7 DO NOT DISTURB ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES UNLE
<ul> <li>— GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND SPRAY-APPLIED WALL TEXTURE TYPICALLY LOCATED ABOVE THE LAY-IN CEILING IN</li> </ul>	8 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING SHEET VINYL AND ASSUMED ASBESTOS-CON
THIS AREA	9 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING HARD SEALANTS AROUND THIS DOOR FRAME
	10 VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING FLOORING MASTICS IS TO REMAIN AND ACCOMMODATE THE WORK.
	11 EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES
- 11 THIS EMERGENCY LIGHT FIXTURE WITH UNIVERSAL WASTE BATTERIES IS TO BE REMOVED AND DISPOSED OF	12 REMOVE AND DISPOSE OF MERCURY-CONTAINING FLUORESCENT LIGHT TUBES AND COMPACT F COORDINATED WITH ELECTRICAL.
	13 MERCURY-CONTAINING HIGH INTENSITY DISCHARGE LIGHT FIXTURE WITH MERCURY-CONTAININ ARE TO REMAIN.
	14 SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS ARE TO REMAIN UNLESS NOTE
4 TYPICAL ON WALLS AROUND TOILET E208, LOCATED UNDER PRE-FINISHED WOOD PANELING	15 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL ONLY AS NECES
	16 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PAC COMPLETE THE WORK.
	17 ADDITIVE ALTERNATE #3: ARTWORK TO BE SALVAGED. COORDINATE EXTENT OF REMOVAL WITH BRIDGING ENCAPSULANT TO ALL CUT EDGES PRIOR TO RETURNING TO THE OWNER.
	LEGEND (BASE BID) FADED LINEWORK & HATCHING INDICATE MATERIALS ARE TO
10	
	ASBESTOS-CONTAINING SHEET VINYL WITH ASSUMED ASBESTOS-CONTAMINAT



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ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS, UNDER NEWER WALLS GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD WALL WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST



# REFERENCE SHEETS H1.8 AND H1.9 FOR LOCATIONS OF ASBESTOS-CONTAINING CEILING MATERIALS.

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ERWISE)
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BATTERIES ARE TO REMAIN UNLESS NOTED OTHERWISE.
COMPACT FLUORESCENT LAMPS FROM PROJECT AREAS AS

NG LAMPS AND ASSUMED PCB-CONTAINING BALLASTS

ED OTHERWISE.

ESSARY TO COMPLETE THE WORK.

CKINGS ON PIPING SYSTEMS ONLY AS NECESSARY TO

I THE OWNER AND OTHER TRADES AND APPLY

REMAIN & ARE FOR REFERENCE ONLY

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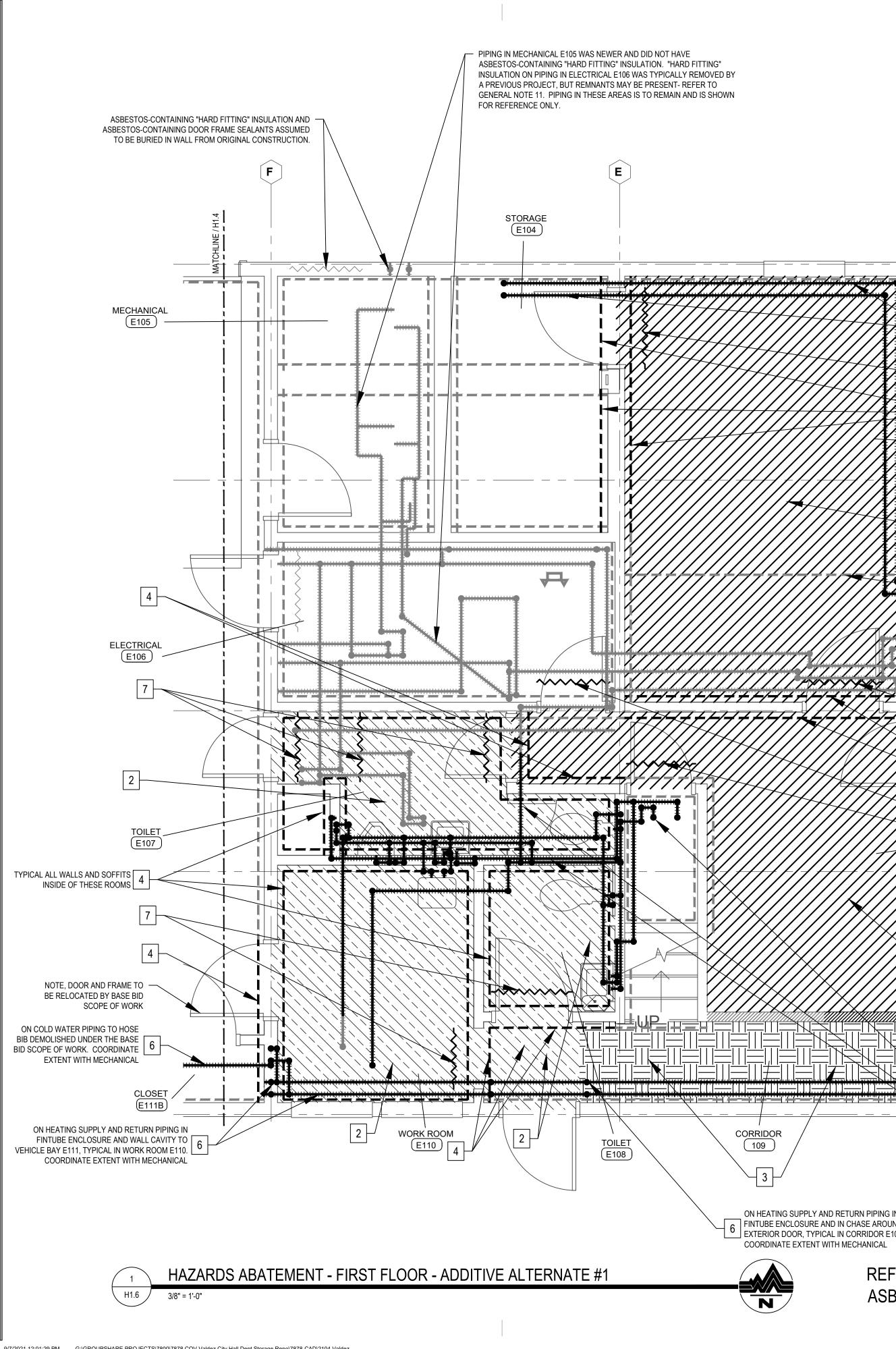
NOTIFICATION OF POTENTIAL HAZARDS



HAZARDS ABATEMENT -

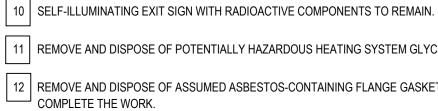
SECOND FLOOR - WEST -

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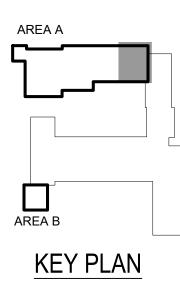
# LEGEND (ADDITIVE ALTERNATE #1) FADED LINEWORK & HATCHING INDICATE MATERIALS ARE TO REMAIN & ARE FOR REFERENCE ONLY

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VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER CARPET VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER WALLS REMNANT VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER SHEET VINYL CARPET CONTAMINATED BY ASBESTOS-CONTAINING BLACK FLOORING MASTIC GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION EMERGENCY LIGHTS OR OTHER BATTERY DEVICE WITH UNIVERSAL WASTE BATTERIES SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST.

# NOTE, MATERIALS REMOVED BY BASE BID SCOPE OF WORK NOT SHOWN ON THIS SHEET.



ON HEATING SUPPLY AND RETURN PIPING IN FINTUBE ENCLOSURE AND IN CHASE AROUND EXTERIOR DOOR, TYPICAL IN CORRIDOR E109. COORDINATE EXTENT WITH MECHANICAL

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ON HEATING SUPPLY AND RETURN PIPING IN

[→] COORDINATION EXTENT WITH MECHANICAL

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(E102)

GYPSUM BOARD SOFFIT

SPACE ABOVE

THIS PIPING IS CONCEALED IN CEILING

5 9 11 12

THESE SHEET NOTES ARE TYPICAL THROUGHOUT THIS SHEET

ON DOMESTIC HOT WATER, DOMESTIC COLD WATER, AND VENT PIPING AS

6 SHOWN AND COORDINATED WITH MECHANICAL, TYPICAL. HORIZONTAL

RUNS ARE TYPICALLY LOCATED IN CEILING SPACES ABOVE.

FINTUBE ENCLOSURE, TYPICAL THESE TWO ROOMS.

**REFERENCE SHEETS H1.8 AND H1.9 FOR LOCATIONS OF** ASBESTOS-CONTAINING CEILING MATERIALS.

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11 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL ONLY AS NECESSARY TO COMPLETE THE WORK.

12 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS ON PIPING SYSTEMS ONLY AS NECESSARY TO

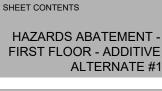




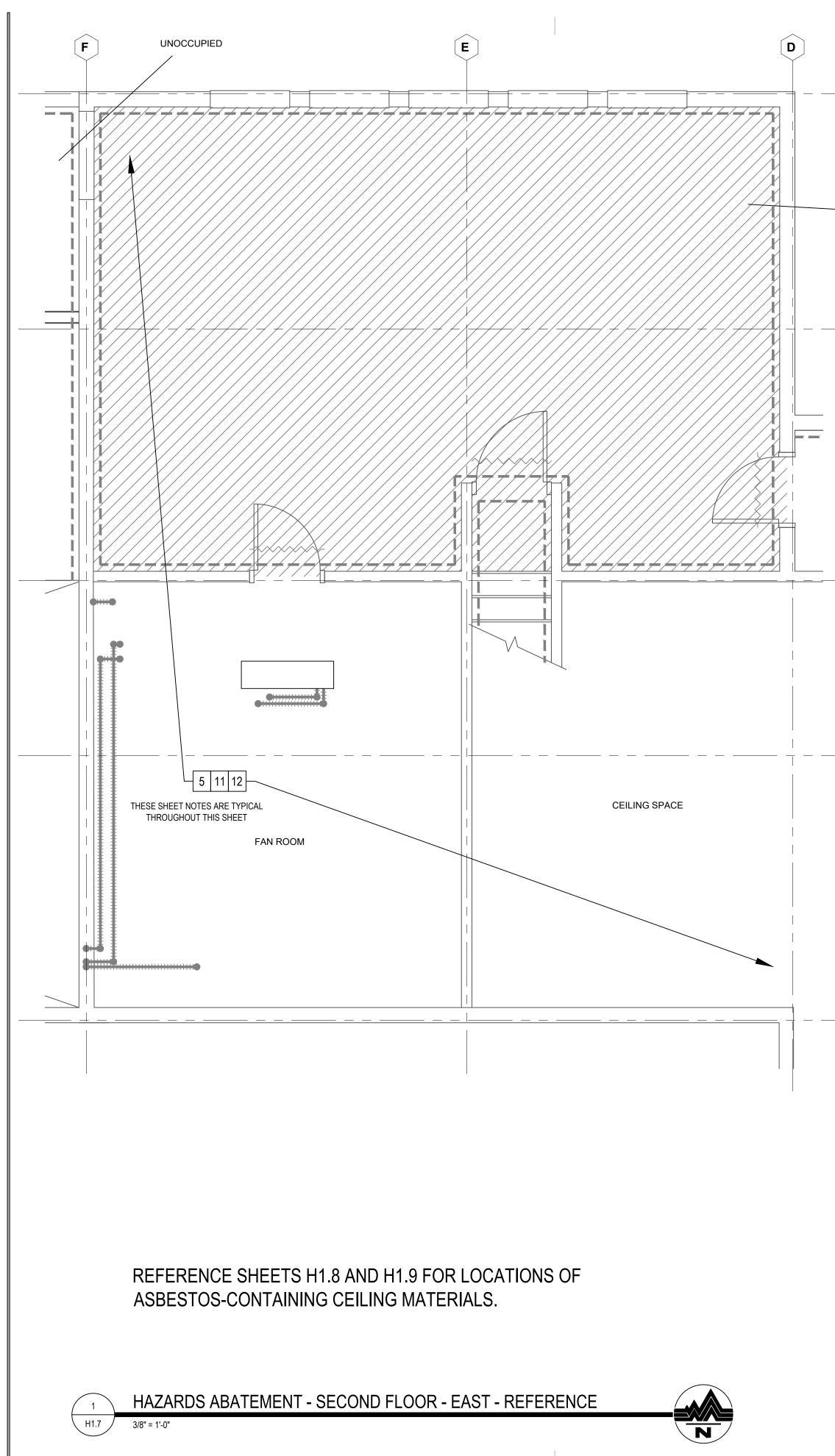


# NOTIFICATION OF POTENTIAL HAZARDS

ASBESTOS, LEAD, AND OTHER HAZARDOUS MATERIALS ARE PRESENT IN THE BUILDING AND MAY IMPACT THE WORK OF ALL TRADES. REGULATED AIR CONTAMINANTS, INCLUDING ASBESTOS AND LEAD, ARE ALSO PRESENT IN SETTLED AND CONCEALED DUST IN AND ON ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL COMPONENTS OR SYSTEMS THROUGHOUT THE BUILDING. ALL TRADES SHALL COORDINATE WITH OTHER TRADES AND CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION. REFER TO SPECIFICATION DIVISIONS 0, 1, AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING, AND DISPOSING OF THESE MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.



H1.6



-MEZZANINE

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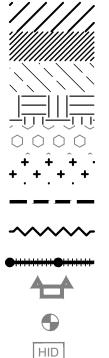
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# SHEET NOTES (ADDITIVE ALTERNATE #1 ONLY)

HAZARDS ABATEMENT DRAWINGS DO NOT SHOW ALL DETAILS OF WORK REQUIRED. ALL TRADES SHALL EXAMINE DRAWINGS OF OTHER TRADES AND COORDINATE WITH EACH OTHER TO DETERMINE EXTENT, TIMING AND LOCATIONS OF MATERIALS AFFECTED BY THE PROJECT. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION ON THE LOCATIONS AND CONDITIONS OF SELECT ASBESTOS-CONTAINING MATERIALS, ALONG WITH ADDITIONAL INSTRUCTIONS RELATED TO THEIR REMOVAL AND DISPOSAL REQUIRED BY THIS CONTRACT REMOVE AND DISPOSE OF VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC CONCEALED BENEATH CARPETING, INCLUDING UNDER WALLS SCHEDULED FOR DEMOLITION. 2 REMOVE AND DISPOSE OF REMNANT FRIABLE VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC CONCEALED BENEATH SHEET VINYL. 3 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING BLACK FLOORING MASTIC CONCEALED BENEATH CARPETING. 4 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND AS SHOWN 5 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-APPLIED WALL OR CEILING TEXTURE (WHERE PRESENT) AT LOCATIONS NOT SPECIFICALLY CALLED OUT BY OTHER SHEET NOTE(S) ONLY AS NECESSARY TO ACCOMMODATE THE WORK, SUCH AS FOR ROUTING OF NEW CONDUIT OR PIPING, MOUNTING OF EQUIPMENT, AND OTHER "AUXILIARY" WORK. 6 REMOVE AND DISPOSE OF PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION AT FITTINGS, VALVES, AND HANGARS AS SHOWN AND AS COORDINATED WITH MECHANICAL. 7 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES AS SHOWN. 8 EMERGENCY LIGHTS OR OTHER BATTERY DEVICE WITH UNIVERSAL WASTE BATTERIES TO REMAIN. 9 REMOVE AND DISPOSE OF MERCURY-CONTAINING FLUORESCENT LIGHT TUBES AND COMPACT FLUORESCENT LAMPS FROM PROJECT AREAS AS COORDINATED WITH ELECTRICAL. 10 SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS TO REMAIN. 11 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL ONLY AS NECESSARY TO COMPLETE THE WORK.

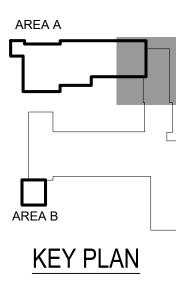
# LEGEND (ADDITIVE ALTERNATE #1) FADED LINEWORK & HATCHING INDICATE MATERIALS ARE TO REMAIN & ARE FOR REFERENCE ONLY



COMPLETE THE WORK.

VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER CARPET VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER WALLS REMNANT VINYL ASBESTOS TILE WITH ASBESTOS-CONTAINING BLACK FLOORING MASTIC, UNDER SHEET VINYL CARPET CONTAMINATED BY ASBESTOS-CONTAINING BLACK FLOORING MASTIC GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND AND ASBESTOS-CONTAINING SPRAY-ON WALL TEXTURE GYPSUM BOARD CEILING OR HORIZONTAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND GYPSUM BOARD WALL OR VERTICAL SOFFIT WITH ASBESTOS-CONTAINING JOINT COMPOUND ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES FIBERGLASS INSULATED PIPING WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION EMERGENCY LIGHTS OR OTHER BATTERY DEVICE WITH UNIVERSAL WASTE BATTERIES SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS MERCURY CONTAINING HIGH INTENSITY DISCHARGE LAMP WITH ASSUMED PCB BALLAST.

# NOTE, MATERIALS REMOVED BY BASE BID SCOPE OF WORK NOT SHOWN ON THIS SHEET.



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DEPARTMENTAI TION DRAWINGS

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12 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS ON PIPING SYSTEMS ONLY AS NECESSARY TO



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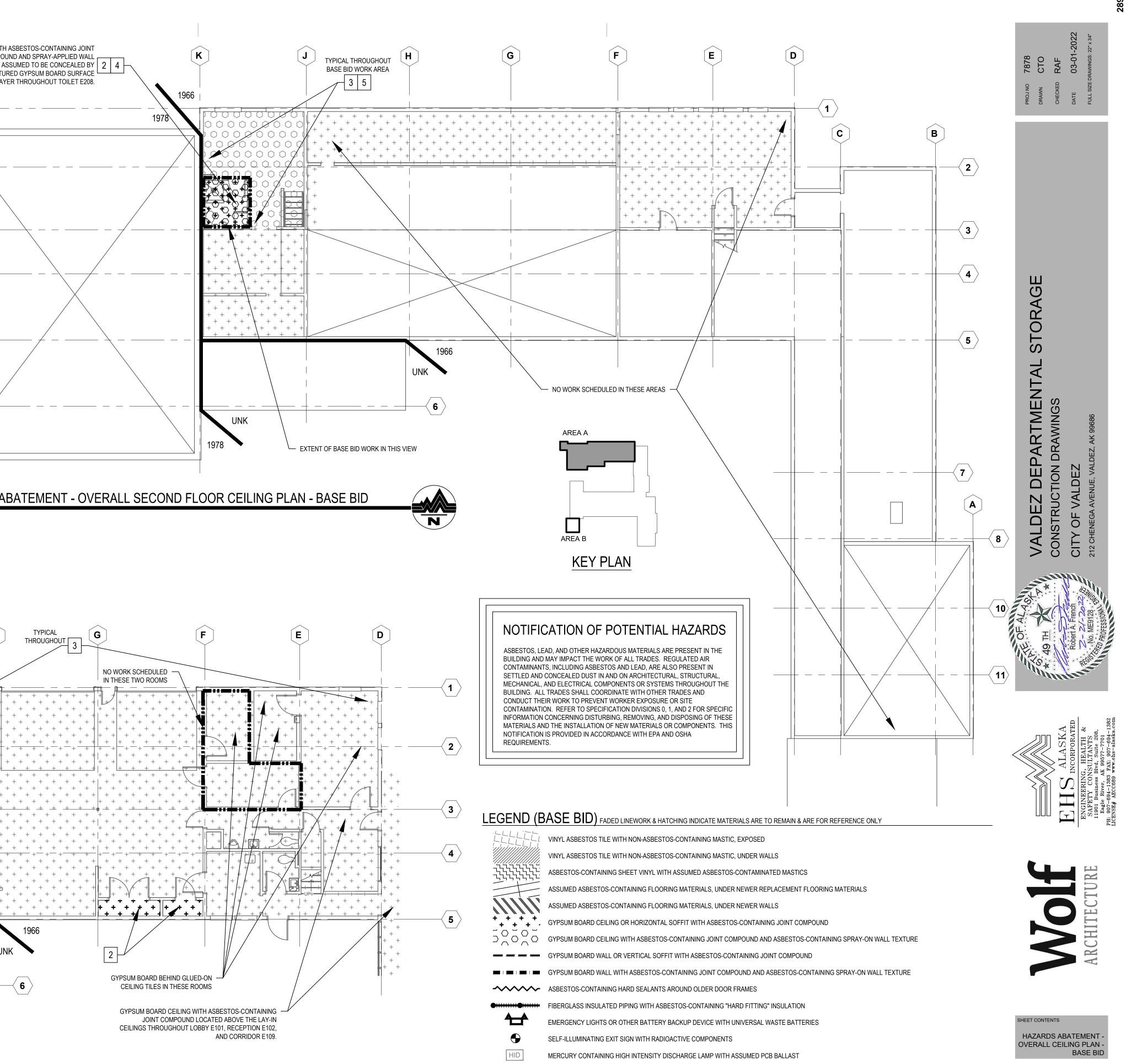


SHEET CONTENTS

HAZARDS ABATEMENT SECOND FLOOR - EAST -REFERENCE

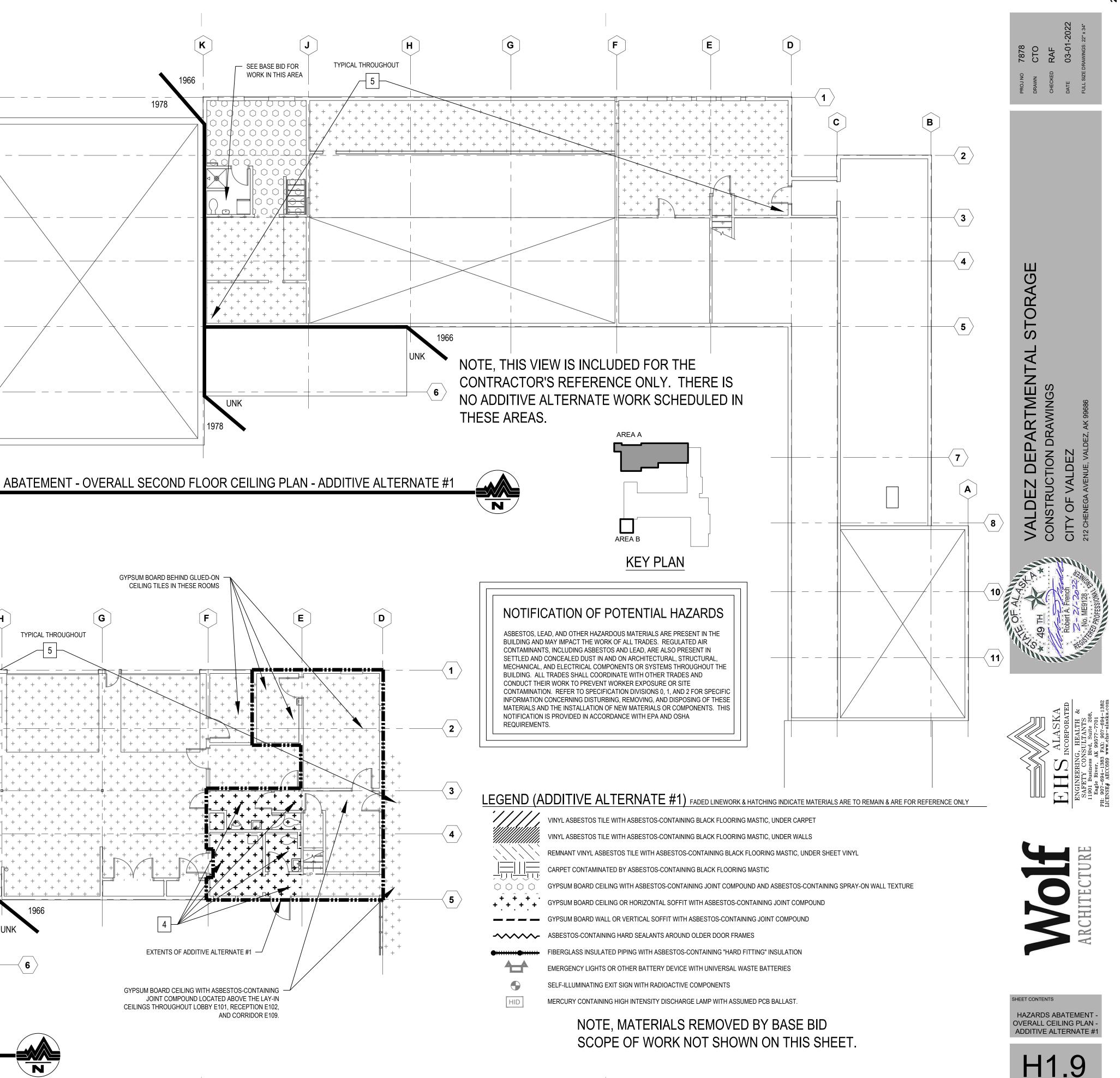


SHEET NOTES (BASE BID UNLESS NOTED OTHERWISE)	M	L CEILING WITH COMPOL TEXTURE AS
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1 REMOVE AND DISPOSE OF CONCEALED ASSUMED ASBESTOS-CONTAINING FLOORING MATERIALS UNDER RAISED FLOOR IN DAY ROOM AND UNDER LAMINATE FLOORING IN SECOND FLOOR CREW ROOM, INCLUDING UNDER WALLS SCHEDULED FOR DEMOLITION.		
2 REMOVE AND DISPOSE OF GYPSUM BOARD SYSTEMS (WALLS, CEILINGS, SOFFITS, ETC.) WITH ASBESTOS-CONTAINING JOINT COMPOUND AS SHOWN.		
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6 REMOVE AND DISPOSE OF HEAT PIPING IN DAY ROOM E115, CLOSET E111A, AND CLOSET E111B, WITH ASBESTOS-CONTAINING "HARD FITTING" INSULATION AT FITTINGS, VALVES, AND HANGARS. COORDINATE EXTENT OF DEMOLITION WITH MECHANICAL.		
7 DO NOT DISTURB ASBESTOS-CONTAINING HARD SEALANTS AROUND OLDER DOOR FRAMES UNLESS NOTED OTHERWISE.		
8 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING SHEET VINYL AND ASSUMED ASBESTOS-CONTAMINATED MASTICS.		
9 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING HARD SEALANTS AROUND THIS DOOR FRAME WHICH IS SCHEDULED TO BE RELOCATED.		
10 VINYL ASBESTOS TILE WITH NON-ASBESTOS-CONTAINING FLOORING MASTICS IS TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK.		
11 EMERGENCY LIGHTS OR OTHER BATTERY BACKUP DEVICE WITH UNIVERSAL WASTE BATTERIES ARE TO REMAIN UNLESS NOTED OTHERWISE.		
12 REMOVE AND DISPOSE OF MERCURY-CONTAINING FLUORESCENT LIGHT TUBES AND COMPACT FLUORESCENT LAMPS FROM PROJECT AREAS AS COORDINATED WITH ELECTRICAL.		
13 MERCURY-CONTAINING HIGH INTENSITY DISCHARGE LIGHT FIXTURE WITH MERCURY-CONTAINING LAMPS AND ASSUMED PCB-CONTAINING BALLASTS ARE TO REMAIN.		
14 SELF-ILLUMINATING EXIT SIGN WITH RADIOACTIVE COMPONENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.	2	HAZARDS A
15 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL ONLY AS NECESSARY TO COMPLETE THE WORK.	H1.8	3 1/8" = 1'-0"
16 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS ON PIPING SYSTEMS ONLY AS NECESSARY TO COMPLETE THE WORK.		
17 ADDITIVE ALTERNATE #3: ARTWORK TO BE SALVAGED. COORDINATE EXTENT OF REMOVAL WITH THE OWNER AND OTHER TRADES AND APPLY BRIDGING ENCAPSULANT TO ALL CUT EDGES PRIOR TO RETURNING TO THE OWNER.		
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GYPSUM BOARD CEILING WITH ASBESTOS-CONTAINING JOINT COMPOUND LOCATED ABOVE LAY-IN CEILING IN THIS ROOM		
		<u>°</u> °
UNK		
1978		
1 HAZARDS ABATEMENT - OVERALL FIRST FLOOR CEILING PLAN - BA	ASE BID	





SHEET NOTES (ADDITIVE AL HAZARDS ABATEMENT DRAWINGS DO NOT SHOW ALL D COORDINATE WITH EACH OTHER TO DETERMINE EXTER			M	L
FOR ADDITIONAL INFORMATION ON THE LOCATIONS AN INSTRUCTIONS RELATED TO THEIR REMOVAL AND DISP	DETAILS OF WORK REQUIRED. ALL TRADES SHALL I NT, TIMING AND LOCATIONS OF MATERIALS AFFECT ND CONDITIONS OF SELECT ASBESTOS-CONTAINING	ED BY THE PROJECT. REFER TO GENER		
1 REMOVE AND DISPOSE OF VINYL ASBESTOS TILE INCLUDING UNDER WALLS SCHEDULED FOR DEM	E WITH ASBESTOS-CONTAINING BLACK FLOORING M	ASTIC CONCEALED BENEATH CARPETIN	6,	
2 REMOVE AND DISPOSE OF REMNANT FRIABLE VII SHEET VINYL.	NYL ASBESTOS TILE WITH ASBESTOS-CONTAINING	BLACK FLOORING MASTIC CONCEALED B	ENEATH	
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		1978 ++++++++++++++++++++++++++++++++++++		
	GYPSUM BOARD CEILING WITH ASBESTOS- COMPOUND LOCATED ABOVE LAY-IN CEIL	1978 ++++++++++++++++++++++++++++++++++++		
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## **PIPING LEGEND**

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DENOTES DEMOLITION
WASTE
VENT PIPING
COLD WATER
HOT WATER
HOT WATER RECIRCULATED
SEE ABBREVIATIONS FOR MEDIA
PIPE DOWN TEE UP
TEE DOWN
CAP
UNION
DIRECTION OF FLOW
BALL VALVE
GATE VALVE
GAS SHUT-OFF VALVE
2-WAY CONTROL VALVE
3-WAY CONTROL VALVE
CHECK VALVE
BALANCE VALVE
REDUCED PRESSURE BACKFLOW PREVENTER
PRESSURE REDUCING VALVE
FLEXIBLE PIPING CONNECTOR
PRESSURE/TEMPERATURE RELIEF VALVE
HOSE BIBB
PUMP
CLEANOUT
METER
FILTER

WATER HAMMER ARRESTOR

	PRESSURE GAUGE W/ ISOLATION COCK
	STRAINER W/ BLOWDO
	PIPE GUIDE
	PIPE ANCHOR
$\bigotimes$	FLOOR CLEANOUT
$\bigcirc \bigcirc$	FLOOR DRAIN
	FLOOR SINK
	DETAILED PIPE UP & D
LOGIC	
Ð	POINT OF CONNECTION
X- XX-	— DETAIL NUMBER — SHEET LOCATED ON
	- DIRECTION OF VIEW
X- XX-	- SECTION NUMBER - SHEET LOCATED ON
	— RADIATION DESIGNATOR — LENGTH

– GPM

SHEET NOTES

- NECK SIZE

- CFM

X

CFM-

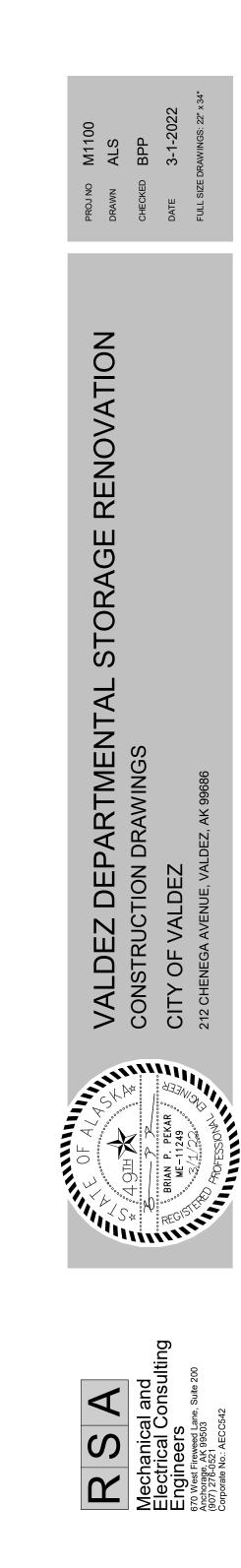
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## ABBREVIATIONS

	AAV	AUTOMATIC AIR VENT	DIA	DIAMETER	HOA	HAND-OFF-AUTO	PSI	POUNDS PER SQUARE INCH
	ABV	ABOVE	DIM	DIMENSION	HP	HORSEPOWER	PSIG	POUNDS PER SQUARE INCH GAUGE
	AC-X	AIR CONDITIONING UNIT DESIGNATOR	DN	DOWN	HW	HOT WATER	R/A	RETURN AIR
	ADA	AMERICANS WITH DISABILITIES	DWG	DRAWING	HWC	HOT WATER CIRCULATED	RD-X	ROOF DRAIN DESIGNATOR
	, (B) (	ACT GUIDELINES	E/A	EXHAUST AIR	HWG-X	HOT WATER GENERATOR DESIGNATOR		RAINLEADER
	AD	ACCESS DOOR	EAT	ENTERING AIR TEMPERATURE	IBC	INTERNATIONAL BUILDING CODE	RPM	REVOLUTIONS PER MINUTE
EW/	AF	AIR FOIL	EFF	EFFICIENCY	IN	INCHES	SA-X	SOUND ATTENUATOR DESIGNATOR
	AFF	ABOVE FINISHED FLOOR	EF-X	EXHAUST FAN DESIGNATOR	INS.	INSULATION	S/A	SUPPLY AIR
	AFG	ABOVE FINISHED GRADE	EGT	ENTERING GLYCOL TEMPERATURE	LAT	LEAVING AIR TEMPERATURE	SCFM	STANDARD CUBIC FEET PER MINUTE
WDOWN	AFMS	AIR FLOW MONITORING STATION	ENT	ENTERING	LAV	LAVATORY	SP	STATIC PRESSURE
	AHAP	AS HIGH AS POSSIBLE	ESP	EXTERNAL STATIC PRESSURE	LF	LINEAL FEET	SQ	SQUARE
	AHU-X	AIR HANDLING UNIT DESIGNATOR	ET-X	EXPANSION TANK DESIGNATOR	LGT	LEAVING GLYCOL TEMPERATURE	T/A	TRANSFER AIR
	AL	ALUMINUM	EXIST	EXISTING	LWT	LEAVING WATER TEMPERATURE	TEMP	TEMPERATURE
	AMPS	AMPERES	EXH	EXHAUST	MAX	MAXIMUM	TOD	TOP OF DUCT
	APD	AIR PRESSURE DROP	F	FAHRENHEIT	MBH	THOUSAND BTUH	TSP	TOTAL STATIC PRESSURE
	ARCH	ARCHITECTURAL	FC	FORWARD CURVE	MCA	MINIMUM CIRCUIT AMPACITY	T'STAT	THERMOSTAT
	AS-X	AIR SEPARATOR DESIGNATOR	FCO	FLOOR CLEAN OUT	MFGR	MANUFACTURER	TTL	TOTAL
ІТ	B-X	BOILER DESIGNATOR	FD-X	FLOOR DRAIN DESIGNATOR	M/A	MAKEUP AIR	TYP/TYP.	TYPICAL
	BDD	BACKDRAFT DAMPER	FIN	FINISHED	MIN/MIN.	MINIMUM	UH-X	UNIT HEATER DESIGNATOR
	BLDG	BUILDING	FLA	FULL LOAD AMPS	MOD	MOTOR OPERATED DAMPER	UPC	UNIFORM PLUMBING CODE
	BOD	BOTTOM OF DUCT	FLR	FLOOR	MTD	MOUNTED	V	VENT
	BTUH	BRITISH THERMAL UNIT/HOUR	FPM	FEET PER MINUTE	NAT.	NATURAL	VAC	VOLT-AC
	CAP	CAPACITY	FS-X	FLOOR SINK DESIGNATOR	NC	NOISE CRITERIA	VEL	VELOCITY
	CFM	CUBIC FEET PER MINUTE	FT	FEET	N.C.	NORMALLY CLOSED	VDC	VOLT-DC
	CH-X	CHILLER DESIGNATOR	G	NATURAL GAS	NO.	NUMBER	VTR	VENT THRU ROOF
	CIRC	CIRCULATING	GA	GAUGE	N.O.	NORMALLY OPEN	W	WASTE
P & DOWN	CLG	CEILING	GAL	GALLONS	NTS	NOT TO SCALE	W/	WITH
	CONT	CONTINUED	GALV	GALVANIZED	O/A	OUTSIDE AIR	W/O	WITHOUT
	C.O./CO	CLEANOUT	GPH	GALLONS PER HOUR	O.D.	OUTSIDE DIAMETER	W.C.	WATER COLUMN
	CONN	CONNECTION	GPM	GALLONS PER MINUTE	OC	ON CENTER	WCO	WALL CLEAN OUT
	CP-X	CIRCULATION PUMP DESIGNATOR	GT-X	GLYCOL TANK DESIGNATOR	OD	OUTSIDE DAMPER	WG	WATER GAUGE
	CU-X	CONDENSING UNIT DESIGNATOR	GTD	GLYCOL TEMPERATURE DROP	OD-X	OVERFLOW DRAIN DESIGNATOR	WHA	WATER HAMMER ARRESTOR
	CUH-X	CABINET UNIT HEATER DESIGNATOR	HB-X	HOSE BIBB DESIGNATOR	OL	OVERFLOW RAINLEADER	WPD	WATER PRESSURE DROP
	CU	COPPER	HC-X	HEATING COIL DESIGNATOR	P-X	PLUMBING FIXTURE DESIGNATOR	YCO	YARD CLEAN OUT
	CW	COLD WATER	HD	HEAD	PD	PRESSURE DROP		
	dB	DECIBELS	HGR	HEATING GLYCOL RETURN	PG/P.G.	PROPYLENE GLYCOL		
	DEG	DEGREE	HGS	HEATING GLYCOL SUPPLY	PH	PHASE		
		-				-		

## **DUCTWORK LEGEND** $\bigcirc$ THERMOSTAT TION MOTORIZED CONTROL DAMPER $(\exists)$ HUMIDISTAT **S** CO2 CARBON DIOXIDE SENSOR SOUND LINED DUCTWORK OTHERMOSTAT OR SENSOR WITH GUARD DUCT SIZE - EXTERIOR INSULATED DP DIFFERENTIAL PRESSURE SENSOR (1ST FIGURE-SIDE SHOWN) (2ND FIGURE-SIDE NOT SHOWN) 12/24 SP DUCT STATIC PRESSURE SENSOR EXTERNALLY INSULATED DUCTWORK SUPPLY AIR UP & DOWN ATOR RETURN AIR UP & DOWN TURNING VANES EXHAUST AIR UP & DOWN ++++++++FLEXIBLE DUCT - DIFFUSER OR GRILLE TYPE VOLUME DAMPER





SHEET CONTENTS MECHANICAL LEGEND AND ABBREVIATIONS



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PLU	JMBING FIXTURE \$	SCHED	DUL	E								
SYMBOL	FIXTURE	MOUNTING	CW	HW/TW	V WAST		TRAP	BASIS OF DESIGN	BASIC MODEL	POWER REQ.	COLOR/FINISH	REMARKS
P-1	WATER CLOSET - ADA	FLOOR	1/2		3	2		AMERICAN STANDARD	CHAMPION 731AA.001		WHITE	ADA COMPLIANT, ELONGATED OPEN FRONT SEAT, NO COVER, 1.6 GPF.
P-2	URINAL - ADA	WALL	3/4		2	1-1/2		AMERICAN STANDARD	WASHBROOK 6590.001		WHITE	ELONGATED RIM, PROVIDE WALL CARRIER FOR ADA HEIGHT, SLOAN 186-0.125 GPF.
P-3	LAVATORY - ADA	WALL	1/2	1/2	1-1/2	1-1/2	1-1/2	AMERICAN STANDARD	LUCERNE 0356.028		WHITE	MOUNT FOR ADA HEIGHT, PROVIDE WITH ASSE 1070 THERMOSTATIC MIXING VALVE, CHICAGO 802-V665ABCP FAUCET, AERATOR, CONCEA
P-4	DRINKING FOUNTAIN WITH BOTTLE FILL	WALL	1/2		1-1/2	1-1/2	1-1/2	HALSEY TAYLOR	HTHB-HRFSEBP-1	120V / 1 PH / 1.0A	STAINLESS	VANDAL RESISTANT, PUSH BUTTON, ONE PIECE BI-LEVEL DUAL FOUNTAIN WITH BOTTLE FILLING STATION, WALL CARRIER, WALL PLATE AS
P-5	BREAKROOM SINK - ADA	COUNTER	1/2		2	1-1/2	2	JUST	SL-ADA-1815-A-GR		STAINLESS	DELTA 2171-WBHHD FACET, 4" CENTERS, 4" GOOSENECK, TWO HANDLE, 1.5 GPM, CENTER REAR DRAIN, 5-1/2" DEEP.
FD-1	FLOOR DRAIN				2	1-1/2	2	ZURN	FD2-PV2		NICKEL BRONZE	ROUND TOP, TRAP PRIMER CONNECTION.
HB-1	HOSE BIBB - FROST PROOF		3/4					WOODFORD	MODEL 68		STAINLESS	RECESSED WALL BOX, SELF DRAINING, FROST PROOF, INTEGRAL VACUUM BREAKER, W/HOSE THREAD OUTLET.

## EXPANSION TANK SCHEDULE

							TANK VOLUME				
SYN	/BOL M	IANUFACTURER	MODEL	FUNCTION	MEDIUM	MATERIAL	TOTAL (GAL)	ACCEPTANCE (GAL)	DIMENSIONS	LABEL	REMARKS
ET-	1 A	MTROL	ST-5	DOMESTIC WATER	WATER	STEEL	2	0.9	8" DIA X 13"	IAPMO/NSF	PRECHARGE TO 55 PSI.

TEN	<b>IPERIN</b>	G VALV	'E SCł	HEDULE													
				INLET	OUTLET	TEMF	PERATURE	SET POI	NT	FLOW F	RATE	PF	RESS. DRC	P			
SYMBOL	MANUFACTURER	MODEL	FINISH	SIZE	SIZE	RANG	GE (DEG F)	(DEG F)		(GPM)		(F	T HD)	R	EMARKS		
TV-1	SYMMONS	7-102	BRASS	1/2	1/2	70-15	0	120		3.2		23	}				
ELE	CTRIC	WATEF	R HEA ⁻	TER SCH	IEDUL	.E											
			ST	ORAGE	RECOVERY	Y /HR	ELECT	RICAL DATA									
SYMBOL	MANUFACTURER	MODEL	CA	PACITY	100 DEG RI	ISE	ELEME	NT	POWER		LABE	EL	REMARK	S			
EWH-1	RHEEM	ELD30-TB SH	ORT 28	GAL	24 GAL		(2) 3 kV	V	208V / 1 F	ЪΗ	IAPM	10/NSF	SHORT 3	0" H x 23" W	MODEL, PI	ROVIDE WI	WITH DUAL 3 KW HEATING ELEMENTS, P&T RELIEF VALVE.
FIN ⁻	TUBE R/	ADIATI	ON SC	HEDULI	Ξ												
				ELEMENT						EWT	LWT						
SYMBOL	MFGR	MODEL	#	ROWS SIZE	N	MATERIAL	FPF GF	PM N	<b>IEDIUM</b>	DEG F	DEG F	BTUH/L	LF FINISH	l RE	MARKS		
FT-1	MODINE	S 012	1	3/4", 4.25x4	.25 A	ALUMINUM	50 PE	R PLANS 5	0% P.G.	180	160	1120	PER A	RCH SLO	OPED 12" E	INCLOSURE	URE, 4" MOUNTING HEIGHT.
UNIT	⁻ HEATE	R SCH	IEDUL	E													
			CAPACITY	,							MOT	OR DATA	4				
SYMBOL	MFGR	MODEL	MBH		MEDIUM	EWT DEG F	LWT DEG	GF WPD (FT	HD) CFM	RPM	HP	VOLTS	S Hz I	PH REMAR	RKS		
UH-1	MODINE	HC-24	16.2	2.0	NATER	180	160	0.80	370	1550	1/25	120	60 ⁻	1 HORIZ	ONTAL THF	ROW UNIT H	IT HEATER, SIDE INLET & OUTLET PIPE CONNECTIONS.
UH-2	MODINE	HC-47	30.1	3.5	NATER	180	160	0.40	730	1550	1/12	120	60 [·]	1 HORIZ	ONTAL THF	ROW UNIT H	IT HEATER, SIDE INLET & OUTLET PIPE CONNECTIONS.
AIR I	INLET/O	UTLET	SCHE	EDULE													
SYMBOL	MFGR	MODEL		TYPE USE	MATE	ERIAL F	INISH	CFM	FACE SIZE	E (IN) NO	C THR	ROW	REMARK	(S			
A	TITUS	300FL		WALL S/A	ALUN	MINUM P	ER ARCH	PER PLANS	PER PLAN	S <2	25 1-W	ΆΥ	3/4" BLA	DE SPACINO	G, 35 DEGR	EE DEFLEC	LECTION, BLADE PARALLEL TO LONG DIMENSION.
В	TITUS	350FL		WALL R/A	ALUN	MINUM P	ER ARCH	PER PLANS	PER PLAN	S <2	25		1/2" BLA	DE SPACINO	G, O DEG DE	EFLECTION	ION, BLADES PARALLEL TO LONG DIMENSION.
С	TITUS	50F		CEILING E/A	ALUN	MINUM P	ER ARCH	PER PLANS	PER PLAN	S <2	25		PROVID	E FRAME TY	PE AS REC	QUIRED.	
D	TITUS	50F		CEILING T/A	ALUN	MINUM P	ER ARCH	PER PLANS	PER PLAN	S <2	25		PROVID	E FRAME TY	PE AS REC	QUIRED.	
FAN	SCHED	ULE															
										MOTO	OR DATA						
SYMBOL	MFGR	MODEL		TYPE	S	SERVICE	CFM	I TSP IN V	N.C. RPM	W	HP V	OLTS  Hz	z PH C	RIVE	SONES	LABEL	REMARKS
EF-1	GREENHECK	SP-A200		CEILING MTD	S	STORAGE 12	29 140	0.30	1193	27	12	20 60	) 1 [	IRECT	0.6	UL/ETL	L INTERLOCK WITH HUMIDISTAT, PROVIDE WITH VARI-GREEN EC MOTOR WITH MOTOR MOUNTED POTENTIOMETER.
L				1			1						I				

ENE	RGY R	RECOVE	RY V	ENT	<b>ILA</b>	TOR S	SCH	HEDU	LE										
			SUPPLY FA	AN	ESP IN	MOTOR DA	TA		EXHAUST	FAN	ESP IN.	MOTOR DA	TA			FILTERS	FILTER		
SYMBOL	MFGR	MODEL	TYPE	CFM	W.C.	# MOTORS	FLA	VOLTS PH	TYPE	CFM	W.C.	# MOTORS	FLA	VOLTS	S PH	SQ. FT.	RATING	0/A %	REMARKS
ERV-1	RENEWAIRE	EV PREMIUM M	ECM	170	0.50	1	1.2	120 1	ECM	170	0.50	1	1.2	120	1	0.76	MERV 8	100	ONBOARD DIGITAL CONTROLLER WITH INDEPENDENT VARIBLE SPEEDS. CELING MOUNTED OCCUPANCY SENSOR CONTROL MC-C.

## ELECTRIC HEATING COIL SCHEDULE

						ELECT	RICAL DATA		
SYMBOL	SYSTEM	MFGR	MODEL	CFM	FACE VEL. FPM	AMPS	VOLTS	Hz	PH
HC-1	ERV-1	RENEWAIRE	RH-D	170	400	9.61	208	60	1

## WHA SCHEDULE SYMBOL SIZE FIXTURE UNITS WHA-A 1/2" 1-11

WHA-B	3/4"	12-32
WHA-C	1"	33-60
WHA-D	1-1/4"	61-113
WHA-E	1-1/2"	114-154
WHA-F	2"	155-330

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## REMARKS

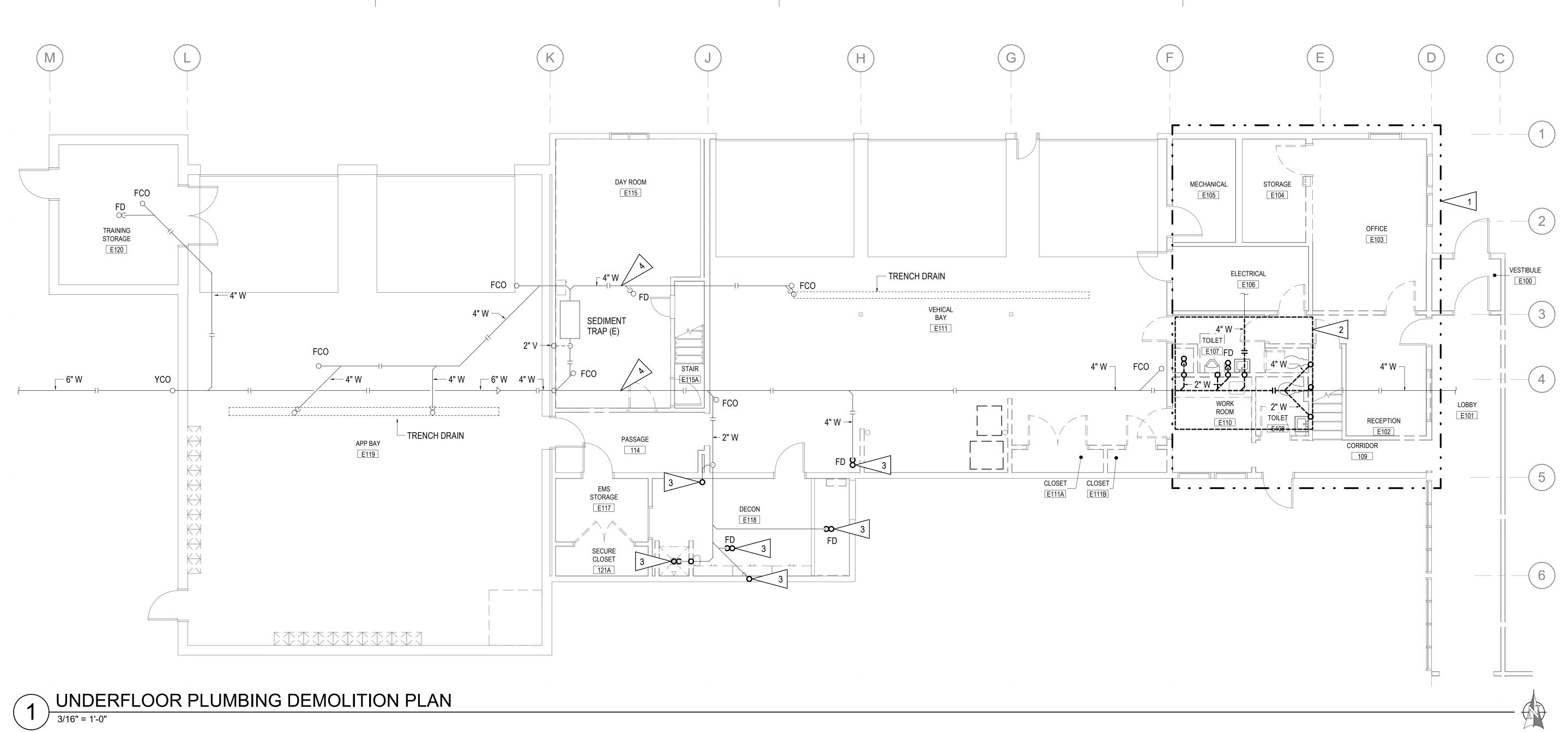
DUCT-MOUNTED TEMPERATURE SENSOR DS-600, UNIT MOUNTED CONTROL BOX WITH INTEGRAL THERMOSTAT, MODULATING HEAT OUTPUT, INTEGRAL AIR FLOW SENSOR WITH LOW AIR FLOW MOI USING DISCHARGE AIR TEMPERATURE SENSOR, REMOTE DISCONNECT.

	PROJ NO DRAWN CHECKED BTE 3-1-2022 FULL SIZE DRAWINGS: 22" x34"	
JCET, AERATOR, CONCEALED ARM SYSTEM. CARRIER, WALL PLATE ASSEMBLY, CANE TOUCH APRON. EP.		
	VALDEZ DEPARTMENTAL STORAGE RENOVATION CONSTRUCTION DRAWINGS CITY OF VALDEZ 212 CHENEGA AVENUE, VALDEZ, AK 99686	
	VALDEZ DEPARTMER VALDEZ DEPARTMER CONSTRUCTION DRAWINGS CITY OF VALDEZ 212 CHENEGA AVENUE, VALDEZ, AK 99686	
	PERAIR SOLUTION OF A CONTRACT	
METER.	R S A Mechanical and Electrical Consulting Engineers 670 West Fireweed Lane. Suite 200 Anchorage, AK 99563 670 West Fireweed Lane. Suite 200 Anchorage, AK 99563 670 West Fireweed Lane. Suite 200 Anchorage, AK 99563 670 Vest Fireweed Lane. Suite 200 Anchorage AK 99563 670 Vest Fireweed Lane. Suite 200	
CONTROL MC-C.		
ITH LOW AIR FLOW MODULATION & SHUT OFF, CONTROLLED	ARCHITECTURE	

SHEET CONTENTS

MECHANICAL SCHEDULES







## **GENERAL NOTES:**

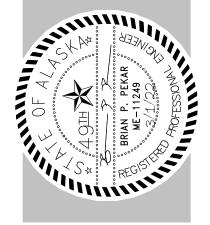
- A. THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM AS-BUILT DRAWINGS AND A NON-DESTRUCTIVE WALK-THROUGH. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HEREIN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- B. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIAL.
- DASHED OR DOTTED LINES INDICATE ITEMS TO BE C. REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION D. WITH HAZMAT CONTRACTOR.

## **SHEET NOTES:**

- > WORK IN THIS AREA IS <u>ALTERNATE 1</u>. 1
- INDICATES APPROXIMATE OUTLINE OF 2 SLAB DEMOLITION. > CAP WASTE PIPING FLUSH WITH SLAB. 3
- > CONTRACTOR TO LOCATE WASTE 4 PIPING BELOW SLAB PRIOR TO CUTTING FOR NEW PIER SUPPORT PADS.



RENOVATION DEPARTMENTAL STORAGE TION DRAWINGS CITY OF VALDEZ VALDEZ I CONSTRUCT







SHEET CONTENTS

AREA A

KEYPLAN

AREA B



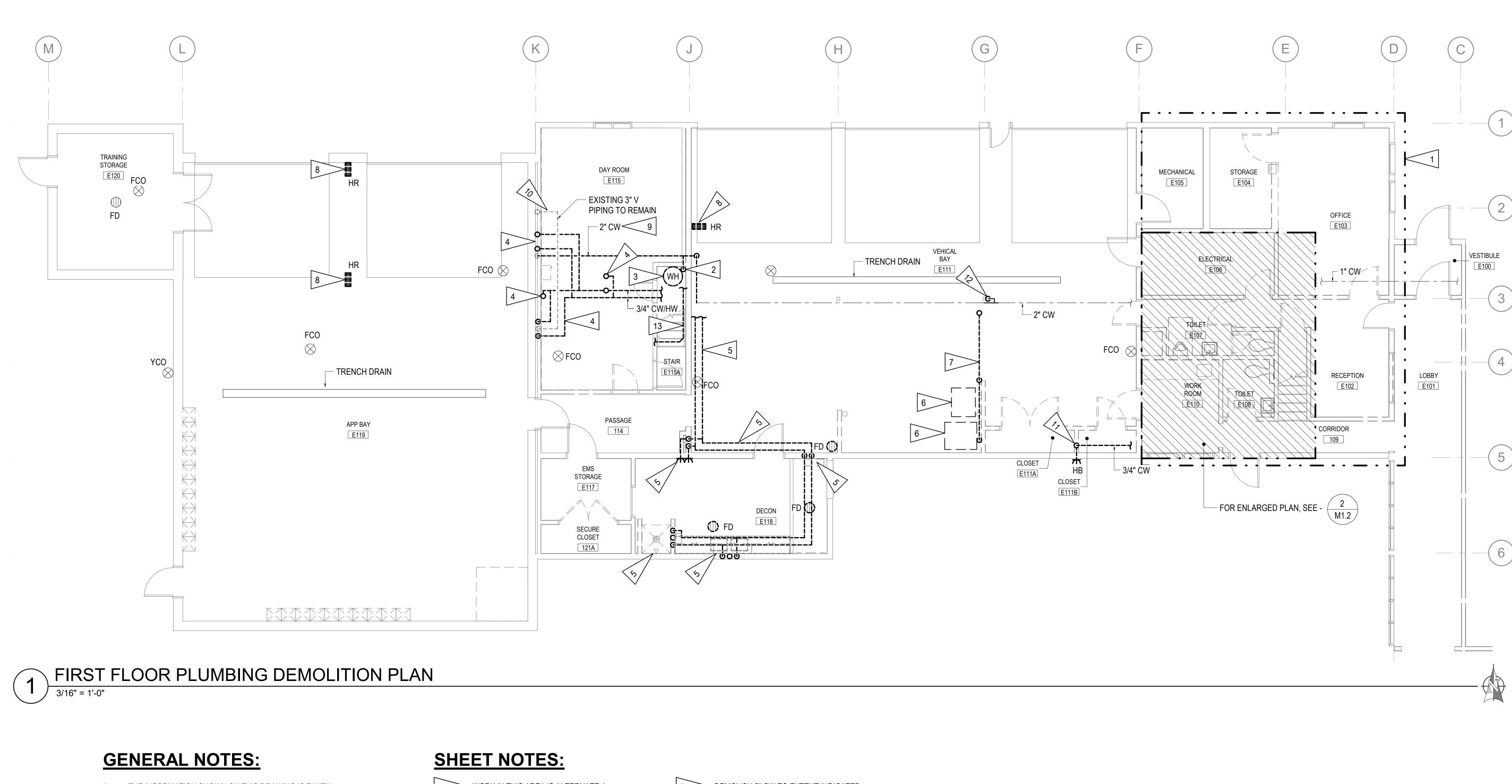


UNDERFLOOR

PLAN

PLUMBING DEMOLITION

M1.0





- A. THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM AS-BUILT DRAWINGS AND A NON-DESTRUCTIVE WALK-THROUGH. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HEREIN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL В. SALVAGEABLE MATERIAL.
- DASHED OR DOTTED LINES INDICATE ITEMS TO BE C. REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION D. WITH HAZMAT CONTRACTOR.

1	WORK IN THIS AREA IS <u>ALTERNATE 1</u> .
2	DEMOLISH AND CAP 3/4" CW SUPPLY PIPING TO WATER HEATER.
3	DEMOLISH WATER HEATER.
4	DEMOLISH PIPING TO EXTENT INDICATED. CAP PIPING TRANSITIONS UP TO SECOND FLOOR.
5	DEMOLISH PLUMBING FIXTURES AND CAP PIPING CONNECTIONS AT WALL. ABANDON PIPING IN WALL AND HARD LID CEILING ASSEMBLY.
6	REMOVE AND SALVAGE SCBA EQUIPMENT FOR RELOCATION, SEE REMODEL PLANS.
7	3" VENT PIPING SERVING SCBA EQUIPMENT, DEMOLISH UP THROUGH ROOF. CONTRACTOR TO FIELD VERIFY ROUTING OF EXISTING PIPING
8	DEMOLISH HOSE REEL AND CAP ASSOCIATED BRANCH PIPE.

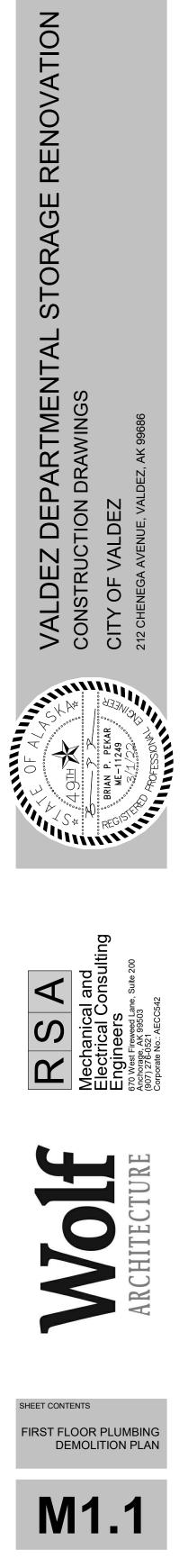
### <u>ERNATE 1</u>. > DEMOLISH 2" CW TO EXTENT INDICATED. 9 W SUPPLY PIPING $10 \longrightarrow \text{EXISTING VENT PIPING SERVING}$ SEDIMENT TRAP TO REMAIN. BASE BID: DEMOLISH HOSE BIBB, CAP 11 PIPING ABOVE CEILING. ALTERNATE 1: DEMOLISH HOSE BIBB ENT INDICATED. CAP AND ASSOCIATED PIPING. SECOND FLOOR. URES AND CAP 12 DEMOLISH 1" CW AND CAP AT 8' AFF. VALL. ABANDON LID CEILING 13 CONTRACTOR TO FIELD VERIFY 2" W PIPING ROUTED BELOW STAIRS IS ABANDONED. DEMOLISH ACCESSIBLE CBA EQUIPMENT FOR PORTIONS OF PIPING AND CAP EL PLANS. TRANSITIONS INTO WALL AND TO

BELOW SLAB.

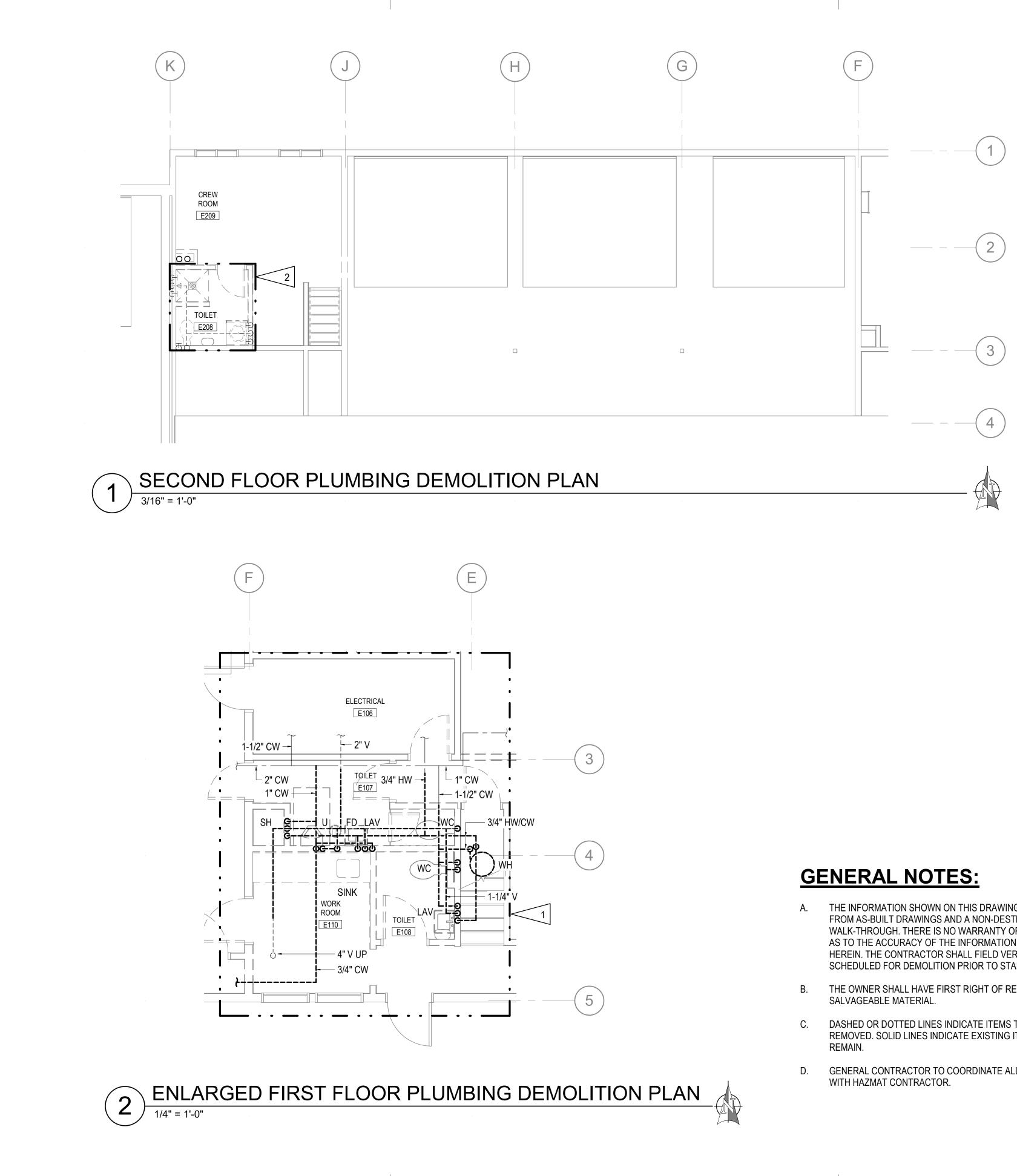
AREA A

**KEYPLAN** 

AREA B



M110 ALS



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- THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM AS-BUILT DRAWINGS AND A NON-DESTRUCTIVE WALK-THROUGH. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HEREIN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL
- DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO
- D. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION

# **SHEET NOTES:**

> WORK IN THIS AREA IS <u>ALTERNATE 1</u>.  $|1\rangle$ 

DEMOLISH PLUMBING FIXTURES, CAP PIPING 2 CONNECTIONS AT WALL/FLOOR. VENT PIPING SERVING SEDIMENT TRAP ON FIRST FLOOR TO REMAIN.





VALDE

CITY OF

















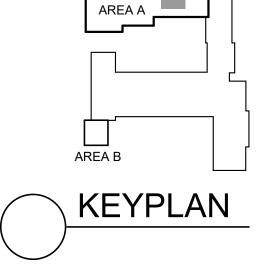


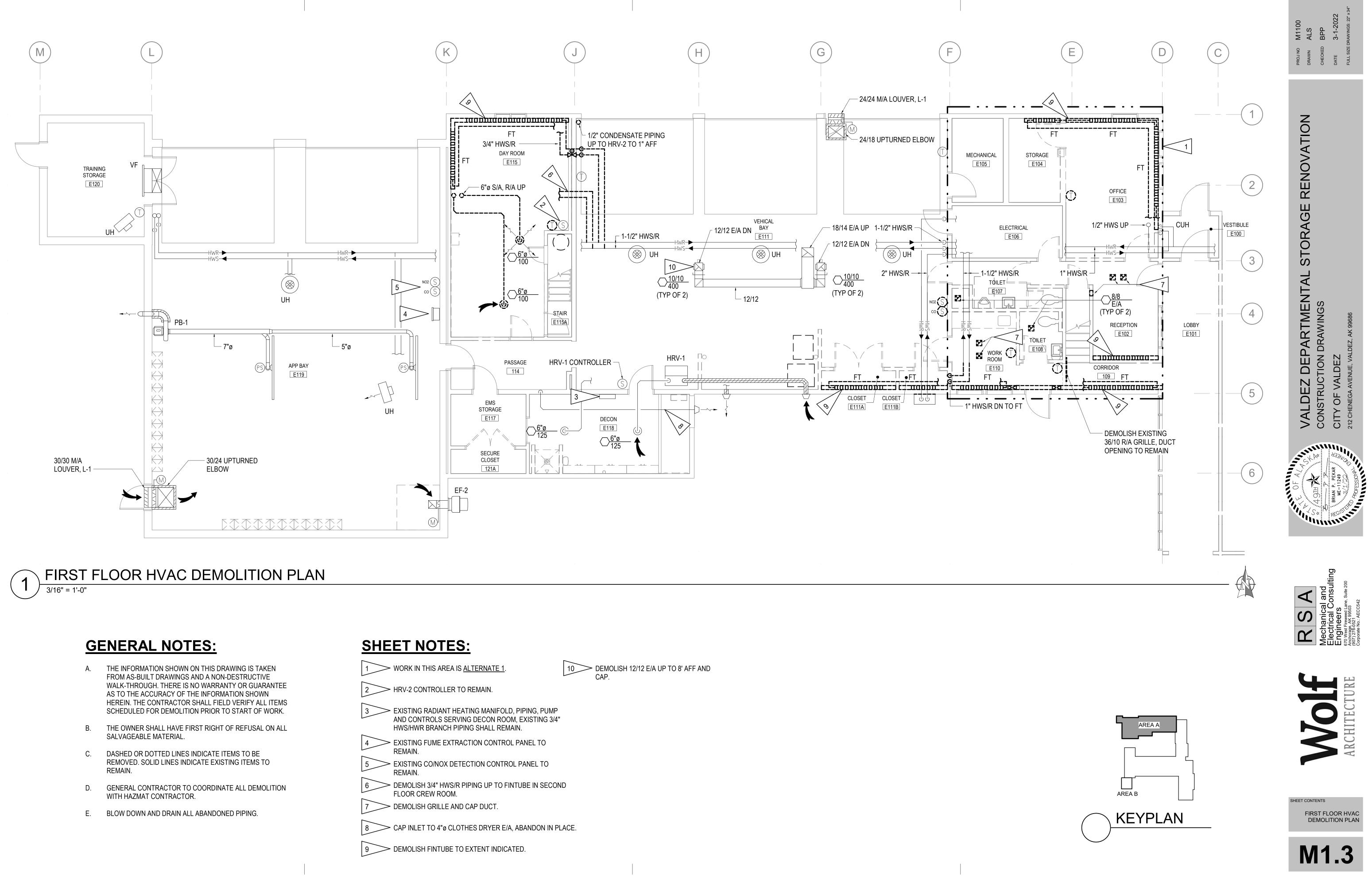
SECOND FLOOR PLUMBING DEMOLITION PLAN



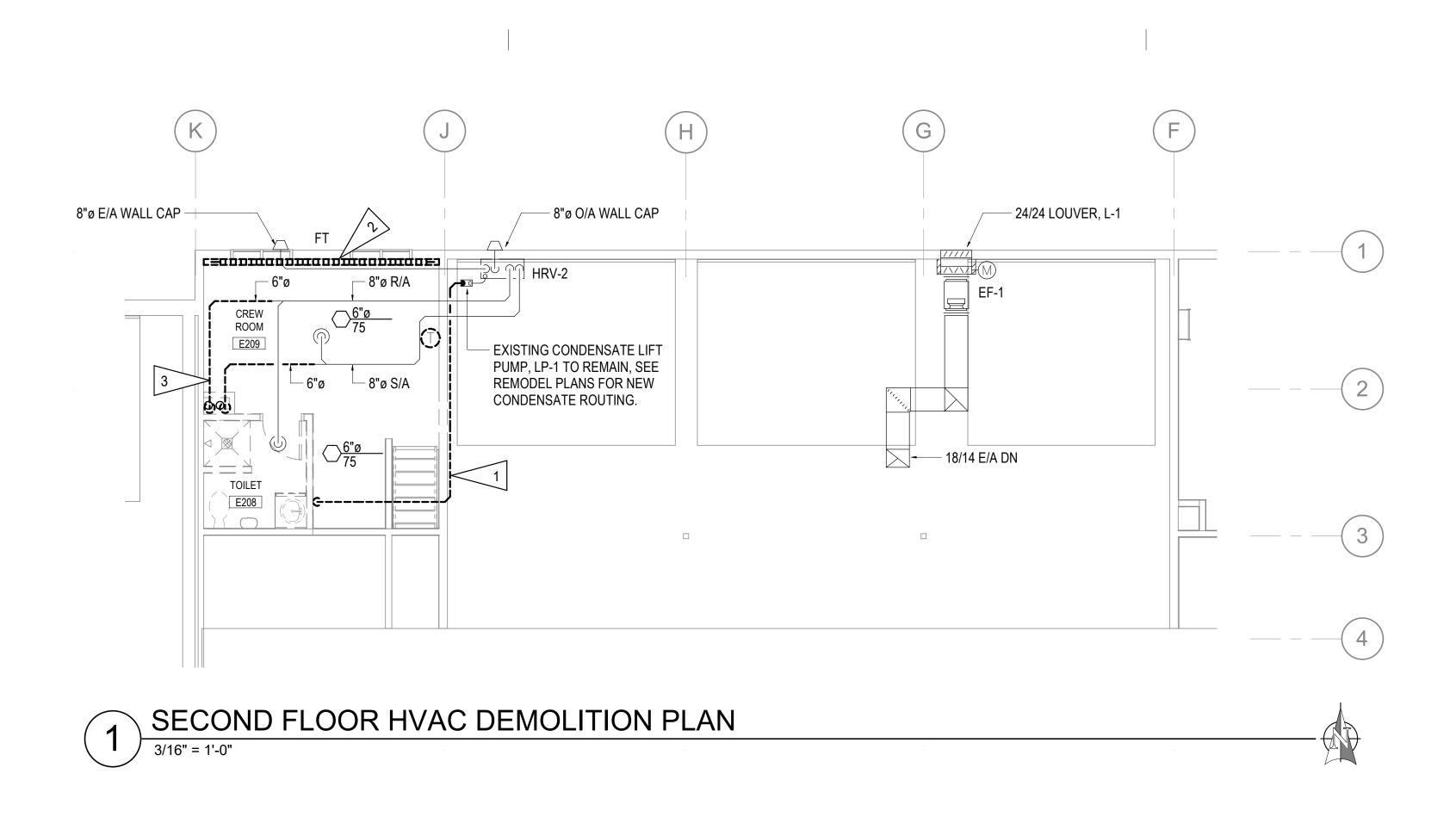
M1.2

295

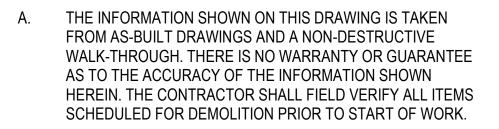




	1	WORK IN THIS AREA IS <u>ALTER</u>
	2	HRV-2 CONTROLLER TO REM
	3	EXISTING RADIANT HEATING AND CONTROLS SERVING DE HWS/HWR BRANCH PIPING S
	4	EXISTING FUME EXTRACTION REMAIN.
	5	EXISTING CO/NOX DETECTIO REMAIN.
	6	DEMOLISH 3/4" HWS/R PIPINO FLOOR CREW ROOM.
	7	DEMOLISH GRILLE AND CAP
	8	CAP INLET TO 4"Ø CLOTHES I
	9	DEMOLISH FINTUBE TO EXTE



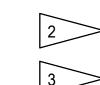
## **GENERAL NOTES:**



- B. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIAL.
- C. DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- D. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WITH HAZMAT CONTRACTOR.

# SHEET NOTES:

1 DEMOLISH 3/8" PUMPED CONDENSATE ROUTED EXPOSED ON WALL TO TAILPIECE ON EXISTING LAVATORY.



DEMOLISH FINTUBE AND ASSOCIATED PIPING DOWN THROUGH FLOOR.

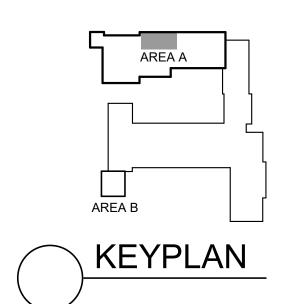


DEMOLISH 6"ø S/A, R/A DOWN THROUGH FLOOR.

NDENSATE L TO VATORY. SSOCIATED OOR. /N THROUGH



M110 ALS



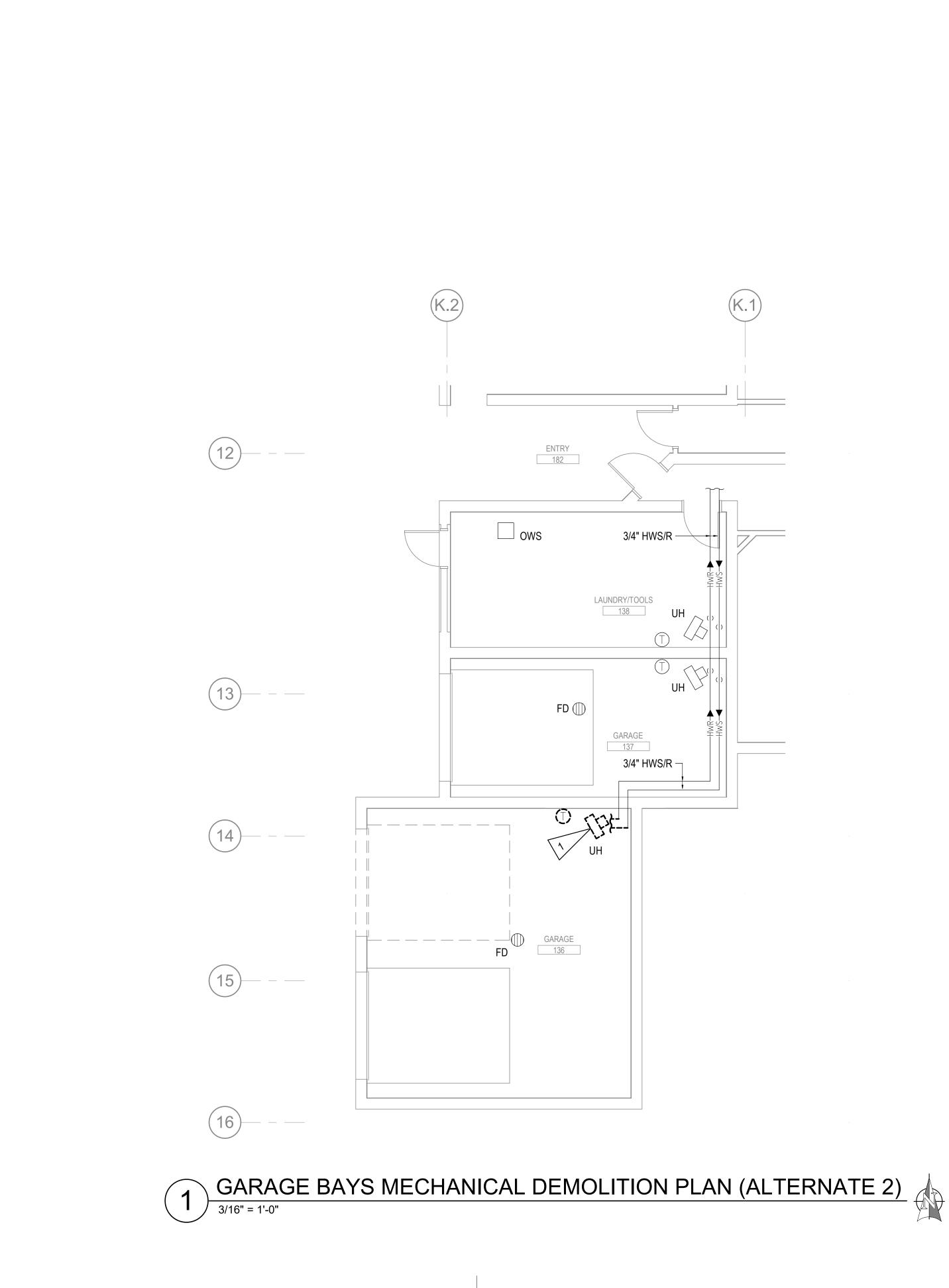


SHEET CONTENTS

M1.4







## **GENERAL NOTES:**

- THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN Α. FROM AS-BUILT DRAWINGS AND A NON-DESTRUCTIVE WALK-THROUGH. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HEREIN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIAL. R
- DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO C. REMAIN.
- GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WITH HAZMAT CONTRACTOR. D.

## **SHEET NOTES:**

DEMOLISH EXISTING UNIT HEATER AND ASSOCIATED CONTROLS, FOR DETAIL, SEE - M3.3 | 1



M1100 ALS PROJ NO DRAWN

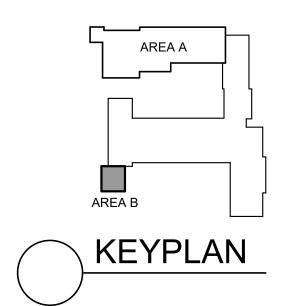


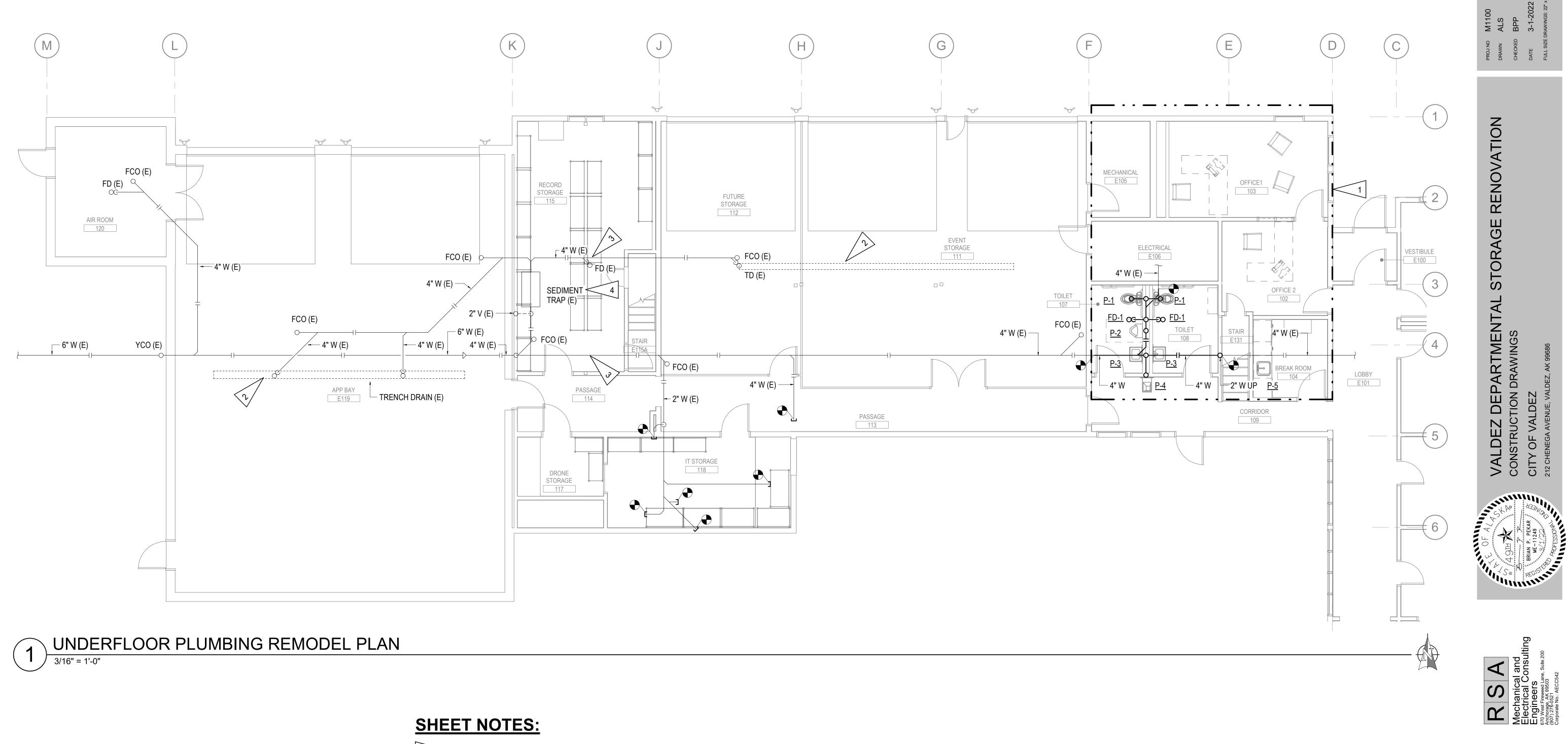




SHEET CONTENTS GARAGE BAYS MECHANICAL DEMOLITION PLAN



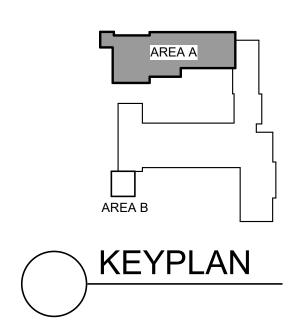




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> WORK IN THIS AREA IS <u>ALTERNATE 1</u>. 1 CLEAN AND SERVICE EXISTING TRENCH DRAIN AND ASSOCIATED SEDIMENT TRAP. 2 > CONTRACTOR TO FIELD VERIFY ROUTING OF 3 EXISTING WASTE PIPING AND COORDINATE PLACEMENT OF NEW STRUCTURAL FOOTINGS TO AVOID PIPING.

> CONTRACTOR TO PROVIDE REPLACEMENT FIELD FABRICATED GASKETED LID FOR SEDIMENT TRAP. 4

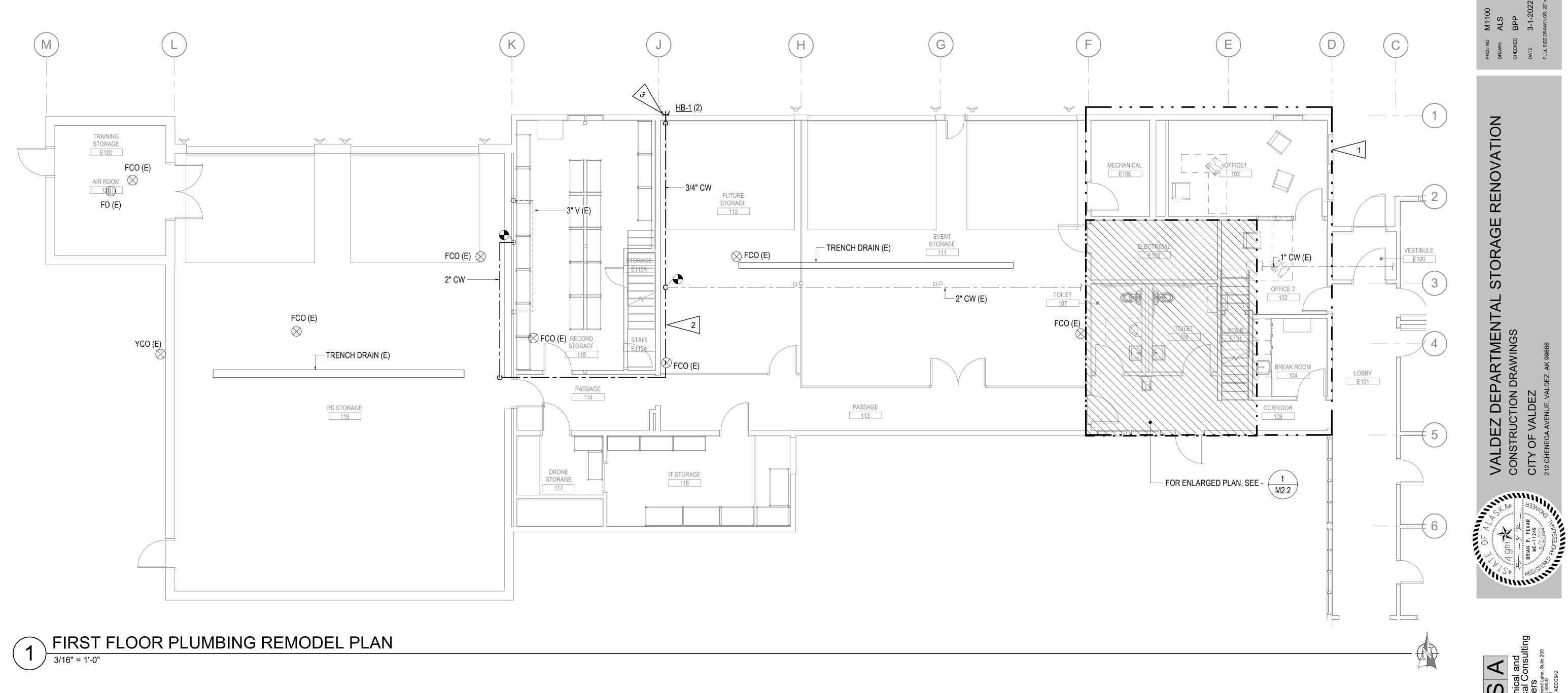




SHEET CONTENTS

UNDERFLOOR PLUMBING PLAN





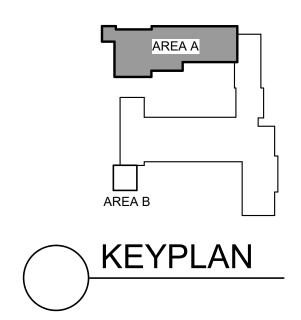
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## **SHEET NOTES:**

> WORK IN THIS AREA IS ALTERNATE 1. 1

> 2" CW, ROUTE EXPOSED. 2

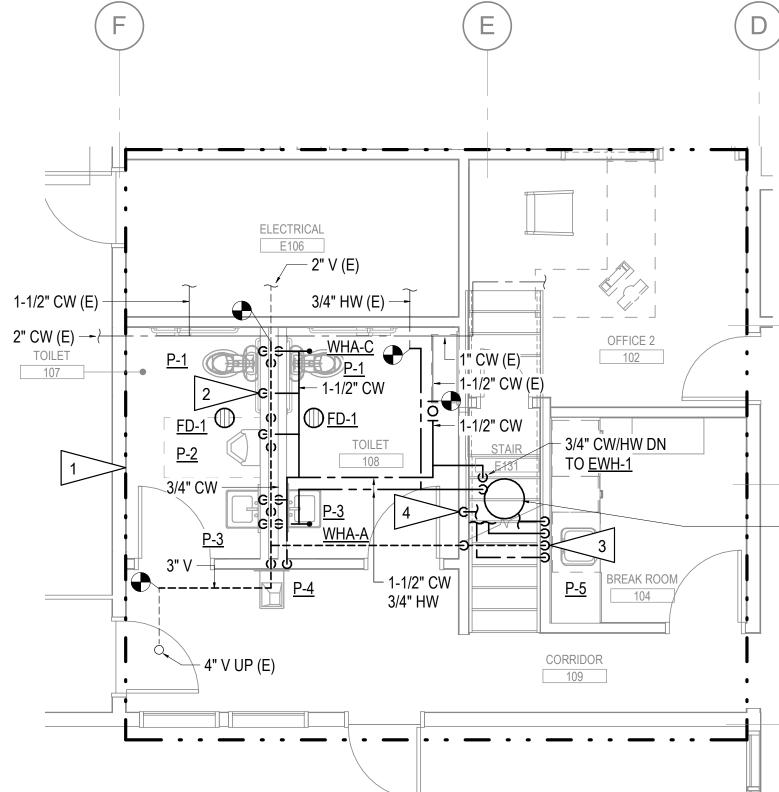
PROVIDE TWO <u>HB-1</u> HOSE BIBBS, STACKED AT 24" AFG. 3

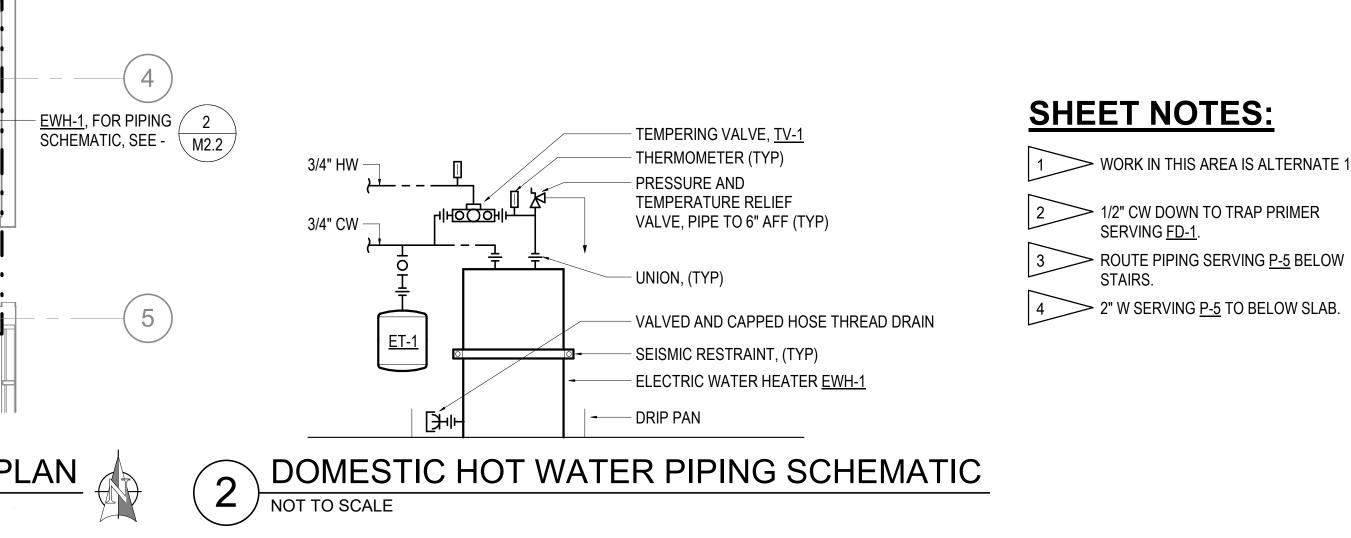






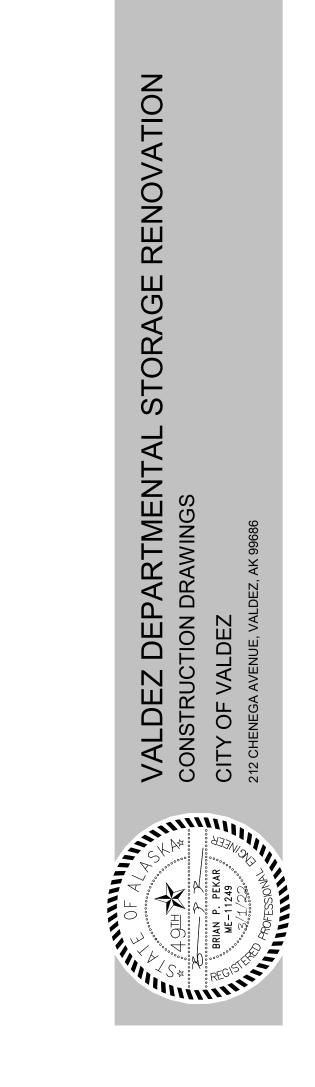
## ENLARGED FIRST FLOOR PLUMBING REMODEL PLAN 1





(3)

M1100	ALS	ВРР	3-1-2022	FULL SIZE DRAWINGS: 22" x 34"	
PROJ NO	DRAWN	CHECKED	DATE	FULL SIZE D	
					_







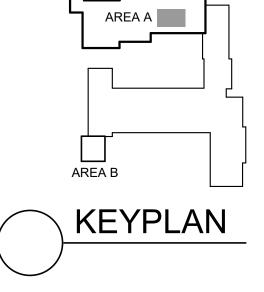


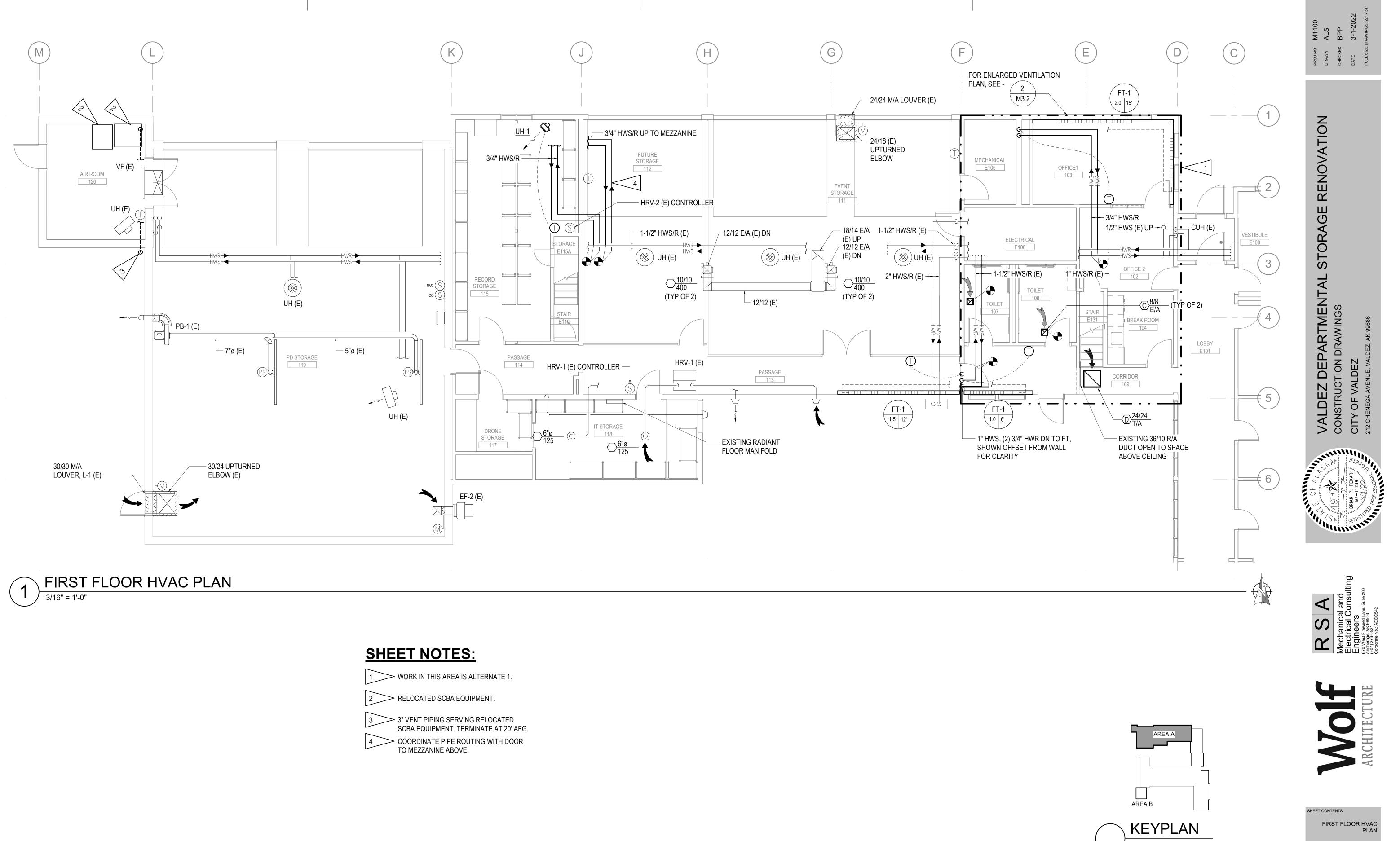
SHEET CONTENTS

ENLARGED PLUMBING PLAN



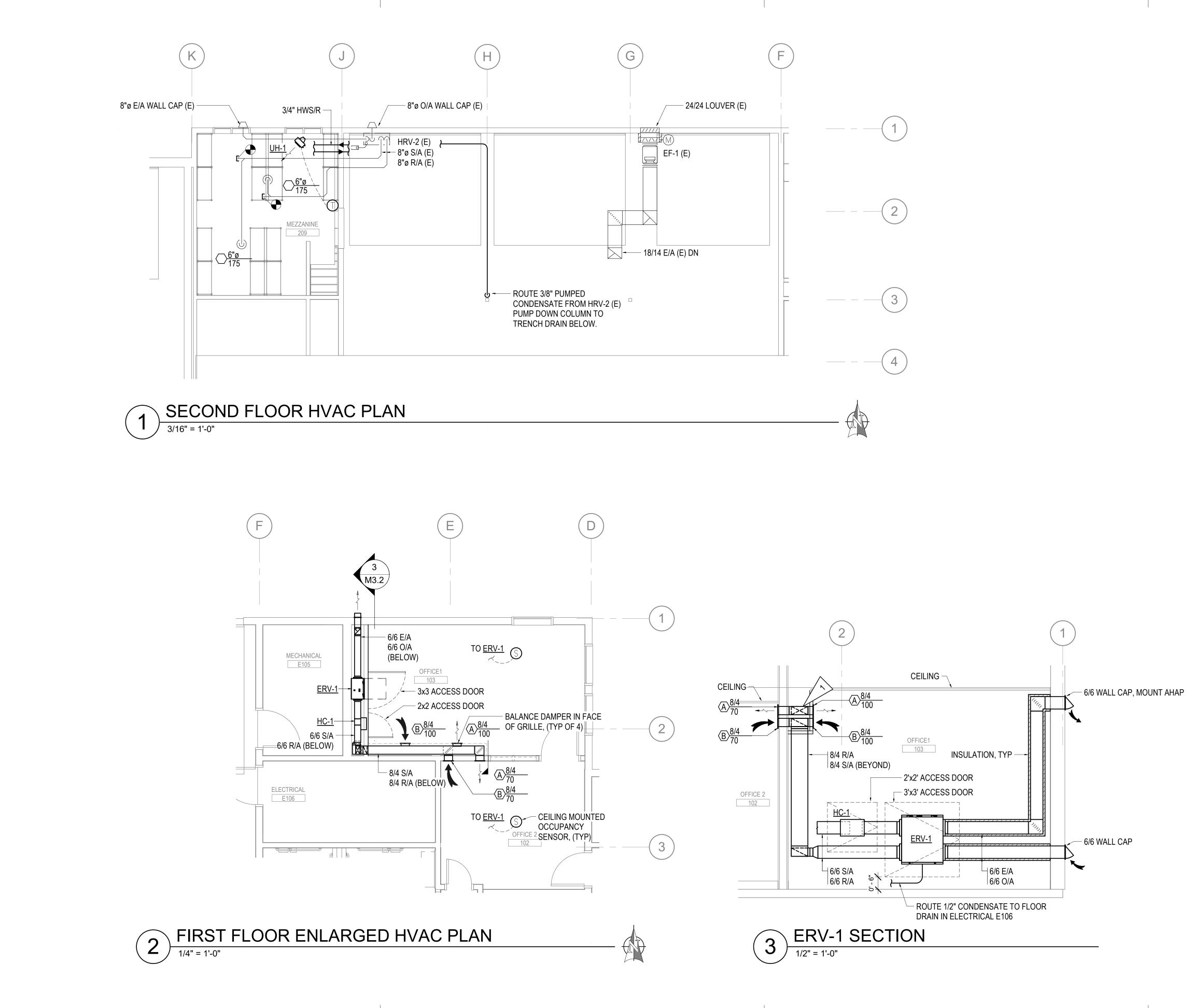
- > WORK IN THIS AREA IS ALTERNATE 1.











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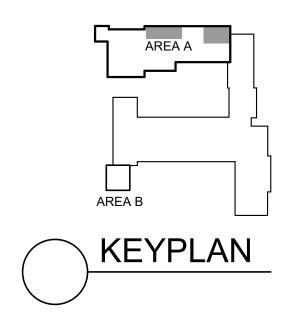
M1100	ALS	ВРР	3-1-2022	FULL SIZE DRAWINGS: 22" × 34"
PROJ NO	DRAWN	CHECKED	DATE	FULL SIZE D



# **SHEET NOTES:**



> INSTALL DUCTING AND ASSOCIATED SOFFIT AHAP.

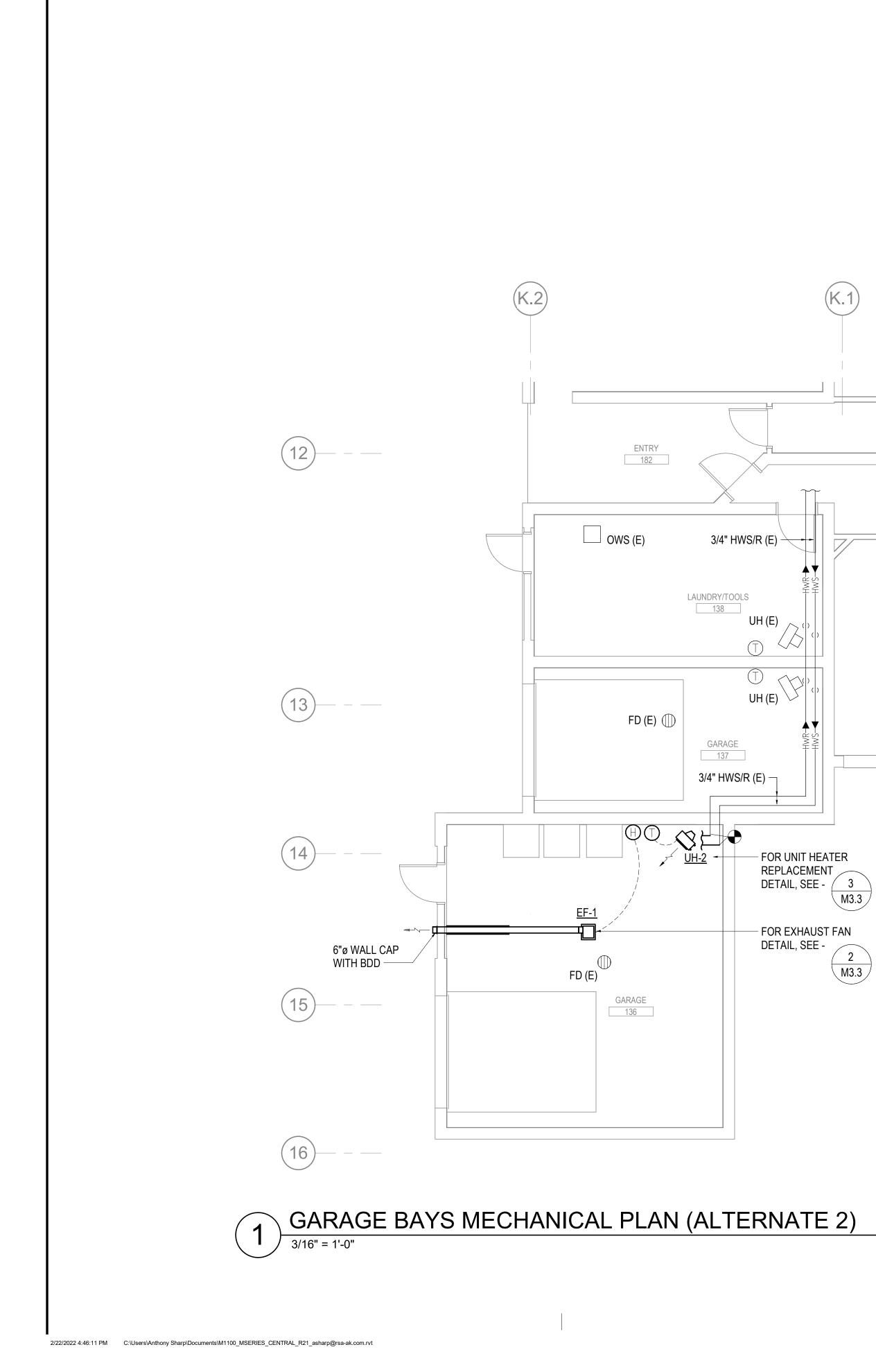


R S A Mechanical and Electrical Consultin Engineers 670 West Fireweed Lane, Suite 200 (907) 276-0521 Corporate No.: AECC542



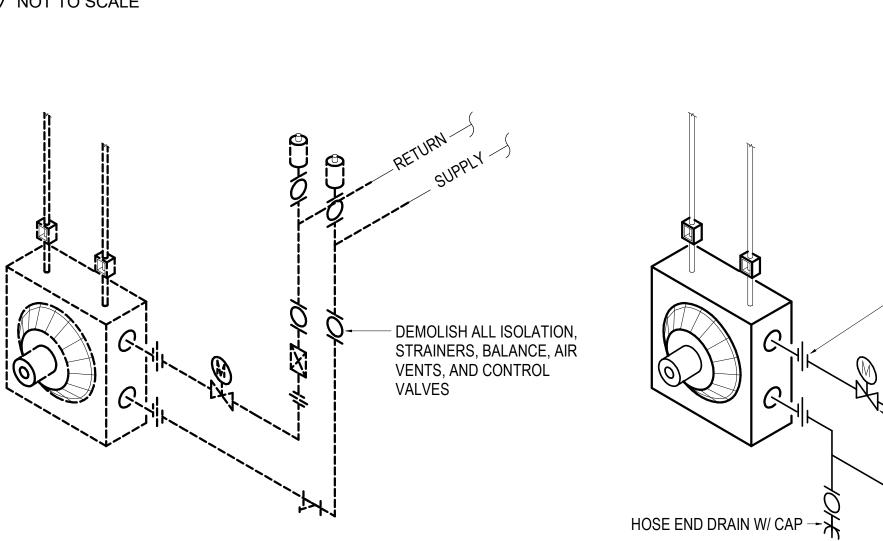
SHEET CONTENTS SECOND FLOOR HVAC PLAN

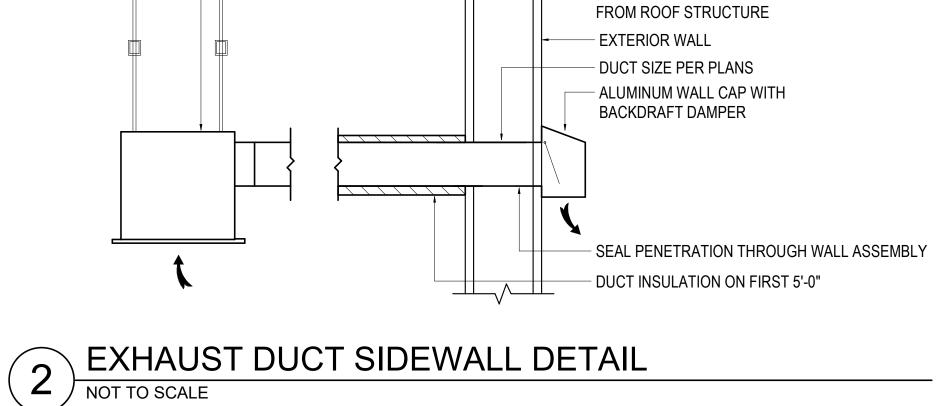






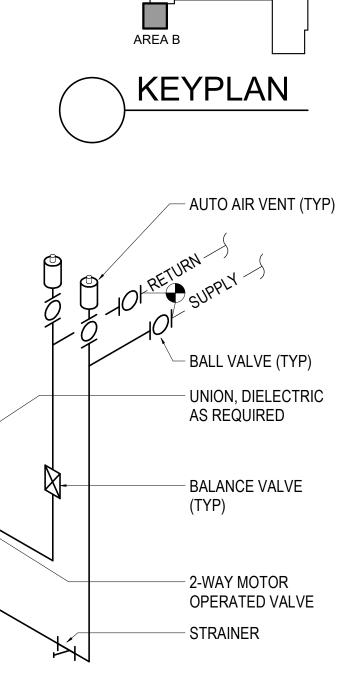


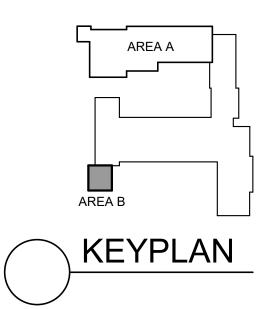




CEILING EXHAUST FAN SUSPENDED

# UNIT HEATER REMODEL





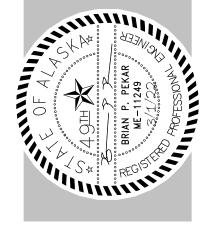


GARAGE BAYS MECHANCIAL PLAN

SHEET CONTENTS







VALDEZ DEPARTMENTAL STORAGE RENOVATION	CITY OF VALDEZ	212 CHENEGA AVENUE, VALDEZ, AK 99686

M1100 ALS

			LIGHT FIXTURE SCHEDULE					
TYPE	LOCATION	MANUFACTURER AND CATALOG NUMBER	LUMINAIRE DESCRIPTION		DUNTING	LAMPS	BALLAST/DRIVER	TOTAL INPUT
A	AS SHOWN	(OR APPROVED EQUAL) LITHONIA #IBG-12000LM-HEF-AFL-GND- MVOLT-GZ10-35K-80CRI-DNA (E10WCP)	2'X4' LED HIGH BAY FIXTURE WITH HIGH EFFICIENCY OUPUT, FROSTED LENS, GENERAL DISTRIBUTION, AND ALUMINUM FINISH. PROVIDE WITH EMERGENCY BATTERY PACK WHERE NOTED ON PLANS.	TYPE SURFACE/ PENDANT	HEIGHT CEILING/ BELOW JOISTS	3500K LED 12000LM	120/277V DRIVER 0-10V DIMMING	WATTS 68
A1	GARAGE 136	LITHONIA #IBG-8000LM-HEF-AFL-GND-MVOLT- GZ10-35K-80CRI-DNA (E10WCP)	SAME AS FIXTURE TYPE 'A' EXCEPT LOWER LUMEN PACKAGE. PROVIDE WITH EMERGENCY BATTERY PACK WHERE NOTED ON PLANS.	SURFACE/ PENDANT	CEILING/ BELOW JOISTS	3500K LED 8000LM	120/277V DRIVER 0-10V DIMMING	47
В	AS SHOWN	LITHONIA #STL4-40L-EZ1-LP835	4'L LED WRAP FIXTURE WITH WHITE FINISH.	SURFACE	CEILING	3500K LED 4000LM	120/277V DRIVER 0-10V DIMMING TO 1%	35
B1	AS SHOWN	LITHONIA #STL4-48L-EZ1-LP835	SAME AS FIXTURE TYPE 'B' EXCEPT WITH HIGHER LUMEN OUTPUT.	SURFACE	CEILING	3500K LED 4800LM	120/277V DRIVER 0-10V DIMMING TO 1%	45
С	TOILETS	LITHONIA #LDN6-35/20-LO6-WR-MVOLT-EZ10	6"DIA RECESSED LED DOWNLIGHT WITH WHITE TRIM.	RECESSED	CEILING	3500K LED 2000LM	120/277V DRIVER 0-10V DIMMING TO 10%	23
D	TOILETS, STAIR	LITHONIA #BLWP2-20LHE-ADP-EZ1-LP835	2'L LED WRAP FIXTURE WITH CURVED LENS, RIBBED DIFFUSER, HIGH EFFICIENCY OUTPUT, AND STANDARD PRE-WHITE FINISH.	WALL	ABOVE MIRROR	3500K LED 2000LM	120/277V DRIVER 0-10V DIMMING TO 1%	17
F	OFFICES	LITHONIA #CPANL-2X2-AL01-SWW7-M4-DCMK224	2'x2' LED ADJUSTABLE FLAT PANEL WITH SATIN WHITE LENS, WHITE FINISH, AND DIRECT CEILING MOUNT KIT. SET TO HIGH LUMEN OUTPUT AND 3500K CCT.	SURFACE	CEILING	3500K LED 3741LM	120/277V DRIVER 0-10V DIMMING TO 10%	41
F1	RECORDS STORAGE	LITHONIA #CPANL-2X2-AL01-SWW7-M4	SAME AS TYPE 'A' EXCEPT WITHOUT THE DIRECT CEILING MOUNT KIT.	RECESSED	CEILING	3500K LED 3741LM	120/277V DRIVER 0-10V DIMMING TO 10%	41
н	TRAINING STORAGE E120	LITHONIA #ZL1N-L48-3000LM-FST-MVOLT-40K-80CRI- WH	4'L LED STRIP LIGHT WITH NO REFLECTORS, SNAP ON FROSTED DIFFUSE LENS, AND WHITE FINISH.	SURFACE	SEE PLANS	4000K LED 3293LM	120/277V DRIVER	25
XE	AS SHOWN	LITHONIA #ELM2L-SDRT	EMERGENCY LIGHTING UNIT WITH AIMABLE OPTICS, WHITE HOUSING, AND SELF DIAGNOSTICS REMOTE TEST	WALL	7'-6" AFF	220LM	120/277V DRIVER	2.5

	EXISTING FIXTURE SCHEDULE						
TYPE	DESCRIPTION	WATT					
(A)	1'X4' SURFACE MOUNT 2LT8 FLUORESCENT FIXTURE	60W					
B	1'X4' RECESSED 1LT8 FLUORESCENT FIXTURE	30W					
$\bigcirc$	2'X4' RECESSED 4LT8 FLUORESCENT FIXTURE	120W					
D	ROUND SURFACE MOUNT A29 FLUORESCENT BULB	20W					
F	1'X2' WRAPAROUND 2LT8 FLUORESCENT FIXTURE	34W					
G	2'X4' SURFACE MOUNT 4LT8 FLUORESCENT FIXTURE	120W					
H	2'L VANITY 1LT8 FLUORESCENT FIXTURE	17W					
	6"DIA RECESSED CAN WITH FLUORESCENT BULB	20W					
$( \  \  )$	2'L 2LT8 STRIP LIGHT	34W					

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ELECTRICAL LEGEND						
Ю,Н	LIGHT FIXTURE - SURFACE MTD ON WALL, EM	K	P.A. SPEAKER			
<b>O</b> , <b>O</b>	LIGHT FIXTURE - RECESSED DOWNLIGHT, EM	TV	TELEVISION (COAX)			
┣☎,⊣⊗	EMERGENCY EXIT SIGN - SURFACE MTD WALL, EXISTING	ACP	ACCESS CONTROL PANEL			
<b>▲</b> ,	EMERGENCY LIGHT - SURFACE MTD WALL, EXISTING	·	FIRE ALARM PULL STATION			
	LINEAR EMERGENCY FIXTURE	<b>M</b> , <b>M</b>	FIRE ALARM HORN/STROBE LIGHT (WALL, CLG MOUNTED)			
	LINEAR LIGHT FIXTURE - RECESSED MTD	0	HEAT DETECTOR 135° & RATE OF RISE (OR FIXED °F IF NOTED)			
	LINEAR LIGHT FIXTURE - SURFACE MTD CLG	0	PHOTOELECTRIC SMOKE DETECTOR			
<u> </u>	LINEAR LIGHT FIXTURE - WALL MTD, EM	ų,	DUPLEX RECEPTACLE TO BE REMOVED (DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED TYPICAL)			
<b>⊢∽</b> , <b>⊢</b> ●1	STRIPLIGHT - PENDANT OR SURFACE MTD CLG, EM	1	NOTE TAG (No. INDICATES NOTE)			
A	FIXTURE TAG (LETTER INDICATES TYPE)	XX-XX	CIRCUIT TAG (No. INDICATES CIRCUIT)			
\$	SINGLE POLE SWITCH	AFF	ABOVE FINISHED FLOOR			
<b>\$</b> D	DIMMER SWITCH	AFG	ABOVE FINISHED GRADE			
\$ _{os}	OCCUPANCY SENSOR WALL SWITCH (DUALTECH)	С	CONDUIT			
03	OCCUPANCY SENSOR - CEILING MOUNTED (DUALTECH)	CLG	DENOTES ITEM LOCATED ON THE CEILNG			
	CONDUIT, CONCEALED	E	DENOTES EXISITNG ITEM			
<u> </u>	NUMBER AND SIZE OF WIRES (NO MARKS = 3 #12)	EM	DENOTES EMERGENCY POWER			
A-2	HOMERUN TO PANEL (PANEL AND CIRCUIT No.)	FACP	FIRE ALARM CONTROL PANEL			
	SURFACE RACEWAY	GFCI	GROUND FAULT CIRCUIT INTERRUPTER			
	PANEL	К	KELVIN			
Ф	DUPLEX RECEPTACLE	LED	LIGHT EMITTING DIODE			
\$	DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER	LM	LUMENS			
#	QUADRAPLEX RECEPTACLE	NEC	NATIONAL ELECTRICAL CODE			
۲	SPECIAL PURPOSE OUTLET	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED			
J	JUNCTION BOX	TYP	TYPICAL			
\$	MOTOR (SIZED AS SHOWN)	WAP	WIRELESS ACCESS POINT			
<b>\$</b> _T	FRACTIONAL HORSEPOWER MOTOR STARTER	WP	WEATHERPROOF			
R	TELECOMMUNICATION OUTLET (COMBINATION TELEPHONE & DATA)					

PROJ NO M1100 DRAWN KB CHECKED DB, KS DATE 3-1-2022 FULL SIZE DRAWINGS: 22" x34"

> VALDEZ DEPARTMENTAL STORAGE CONSTRUCTION DRAWINGS CITY OF VALDEZ 212 CHENEGA AVENUE, VALDEZ, AK 99686

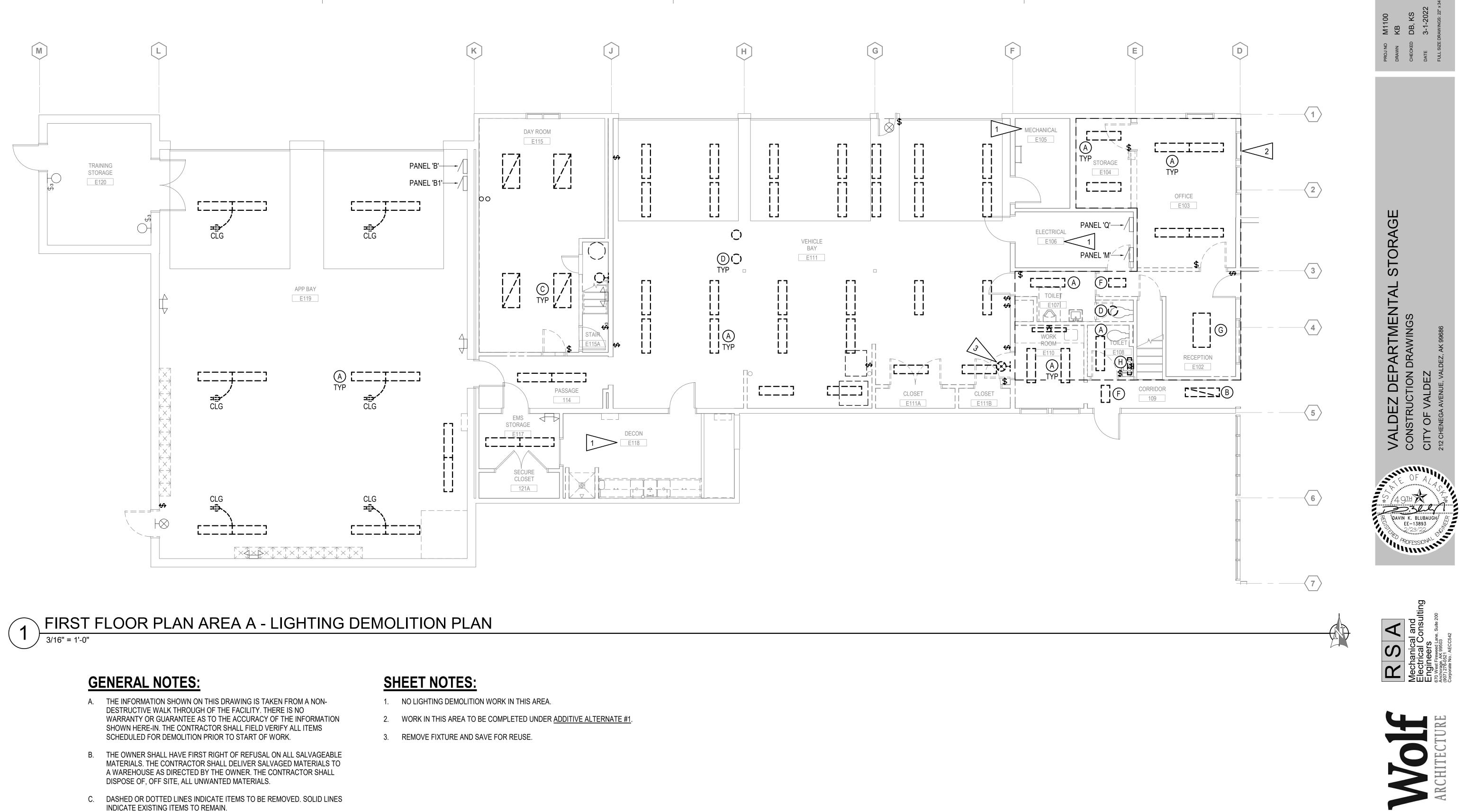
> > **R S A Chanical and Sctrical Consulting gineers Past Fireweed Lane**, Suite 200 **Past Fireweed Fireweed Lane**, Suit

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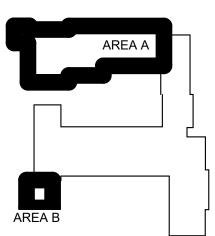


SHEET CONTENTS ELECTRICAL LEGEND AND SCHEDULES



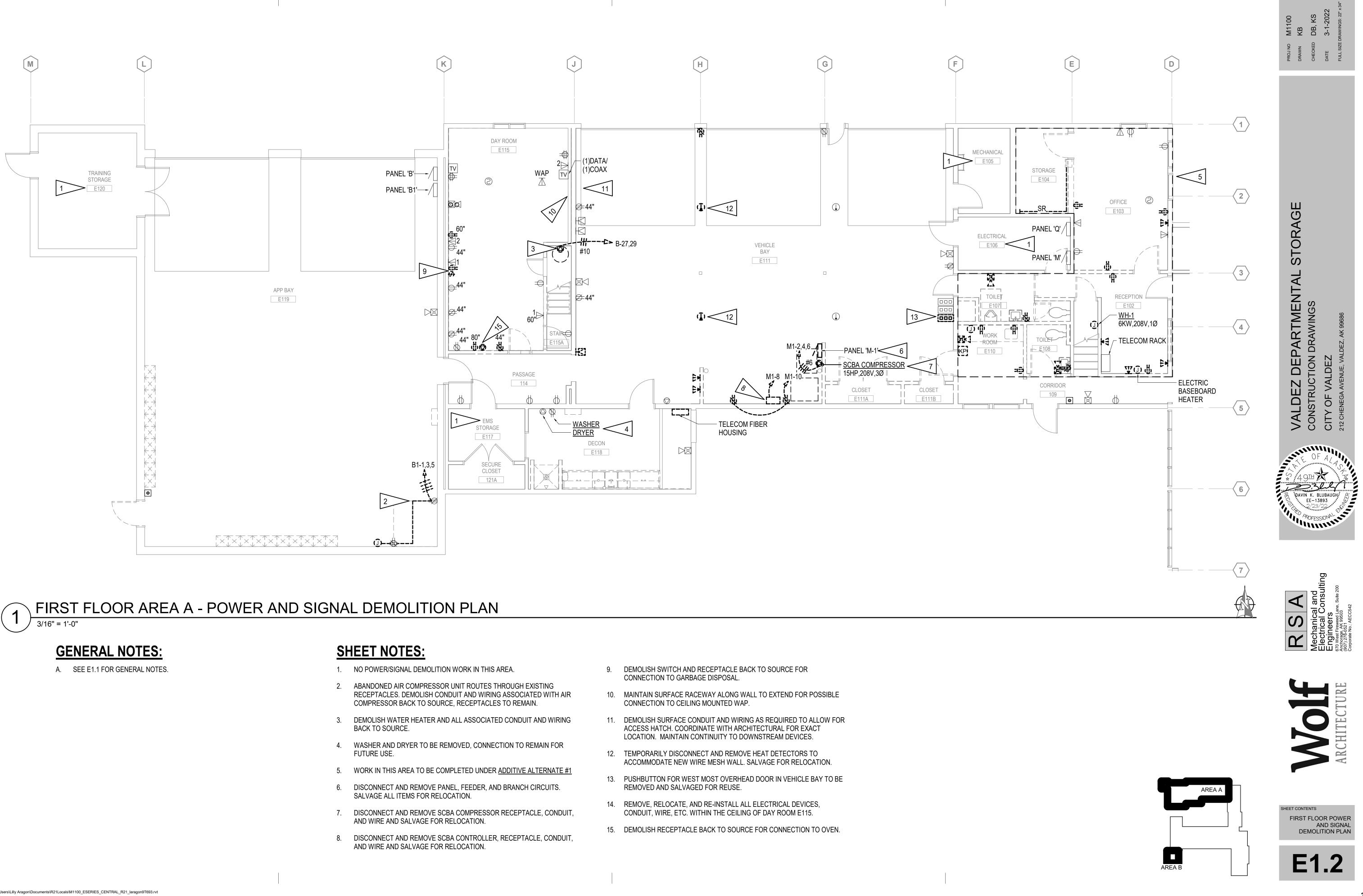


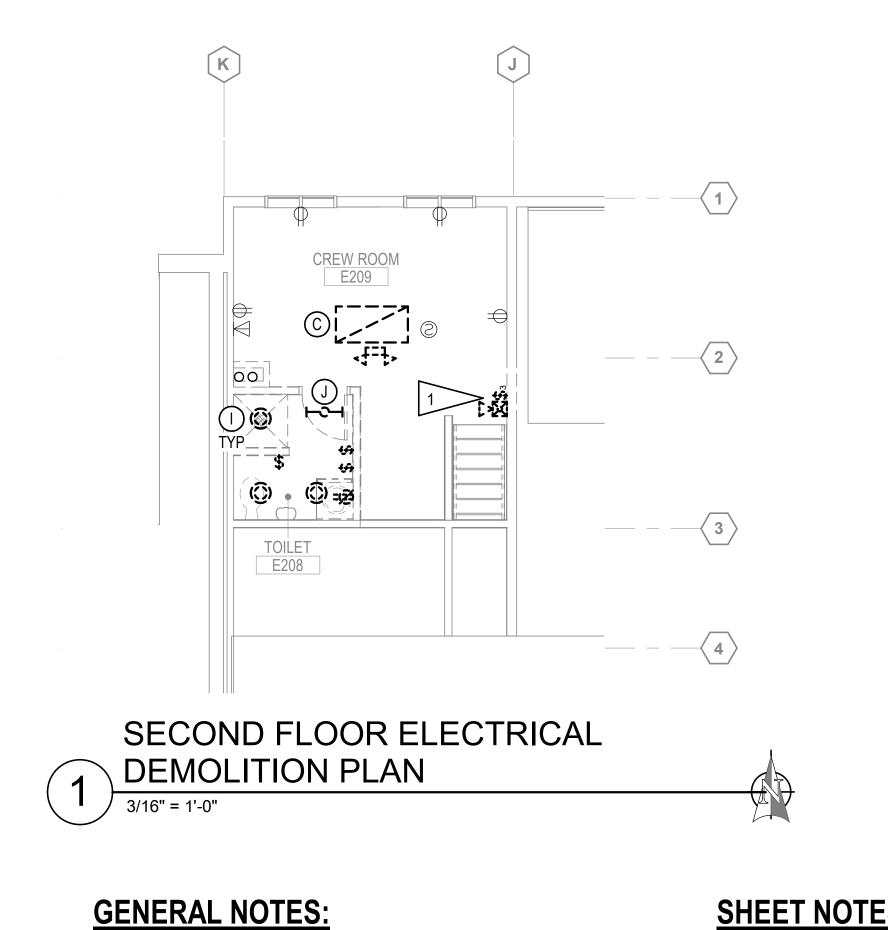
- INDICATE EXISTING ITEMS TO REMAIN.
- D. ONLY ITEMS AFFECTED BY THE WORK ARE SHOWN ON THESE DRAWINGS. ALL OTHER ITEMS ARE NOT SHOWN FOR CLARITY.
- E. ALL LIGHTING FIXTURES TO BE DEMOLISHED AS SHOWN. SALVAGE LIGHTING CIRCUITS TO THE EXTENT NECESSARY TO POWER THE NEW FIXTURES.





SHEET CONTENTS





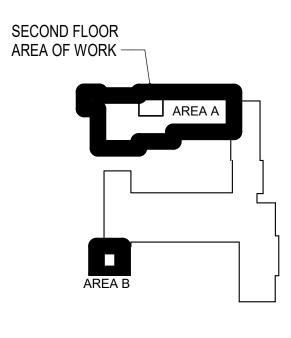
A. SEE E1.1 FOR GENERAL NOTES.

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# SHEET NOTES:

1. DEMOLISH DEVICES AND SURFACE RACEWAY ALONG WALL BACK TO SOURCE.

PROJ NO M1100	DRAWN KB	снескер DB, KS	DATE <b>3-1-2022</b>	FULL SIZE DRAWINGS: 22" x 34"	
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< () ()	エクト	Mechanical and	Erectrical Consuluing Engineers	670 West Fireweed Lane, Suite 200 607 Archorage, AK 99503 (907) 276-0521 Corporate No.: AECC542	
				RCHITECTURE	

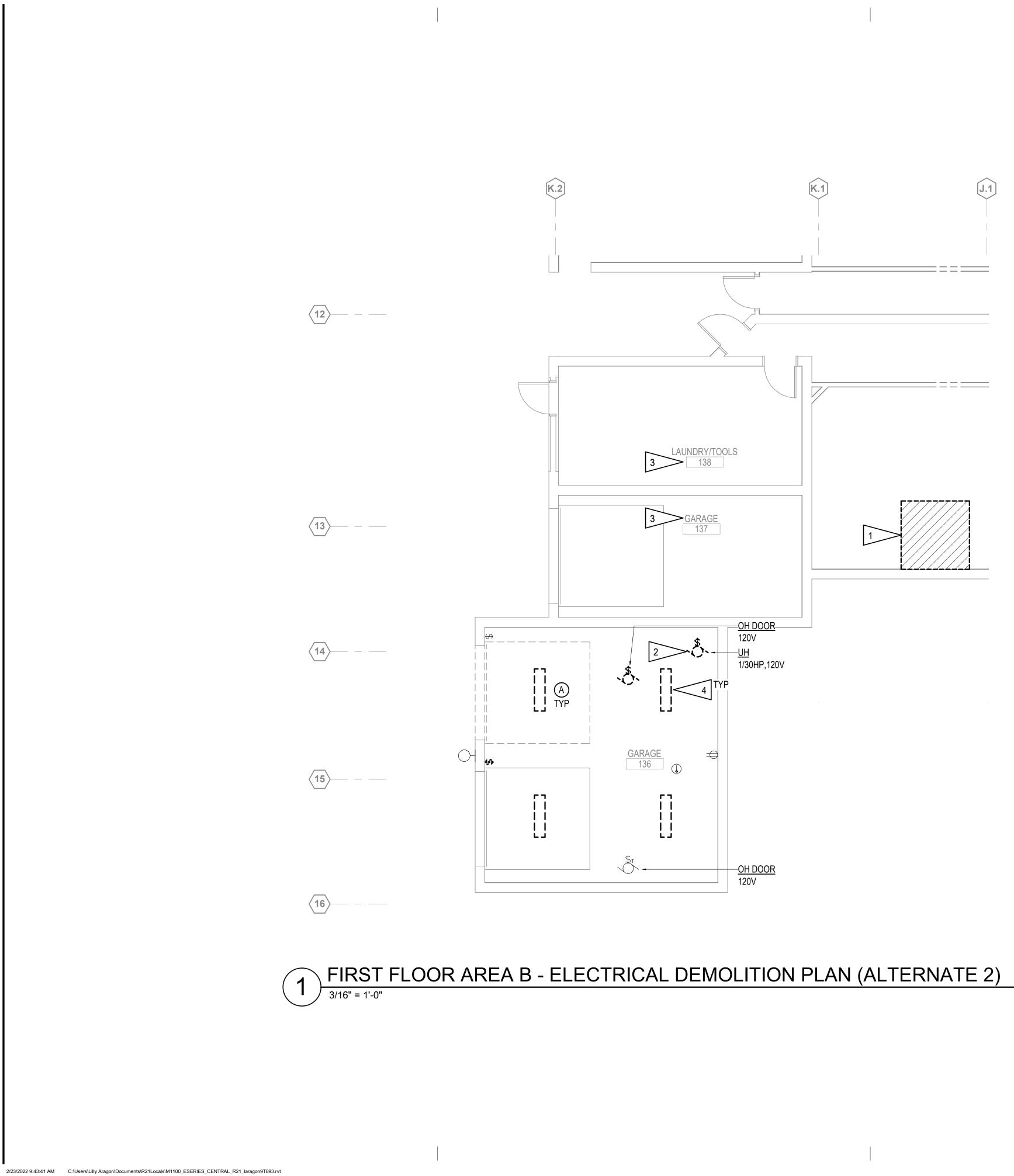


 $\mathbf{A}$ 

SECOND FLOOR ELECTRICAL DEMOLITION PLAN

E1.3

SHEET CONTENTS



## **GENERAL NOTES:**

A. SEE E1.1 FOR GENERAL NOTES.

## SHEET NOTES:

- 1. NEAREST PANEL 'IT1' LOCATED IN 'I.T.' ROOM ABOVE.
- 2. DEMOLISH UNIT HEATER. SALVAGE CONDUIT AND WIRE FOR REUSE.
- 3. NO WORK IN THIS AREA.
- 4. DEMOLISH LIGHT FIXTURES. SALVAGE CONDUIT AND WIRE FOR REUSE.

# 

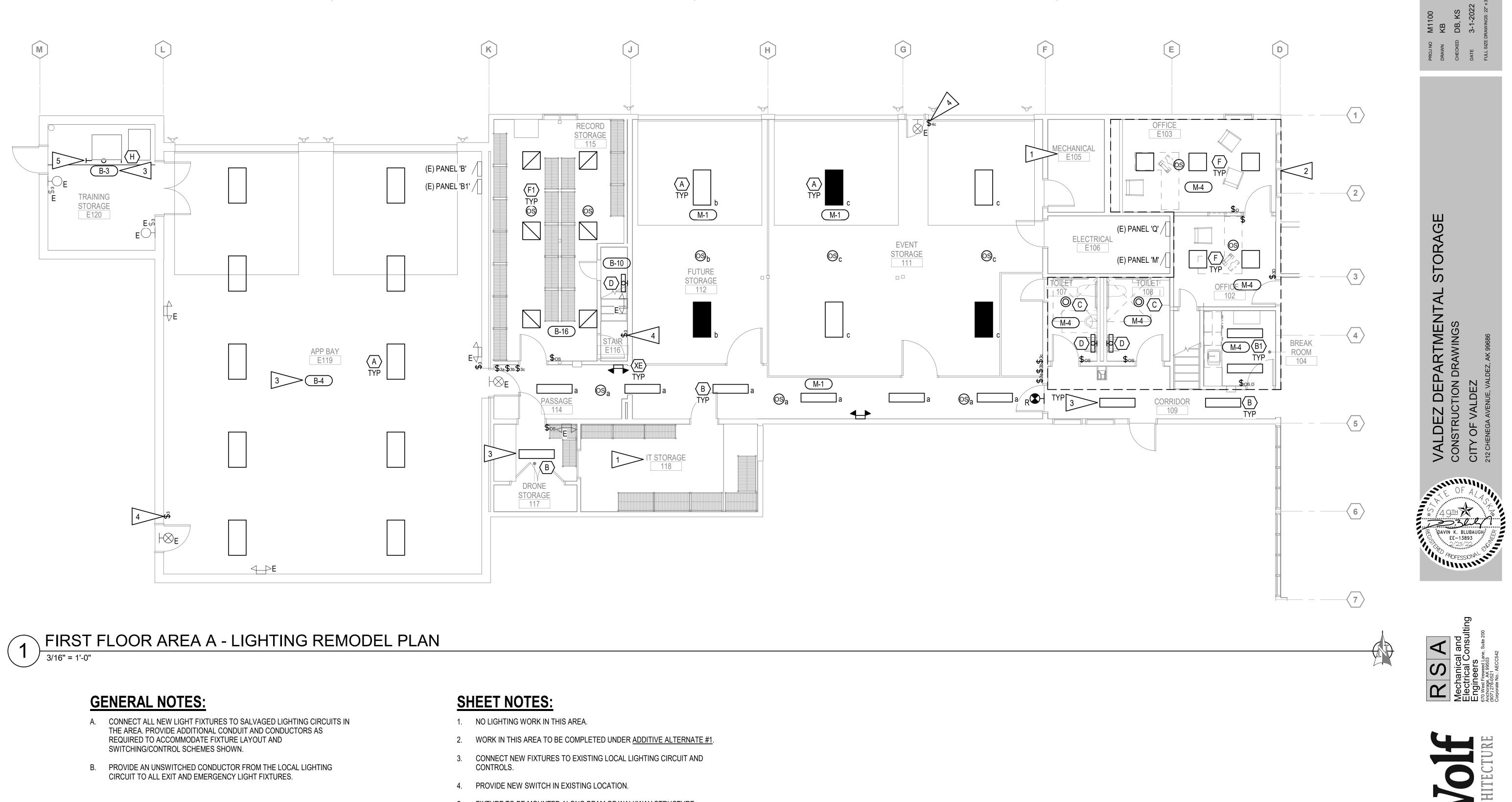
PROJ NO M1100	DRAWN KB	снескер DB, KS	DATE <b>3-1-2022</b>	FULL SIZE DRAWINGS: 22" × 34"	
	DEPARIMENTAL STORAGE	VINGS		99686	
	VALUEZ UEPAK	CONSTRUCTION DRAWINGS	<b>CITY OF VALDEZ</b>	212 CHENEGA AVENUE, VALDEZ, AK 99686	
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< () ()	エット	Mechanical and	Engineers	670 West Fireweed Lane, Suite 200 Anchorage, AK 99503 (907) 276-0521 Corporate No.: AECC542	



SHEET CONTENTS GARAGE BAYS 4 &5 ELECTRICAL DEMOLITION PLAN



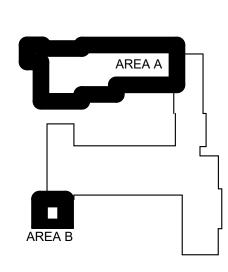
AREA B



- 5. ABOVE.

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FIXTURE TO BE MOUNTED ALONG BEAM OF WALKWAY STRUCTURE

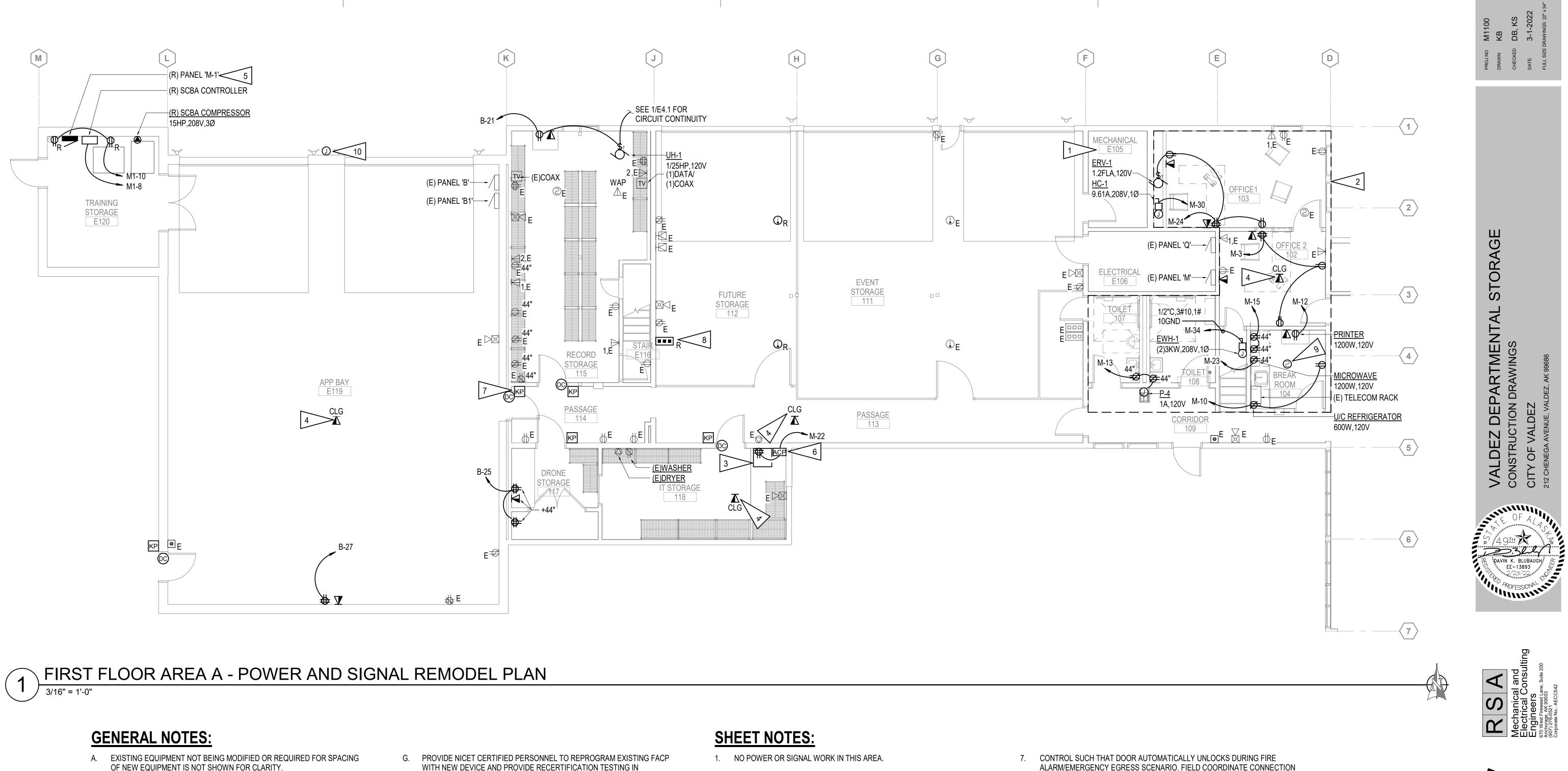


SHEET CONTENTS

FIRST FLOOR LIGHTING

**E2.1** 

REMODEL PLAN



- OF NEW EQUIPMENT IS NOT SHOWN FOR CLARITY.
- B. ALL CEILING MOUNTED DATA OUTLETS TO HAVE (2) CAT6 JACKS EACH, ALL WALL MOUNTED DATA OUTLETS TO HAVE (4) CAT6 JACKS EACH, UNLESS OTHERWISE NOTED.
- C. ALL NEW DATA JACKS EAST OF GRIDLINE F SHALL BE FED FROM THE (E) TELECOM RACK WITHIN BREAK ROOM 104. ALL NEW DATA JACKS WEST OF GRIDLINE F SHALL BE FED FROM THE NEW OWNER FURNISHED CONTRACTOR INSTALLED TELECOM RACK WITHIN IT STORAGE E118.
- D. CONNECT NEW FIRE ALARM DEVICES TO NEAREST EXISTING NAC/SLC CIRCUIT, AS APPLICABLE. PROVIDE RETESTING/CERTIFICATION OF SYSTEM IN ACCORDANCE WITH NFPA 72 AND LOCAL JURISDICTIONAL REQUIREMENTS.
- E. EXISTING RECEPTACLES AND DATA TO HAVE NEW DEVICE AND DEVICE PLATE IN EXISTING JUNCTION BOX UNLESS OTHERWISE NOTED.
- F. WHERE NEW CIRCUIT BREAKERS ARE REQUIRED, THE NEW CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH AND LISTED FOR USE IN THE EXISTING PANEL BOARD AND SHALL HAVE A MINIMUM SHORT CIRCUIT AIC RATING TO MATCH THE LOWEST RATED EXISTING DEVICE IN THE PANEL.

ACCORDANCE WITH NFPA 72 AND LOCAL JURISDICTIONAL REQUIREMENTS.

- 2. WORK IN THIS AREA TO BE COMPLETED UNDER ADDITIVE ALTERNATE #1.
- 3. OFCI WALL MOUNTED TELECOM RACK. INSTALL TO CONTRACTOR PROVIDED PLYWOOD BACKBOARD AND INSTALL CONTRACTOR PROVIDED PATCH PANELS. FIELD COORDINATE LOCATION WITH (E) TELECOM FIBER HOUSING IN SAME AREA.
- CEILING MOUNTED DATA FOR OWNER FURNISHED CONTRACTOR INSTALLED CAMERA AND WAP DEVICE.
- 5. PROVIDE NEW JUNCTION BOXES, CONDUIT, AND WIRING AS REQUIRED TO EXTEND EXISTING FEEDER TO NEW PANEL LOCATION. FOR BID PURPOSES ASSUME A 1.5"C, 4#2 AWG, #8 AWG GND, CU, XHHW FEEDER SIZE. FIELD VERIFY PRIOR TO BEGINNING WORK.
- FIELD LOCATE NEW ACCESS CONTROL PANEL NEAR OFCI TELECOM RACK. PROVIDE NETWORK CONNECTION TO ACCESS CONTROL PANEL. CONNECT ALL NEW KEYPADS/CARD READERS TO ACP IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

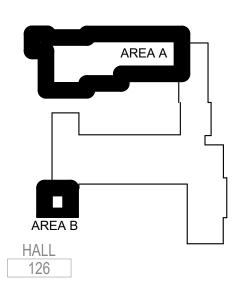
- SYSTEM INTEGRATOR.
- 8. EXTEND AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED.
- REPROGRAM EXISTING FACP WITH NEW DEVICE AND PROVIDE JURISDICTIONAL REQUIREMENTS.

REQUIREMENTS WITH ACCESS CONTROL AND FIRE DETECTION AND ALARM

RELOCATED PUSHBUTTON FOR CONTROL OF LOCAL OVERHEAD DOOR.

9. PROVIDE NEW ADDRESSABLE PHOTOELECTRIC TYPE SMOKE DETECTOR AND CONNECT TO NEAREST AVAILABLE SLC CIRCUIT. FIELD VERIFY FACP MANUFACTURER MAKE AND MODEL AND PROVIDE NEW DEVICE LISTED FOR USE WITH EXISTING FACP. PROVIDE NICET CERTIFIED PERSONNEL TO RECERTIFICATION TESTING IN ACCORDANCE WITH NFPA 72 AND LOCAL

10. PROVIDE WEATHERPROOF JUNCTION BOX AND 1" CONDUIT FROM JUNCTION BOX TO THE TELECOM RACK IN IT STORAGE 118 FOR FUTURE OWNER USE.



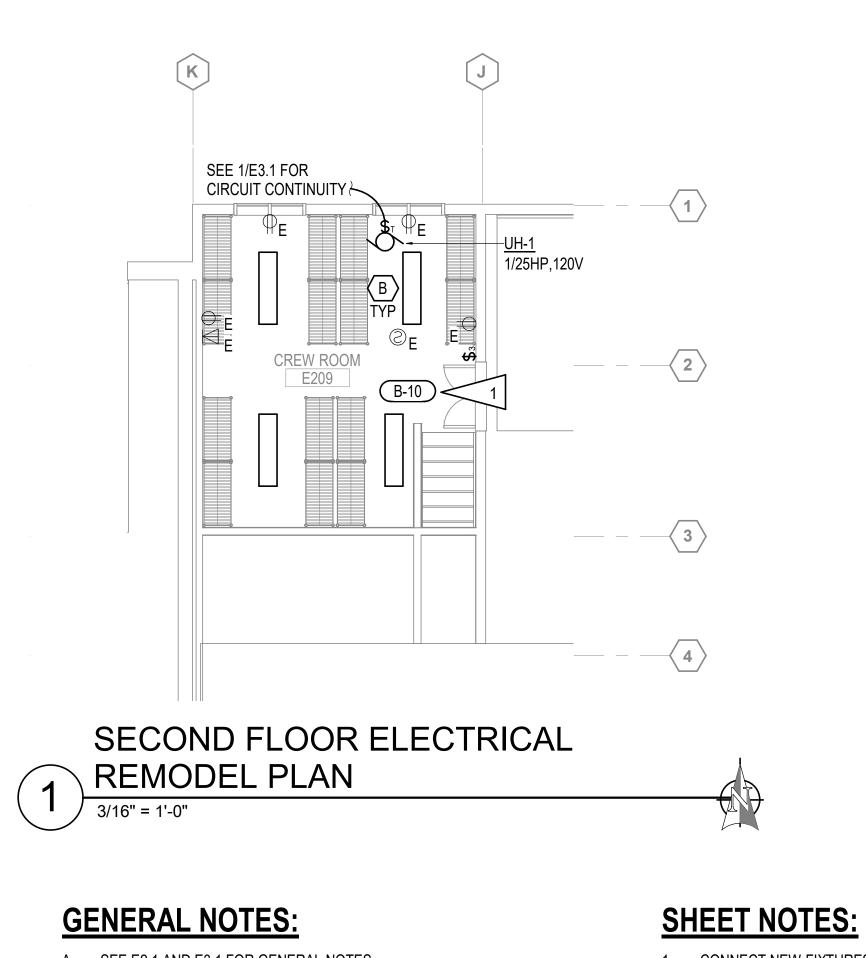
SHEET CONTENTS

FIRST FLOOR POWER

AND SIGNAL REMODEL

E3.1

PLAN



A. SEE E2.1 AND E3.1 FOR GENERAL NOTES.

1. CONNECT NEW FIXTURES TO EXISTING LIGHTING LOCAL LIGHTING CIRCUIT AND CONTROLS.

PROJ NO M1100	drawn KB	CHECKED DB, KS	DATE <b>3-1-2022</b>	FULL SIZE DRAWINGS: 22" x 34"	
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<ul> <li>✓</li> /ul>		Mechanical and	Engineers	or V vest rieweed Lane, suite zuo Anchorage, AK 99503 (907) 276-0521 Corporate No.: AEC C542	
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SHEET CONTENTS

SECOND FLOOR ELECTRICAL REMODEL

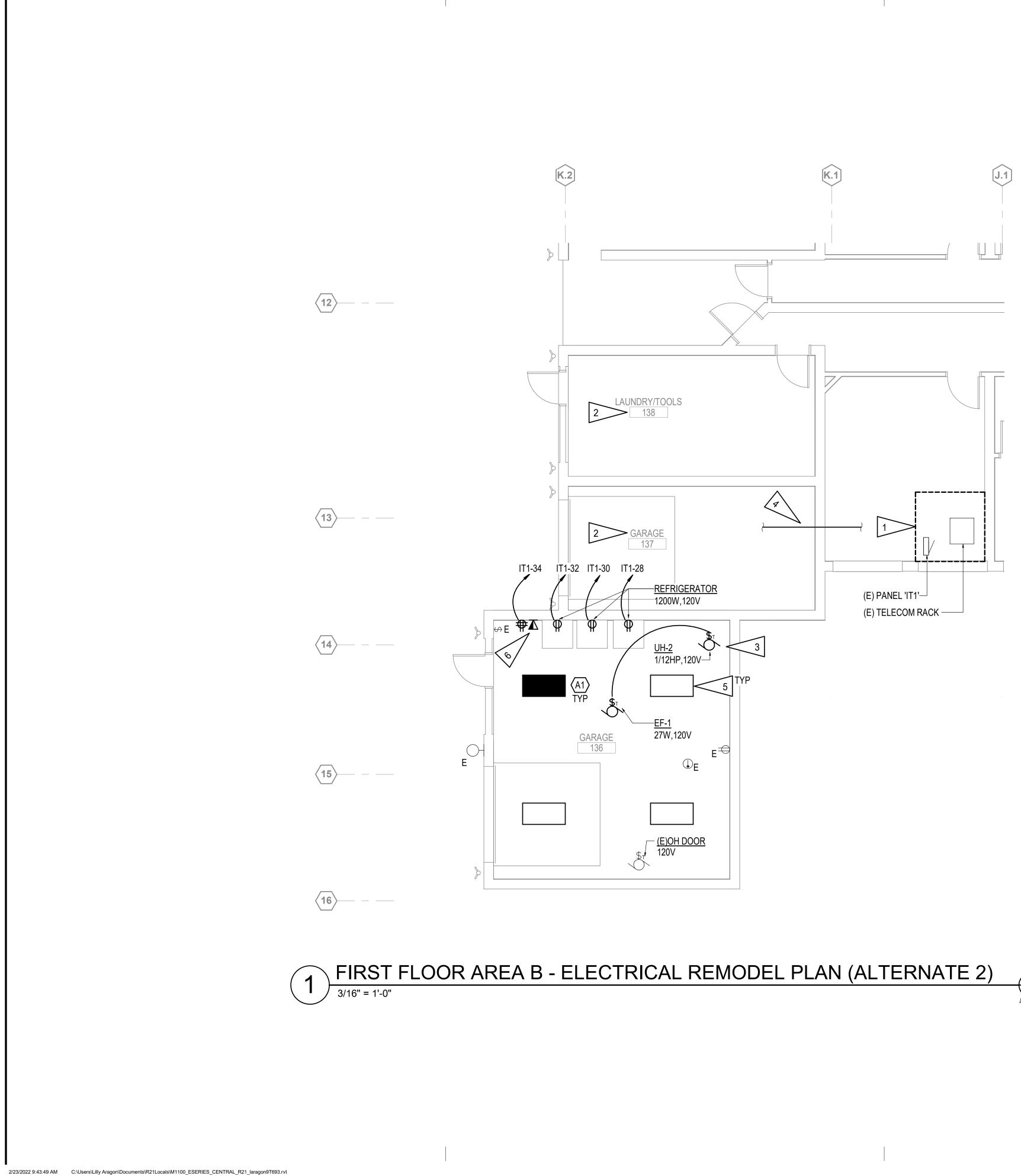
E4.1

PLAN

AREA B

AREA





## **GENERAL NOTES:**

A. SEE E2.1 AND E3.1 FOR GENERAL NOTES.

## SHEET NOTES:

- 1. EQUIPMENT LOCATED IN IT ROOM ON SECOND FLOOR.
- 2. NO WORK IN THIS AREA.
- 3. CONNECT NEW MECHANICAL EQUIPMENT TO SALVAGED CIRCUIT. PROVIDE EXTENSION OF EXISTING CONDUIT AND WIRE AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT LOCATION.
- 4. ROUTE NEW TELECOM CABLING THROUGH EXISTING PATHWAY. COORDINATE WITH OWNER FOR EXACT LOCATION.
- 5. CONNECT NEW LIGHTING TO SALVAGED LIGHTING CIRCUIT. PROVIDE EXTENSION OF EXISTING CONDUIT AND WIRE AS REQUIRED TO ACCOMMODATE NEW FIXTURE LOCATIONS AND TO SWITCH ALL FIXTURES IN THE ROOM FROM THE ONE EXISTING LIGHT SWITCH.
- 6. ROUTE NEW DATA CABLING TO NEAREST IT ROOM ON SECOND FLOOR REFERENCED IN NOTE 1.

# 

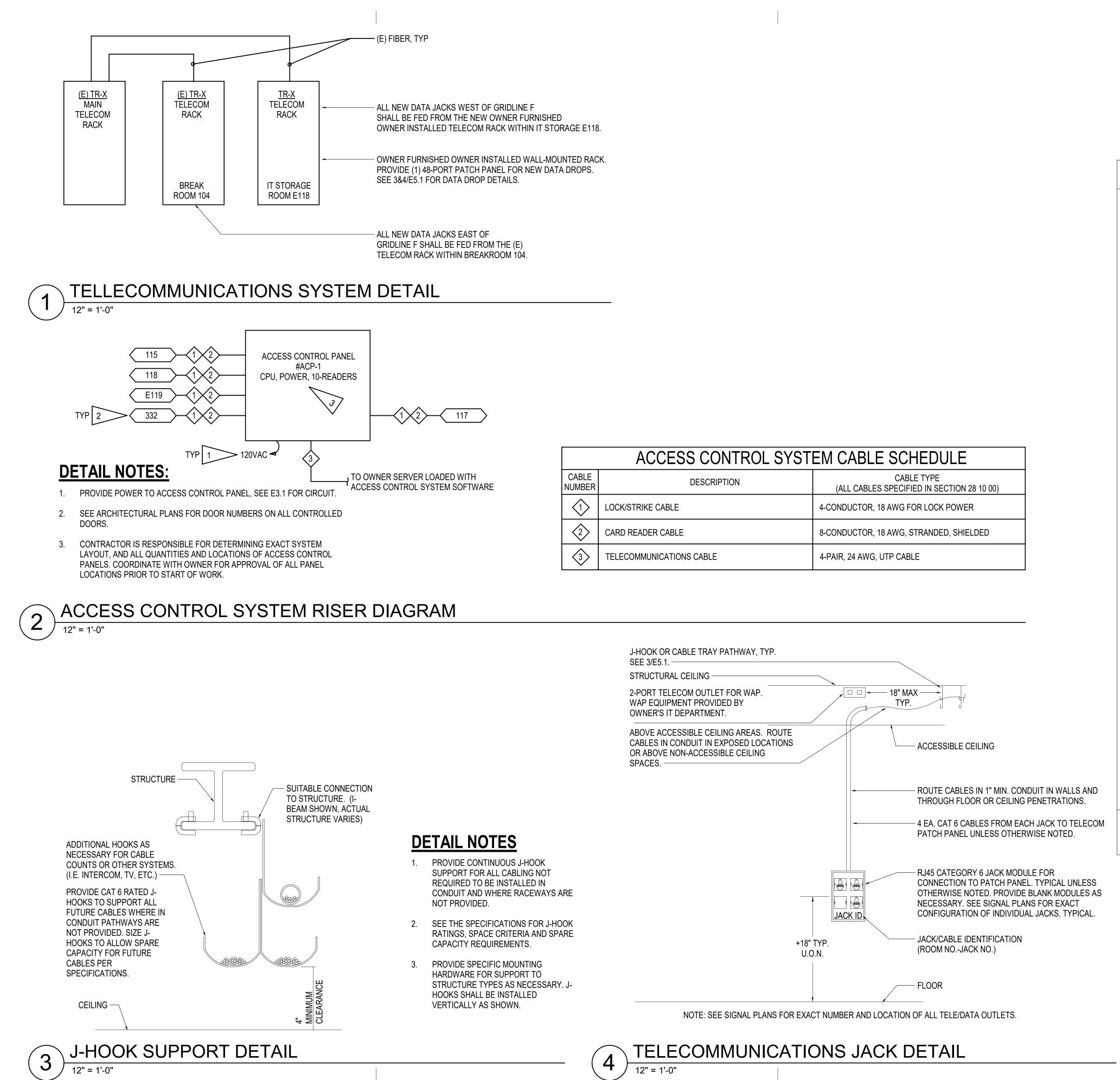
PROJ NO M1100	DRAWN KB	снескер DB, KS	DATE <b>3-1-2022</b>	FULL SIZE DRAWINGS: 22" x 34"
	VALUEZ UEPAKIMENIAL OLORAGE	CONSTRUCTION DRAWINGS	CITY OF VALDEZ	212 CHENEGA AVENUE, VALDEZ, AK 99686
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< C	エクト	Mechanical and	Engineers	6.70 West Firreweed Lane, Suite 200 Anchorage, AK 99503 (907) 276-0521 Corporate No.: AECC542



SHEET CONTENTS GARAGE BAYS ELECTRICAL REMODEL PLAN



AREA B



E ER	DESCRIPTION	CABLE TYPE (ALL CABLES SPECIFIED IN SECTION 28 10 00)
>	LOCK/STRIKE CABLE	4-CONDUCTOR, 18 AWG FOR LOCK POWER
>	CARD READER CABLE	8-CONDUCTOR, 18 AWG, STRANDED, SHIELDED
<	TELECOMMUNICATIONS CABLE	4-PAIR, 24 AWG, UTP CABLE

## ELE

## EXISTING SERVICE SIZE:

## TOTAL LOADS REMOVED:

RESULT: THE EXISTING SERVICE HAS ADEQUATE CAPACITY FOR THE ADDITIONAL LOADS ADDED.

ELECTRIC	AL LOAD CALC	ULATION	
EXISTING SERVICE SIZE:		800	)A, 208 V, 3 PH
PEAK KW DEMAND (JUNE, 2017):		129	KW
ASSUMED POWER FACTOR:		0.85	PF
EXISTING PEAK DEMAND (IN KVA):		152	KVA
125% OF PEAK LOAD (NEC 220.87)		190	KVA
EXISTING PEAK DEMAND (IN AMPS):		526	Α
EXISTING SPARE CAPACITY:		274	A
EXISTING LOADS REMOVED (IN KVA): LIGHTING RECEPTACLES WH (DAY ROOM) WH (RECEPTION) UH-1	3.16 KV 3.42 KV 6.00 KV 6.00 KV 0.13 KV SUBTOTAL: 18.71 KV	A A A	
TOTAL LOADS REMOVED:		-18.7	KVA
TOTAL LOADS REMOVED (IN AMPS):		-52	Α
NEW LOADS ADDED (IN KVA) LIGHTING RECEPTACLES MICROWAVE U/C REFRIGERATOR (3)REFRIGERATOR PRINTER EF-1 ERV-1 ERV-1 EWH-1 HC-1 P-4 (2)UH-1 UH-2	2.14 KV 3.42 KV 1.20 KV 0.60 KV 3.60 KV 1.20 KV 0.03 KV 0.14 KV 6.00 KV 2.00 KV 0.12 KV 0.26 KV 0.31 KV	A A A A A A A A	
TOTAL LOADS ADDED:		21.0	KVA
TOTAL LOADS ADDED (IN AMPS):		58	Α
NET LOAD CHANGE:		2.3	KVA
NET LOAD CHANGE (IN AMPS):		6	A
NEW TOTAL NEC DEMAND LOAD:		192.0	KVA
NEW TOTAL NEC DEMAND LOAD:		533	Α
SPARE CAPACITY:		267	A

	< 0 0	L Standard RECISION		PROJ NO M1100
	エット		ALUEZ UEPAKIMENTAL STORAGE	DRAWN KB
	Mechanical and	OF	CONSTRUCTION DRAWINGS	снескер DB, KS
	БШ	AL	CITY OF VALDEZ	DATE 3-1-2022
CHITECTURE	670 West Fireweed Lane, Suite 200 Anchorage, AK 99503 (907) 276-0521 Corporate No.: AECC542	1130, 00	212 CHENEGA AVENUE, VALDEZ, AK 99686	FULL SIZE DRAWINGS: 22" >
	-			

SHEET CONTENTS ELECTRICAL DETAILS AND LOAD CALCULATION



	MFR/MODEL: SQUARE 'D' TYPE NQ					VOLTS: 120/	208V,3PH,4W		ENC	CLOSURE	: NEMA 1	200 A			
						VOLT-/	AMPS			: SURFACE					
NOTE	CIRC	POLE	AMPS	SERVICE	TYPE	А	В		С	TYPE	SERVICE	AMPS	POLE	CIRC	NOTF
	1	1	20	BAY 5 WALL RECEPS							BAY 4 WALL RECPS & WRK BENCH L	TG20	1	2	
	3	1	20	LIGHTS IN HOSE TOWER				690		LTG	LTG - APP BAY	20	1	4	a
	5	1	20	EXTERIOR LIGHTS							UH-1	20	1	6	
	7	1	20	BACK WALL EM LIGHTS							BAY 4 UNIT HEATER & EF	20	1	8	
	9	1	20	BAY 4 OVERHEAD DOOR							BUNK ROOM BATH RCP & LTG	20	1	10	
	11	1	20	BAY 5 OVERHEAD DOOR							UH IN HOSE TOWER & BAY 5 EM	20	1	12	
	13	1	20	BAY 4 TRUCK RECP							FD DAYROOM/DINING RECP	20	1	14	
	15	3		AHU				150		LTG	LTG - DAY ROOM	20	1	16	
	17	3		٨٨٨							BAY 5 TRUCK RECP	20	1	18	
	19	3		٨٨٨							PANEL B-1	100	3	20	
а	21	1	20	DAY ROOM - RECP, UH-1	RECP		444				٨٨٨	100	3	22	
a	23	1	20	<b>RECP - APP BAY E119 SOUTH</b>	RECP				360		٨٨٨	100	3	24	
а	25	1	20	EMS STORAGE - RECP	RECP	720					SPACE	-	1	26	
b	27	2	35	SPARE							SPARE	50	2	26 28	b
b	29	2	35	٨٨							٨٨	50	2	30	b
TOTAL V-A					720 1284			0 2,364 VA							
				TOTAL AMPS			6	11	3		7	Α			
				A.I.C. RATING: 10,000						PANEL					

a CONNECT NEW LOAD TO EXISTING BREAKER b EXISTING LOAD TO BE REMOVED, MARK BREAKER AS SPARE

		MFR/N	IODEL:	SQUARE 'D' TYPE NQ		VOLTS:	120/208V,3	LOSURE	NEMA 1				
									MTG	SURFACE			
NOTE	CIRC	POLE	AMPS	SERVICE	TYPE	A		В		С		TYPE	
	1	1	20	SPARE			5800					MISC	SCBA COMPI
	3	1	20	SPARE					5800			MISC	۸۸۸
	5	1	20	SPARE		-					5800	MISC	٨٨٨
	7	1	20	SPARE			500					RECP	SCBA CONTR
	9	1	20	SPARE					360			RECP	<b>RECP - SCBA</b>
	11	1	20	SPARE									SPARE
	13	1	-	SPACE									SPACE
	15	1	-	SPACE									SPACE
	17	1	-	SPACE									SPACE
	19	1	-	SPACE									SPACE
	21	1	-	SPACE									SPACE
	23	1	-	SPACE									SPACE
				TOTAL V-A			6300		6160		5800		
				TOTAL AMPS			53		51		48		
				A.I.C. RATING: 10,000									
				-	LTG	RECP	MOTR	LG.MT	MISC	KIT	HEAT	SPEC	
			COI	NNECTED LOAD IN KVA (THIS PANEL):	0.00	0.86	0.00	0.00	17.40	0.00	0.00	0.00	
				TOTAL CONNECTED LOAD IN KVA:	0.00	0.86	0.00	0.00	17.40	0.00	0.00	0.00	
				DEMAND LOAD IN KVA:	0.00	0.86	0.00	0.00	17.40	0.00	0.00	0.00	
PAI a b	REC		CT EXIS	STING LOAD CIRCUIT INDICATED O BE REMOVED, MARK BREAKER AS S	PARE								options: Jgs only

		100	А	
SERVICE	AMPS	POLE	CIRC	NOTE
PRESSOR	50	3	2	а
	50	3	4	a
	50	3 3 3	6	a
TROLLER	20	1	8	a
BA STOR. N.	20	1	10	а
	20	1	12	b
	-	1	14	
	-	1	16	
	-	1	18	
	-	1	20	
	-	1	22	
	-	1	24	
18,261	VA			
51	Α			
1				
TOTAL		AMPS		
18.3 KVA		51	Α	
18.3 KVA		51	Α	
18.3 KVA		51	А	

P														
	MFR/N	NODE	.: SQUARE 'D' TYPE NQ		VOLTS: 12	0/208V,3P	PH,4W		ENC	LOSURE	NEMA 1		200	) A
							VOLT-AMPS			MTG	SURFACE			
		ပ										S		
CIRC	POLE	AMPS			٨		P					AMPS	POLE	CIRC
U U		-	SERVICE	TYPE	A		В	C		TYPE	SERVICE			
1	1	20	LTG - VEHICLE BAY, PASSAGE	LTG	624			_			LTG - W RR, COPIER, ENTRY	20	1	2
3	1	20	OFFICE 2 - RECP	RECP			720 355			LTG	LTG - OFFICE, BRK RM, RR	20	1	4
5	1	20	MECHANICAL RM RECP								LTG - MECH RM, CHIEFS STORE RM	I 20	1	6
7	1	20	FD RECP BAY 1,2,3								CCI CONTROL PANEL	20	1	8
9	1	20	ATTIC LIGHTS				780			MISC	BREAK RM - U/C REF, RECP	20	1	10
11	1	- +					100		1200	MISC	BREAK RM - PRINTER	20	····!··· 1	
11		20	FD REFRIGERATORS (3)		400				1200	WIIGC			۱ م	12
13	1	20	RECP - TOILETS, DRNK FNT	RECP	480		000	-			SIREN DISCONNECT	70	3	14
15	1	20	BREAK RM - RECP COUNTER	RECP			360				^^^	70	3	16
17	1	20	FD BUNK RECEPTALCES								٨٨٨	70	3	18
19	1	20	AHU FD CONF. RM								IT HALL EM LTG	30	1	20
21	1	20	UNIT HEATER BAY 2,3				500			MISC	ACESS CONTROL PANEL	20	1	22
23	1	20	BREAK RM - MICROWAVE	MISC				1200	864	RECP	OFFICE 103 - RECP, ERV-1	20	1	24
25	2	30	SPARE								FIRE ALARM	20	·····!···· 1	26
	+	- +						-					I	
27	2	30				$\vdash$					AHU ABOVE OXYGEN REFILL	20	<u> </u>	28
29	1	20	AHU BAY 2						999	MISC	HC-1	15	2	30 32
31	3	60	SPARE			999				MISC	ΛΛ	15	2	32
33	3	60	٨٨٨				3000			MISC	EWH-1	35	2	34
35	3	60	۸۸۸				·		3000	MISC	٨٨	35	2	36
37	3	70	PANEL A								PANEL 'M-1'	80	3	38
39	3	70						-				80	3	
	+		ΛΛΛ						;					40
41	3	70				- /						80	3	42
			TOTAL V-A			2103	571	5	7263		15,08	2 VA		
			TOTAL AMPS			18	48	3	61		4.	-2 A		
	INECT STING	NEW NEW LOAD	LOAD TO EXISTING BREAKER LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A								OPTIONS: JGS ONLY			
	INECT INECT STING	NEW NEW LOAD	LOAD TO NEW BREAKER SIZED AS S											
	INECT INECT STING		LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A		VOLTS: 120				ENC	MAIN LI	JGS ONLY		100	) A
	INECT INECT STING		LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1'		VOLTS: 12		'H,4W VOLT-AMPS		ENC	MAIN LI	JGS ONLY		100	) A
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1'		VOLTS: 12				ENC	MAIN LI	JGS ONLY	S		
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ	AS SPARE			VOLT-AMPS		ENC	MAIN LI	JGS ONLY	AMPS		
	INECT INECT STING	NEW NEW LOAD	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE		VOLTS: 120			C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE	SdMPS	POLE	CIRC
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD MODE	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY	80	BOLE 3	
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD MODE	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS	80 80	BOLE 3 3	OBIO 2 4
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD MODE	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS AAA AAA	80 80 80	BOLE 3	2 2 4 6
CON EXIS P/ 2010 1 3 5 7	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD EL MODE X MODE 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS AMA DISPATCH RECP BACK	80 80 80 20	BOLE 3 3	2 2 4 6 8
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD MODE	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS AAA AAA	80 80 80	BOLE 3 3	2 2 4 6 8 10
	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD EL MODE X MODE 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' .: SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS AMA DISPATCH RECP BACK	80 80 80 20	BOLE 3 3	2 2 4 6 8 10
CON CON EXIS P 2010 1 3 5 7 9 11	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK	80 80 80 20 20	BOLE 3 3	2 2 4 6 8 10 12 14
CON CON EXIS P 2 2 2 2 3 5 7 9 11 13	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV	80 80 20 20 20 20 20	BOLE 3 3	2 2 4 6 8 10 12 14
CON CON EXIS P 2210 1 3 5 7 9 11 13 15	INECT INECT STING ANE MFR/N	NEW NEW LOAD MODE MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP	80 80 20 20 20 20 20 20 20	BOLE 3 3	2 2 4 6 8 10 12 14 16
CON CON EXIS P 2 2 2 2 3 5 7 9 11 13 15 17	INECT INECT STING <b>ANE</b> MFR/N	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP	80 80 20 20 20 20 20 20 20 20 20	BOLE 3 3	2 2 4 6 8 10 12 14 16 18
CON CON EXIS P 20210 1 3 5 7 9 11 13 15 17 19	INECT INECT STING ANE MFR/N 1 1 1 1 1 1 1 1 1 2 2	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED A	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH WITH SIZE         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2	80 80 20 20 20 20 20 20 20 20 20 20	BOLE 3 3	2 2 4 6 8 10 12 14 16 18 20
CON CON EXIS P 2 1 3 5 7 9 11 13 15 17 19 21	INECT INECT STING MFR/N UI OC 1 1 1 1 1 1 1 1 2 2 2 2	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER	80 80 20 20 20 20 20 20 20 20 20 20 20	Ш	2 2 4 6 8 10 12 14 16 18 20 22
CON CON EXIS P 2 2 2 2 3 5 7 9 11 13 15 17	INECT INECT STING ANE MFR/N 1 1 1 1 1 1 1 1 1 2 2	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED A	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH WITH SIZE         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2	80 80 20 20 20 20 20 20 20 20 20 20	BOLE 3 3	2 2 4 6 8 10 12 14 16 18 20 22
CON CON EXIS P 2 1 3 5 7 9 11 13 15 17 19 21	INECT INECT STING MFR/N UI OC 1 1 1 1 1 1 1 1 2 2 2 2	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP	AS SPARE			VOLT-AMPS	C		MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER	80 80 20 20 20 20 20 20 20 20 20 20 20	Ш	2 2 4 6 8 10 12 14 16 18 20 22 24
CON CON EXIS P 2 1 3 5 7 9 11 13 15 17 19 21 23 25	INECT INECT STING MFR/N UIOC 1 1 1 1 1 1 1 1 1 2 2 2 2 2 2 2 2 2 2	NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP	AS SPARE			VOLT-AMPS	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SURFACE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^	80 80 20 20 20 20 20 20 20 20 20 20 20 30 30		2 2 4 6 8 10 12 14 16 18 20 22 24 26
CON CON EXIS P 20210 1 3 5 7 9 11 13 15 17 19 21 23 25 27	INECT INECT STING MFR/M MFR/M 1 1 1 1 1 1 1 1 1 2 2 2 2 2 2 2	NEW NEW LOAD MODE MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^	AS SPARE			B	C		MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH WPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^ <b>REF CKT 1 - GARAGE 136</b>	80 80 20 20 20 20 20 20 20 20 20 20 30 30 30 <b>20</b>		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP	AS SPARE	A		B	C	ENC	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH RECP BACK         DISPATCH WITH RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^<	80 80 20 20 20 20 20 20 20 20 20 20 20 30 30 30 <b>20</b> 20 20 20 20 20 20 20 20 20 20 20 20 20		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 27 29 31	INECT INECT STING MFR/N U 1 1 1 1 1 1 1 1 1 1 2 2 2 2 2 2 2 2 2	NEW NEW LOAD MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED AA SERVER ROOM RECP AA SERVER ROOM RECP AA A/C 1 AA	AS SPARE	A		VOLT-AMPS B I			MAIN LI	JGS ONLY NEMA 1 SURFACE SERVICE TVSS MA MA DISPATCH RECP BACK DISPATCH RECP BACK DISPATCH RECP BACK DISPATCH UPS 2 HRV DISPATCH #1 RECP ESS SECURITY RECP ESS SECURITY RECP ESS SECURITY RECP ESS POWER SUPPLY 1&2 SECURITY ROOM SERVER UNKNOWN M REF CKT 1 - GARAGE 136 REF CKT 1 - GARAGE 136	80 80 20 20 20 20 20 20 20 20 20 20 30 30 30 20 20 20 20 20 20		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP	AS SPARE	A		B			MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH WIPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^         REF CKT 1 - GARAGE 136	80 80 20 20 20 20 20 20 20 20 20 20 20 30 30 30 <b>20</b> 20 20 20 20 20 20 20 20 20 20 20 20 20		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35		NEW NEW LOAD MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP ^^ A/C 1 ^^	AS SPARE	A		VOLT-AMPS B I	C		MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^         REF CKT 1 - GARAGE 136	80 80 20 20 20 20 20 20 20 20 20 20 30 30 30 20 20 20 20 20 20 20 20 20 20 20 20 20		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP	AS SPARE	A		VOLT-AMPS B I			MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH WIPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^         REF CKT 1 - GARAGE 136	80 80 20 20 20 20 20 20 20 20 20 20 30 30 30 20 20 20 20 20 20		2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP ^^ A/C 1 ^^	AS SPARE	A		VOLT-AMPS B I			MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH UPS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^         REF CKT 1 - GARAGE 136	80 80 20 20 20 20 20 20 20 20 20 20 30 30 30 20 20 20 20 20 20 20 20 20 20 20 20 20	Ш	2 2 4 6 8 10 12 14
CON CON EXIS P 1 3 5 7 9 11 13 5 7 9 11 13 5 7 9 11 13 15 17 19 21 23 25 27 29 31 35 37 39		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' SQUARE 'D' TYPE NQ SERVICE DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED A SERVER ROOM RECP A A SERVER ROOM RECP A A/C 1 A SMOKE DAMPERS DATA ROOM RECP SPACE SPACE	AS SPARE	A		VOLT-AMPS B I			MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH WITH RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^         REF CKT 1 - GARAGE 136	80         80         80         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         30         30         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20	Ш	2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40
CON CON EXIS P 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35 37		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP STAIRWELL RECP UPS FEED ^^ SERVER ROOM RECP ^^ SERVER ROOM RECP ^^ A/C 1 ^^ SMOKE DAMPERS DATA ROOM RECP SPACE SPACE SPACE	AS SPARE	A		VOLT-AMPS B 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		1200	MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH WIS 2         HRV         DISPATCH #1 RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^^         REF CKT 1 - GARAGE 136         REF CKT 1 - GARAGE 136	80         80         80         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         20         100         100         100	Ш	2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38
CON CON CON EXIS P 1 1 3 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35 37 39		NEW NEW LOAD EL MODE 20 20 20 20 20 20 20 20 20 20 20 20 20	LOAD TO NEW BREAKER SIZED AS S TO BE REMOVED, MARK BREAKER A IT1' : SQUARE 'D' TYPE NQ : SQUARE 'D' TYPE NQ DISPATCH RECP FRONT DISPATCH RECP FRONT DISPATHC UPS 1 AIR HANDLER CABINET BY DOOR CABINET BY DOOR CABINET BY ELEC STAIRWELL RECP STAIRWELL RECP UPS FEED AA SERVER ROOM RECP AA SERVER ROOM RECP AA SERVER ROOM RECP AA SMOKE DAMPERS DATA ROOM RECP SPACE SPACE	AS SPARE	A		VOLT-AMPS B I			MAIN LI	JGS ONLY          NEMA 1         SURFACE         SERVICE         TVSS         ^^^         DISPATCH RECP BACK         DISPATCH WITH RECP         ESS SECURITY RECP         ESS POWER SUPPLY 1&2         SECURITY ROOM SERVER         UNKNOWN         ^         REF CKT 1 - GARAGE 136	80           80           80           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20           20	Ш	2 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40

			: SQUARE 'D' TYPE NQ		VOLTS: 120/208V,	VOLT-AMPS		EINC	LOSURE: MTG:	SURFACE			A
CIRC	POLE	AMPS	SERVICE	TYPE	A	В	с		TYPE	SERVICE	AMPS	POLE	CIRC
1	1	20	LTG - VEHICLE BAY, PASSAGE	LTG	624					LTG - W RR, COPIER, ENTRY	20	1	2
3	<u>'</u> 1	20	OFFICE 2 - RECP	RECP		720 355	_		LTG	LTG - OFFICE, BRK RM, RR	20	<u>'</u> 1	4
5	<u>'</u> 1	20	MECHANICAL RM RECP					1		LTG - MECH RM, CHIEFS STORE RM	20	····¦···· 1	6
7	····!··· 1	20	FD RECP BAY 1,2,3							CCI CONTROL PANEL	20	····¦··· 1	8
9	<u>'</u> 1	20	ATTIC LIGHTS			780	_		MISC	BREAK RM - U/C REF, RECP	20	<u>'</u> 1	10
11	<u>'</u> 1	20	FD REFRIGERATORS (3)					1200	MISC	BREAK RM - PRINTER	20	····!··· 1	12
13	<u>!</u> 1	20	RECP - TOILETS, DRNK FNT	RECP	480			1200		SIREN DISCONNECT	70	3	14
15	<u> </u> 	20	BREAK RM - RECP COUNTER	RECP		360	_				70	3	16
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VALDEZ DEPARTMENTAL STORAGE CONSTRUCTION DRAWINGS CITY OF VALDEZ 212 CHENEGA AVENUE, VALDEZ, AK 99686 STAR OF AU ŽZZ المعالم المعالي C *** EE-13893 ***

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SHEET CONTENTS

PANEL SCHEDULES





Legislation Text

### File #: 22-0211, Version: 1

## ITEM TITLE:

Approval of Professional Services Agreement with New Horizons Telecom, Inc. for the Public Safety Radio Infrastructure Upgrades Design in the Amount of \$178,203.80.

**SUBMITTED BY:** Nathan Duval, Assistant City Manager / Capital Facilities Director

### FISCAL NOTES:

Expenditure Required: \$178,203.80 Unencumbered Balance: \$775,200.00 Funding Source: 350-0310-55000.2006

### **RECOMMENDATION:**

Approve professional services agreement with New Horizons Telecom, Inc. for the Public Safety Radio Infrastructure Upgrades Design in the Amount of \$178,203.80.

### SUMMARY STATEMENT:

In October 2021 New Horizons Telecom, Inc. (NHTI) was selected as the Design-Build firm for Public Safety Radio Upgrades project following a competitive procurement process.

NHTI completed the initial coverage survey and feasibility for the infrastructure & areas listed below. The findings of that survey will be used to develop comprehensive design documents to implement the identified solutions.

The next step in the project is to complete the design and permitting in order to be able to commence construction in the fall 2022 through fall 2023. This project has potential for grant funding and we will work with the designer and a grant specialist in the process of determining eligibility and compatibility with currently available grant programs.

The need for the project rests in the fact that coverage in the 10 mile area is limited and spotty, and the current equipment and infrastructure is nearing end of life and is experiencing more frequent maintenance needs.

The focus areas and rough scope is listed below and defined in more detail in the attached agreement.

### #1 - Grain Silos -

Full site renovation including a new communications shelter for housing all new city communications infrastructure.

## File #: 22-0211, Version: 1

### #2 - Ski Hill / Fire Station #4 (10 Mile Coverage) -

Full site renovation including a new communications shelter and antenna tower.

### #3 - Fire Station #1-

Site construction of tower and coms shelter.

### #4 - City Hall -

Clean-up and demolition of existing antennae array & coordinate remote radio operations of Fire Station #1.



## City of Valdez Agreement for Professional Services

THIS AGREEMENT between the CITY OF VALDEZ, ALASKA, ("City") and NEW HORIZONS TELECOM, INC. ("Consultant") is effective on the _____day of May, 2022.

All work under this agreement shall be referred to by the following:

## Project: Radio Infrastructure Upgrade Design Project No: 21-350-2006 Contract No.: 1918 Cost Code: 350-0310-55000.2006

Consultant's project manager under this agreement is Juhree Psenak.

Consultant's project manager may not be changed without the written consent of the City.

City's project manager is Nathan Duval.

## ARTICLE 1. Scope of Work

1.1 The scope of work to be performed hereunder is more completely described in Appendix A which is incorporated herein by reference.

ARTICLE 2. Compensation

2.1 Compensation shall be paid in accordance with the Basis of Compensation Schedule attached hereto as Appendix B and incorporated herein by reference in an amount of \$178,203.80.

ARTICLE 3. Period of Performance

3.1 The Consultant agrees to commence work under this agreement only as authorized by and in accordance with written notice to proceed and to complete the work in accordance with the Scope of Work (Appendix A).

3.2 The period of performance under this agreement shall end and Consultant shall have completed all work under this agreement within 365 days of the written Notice to Proceed. Work shall proceed in accordance with the schedule set forth in Appendix A.

Revised 07/2019



ARTICLE 4. Subconsultants

4.1 The Consultant shall be responsible for the performance of all services required under this agreement.

### ARTICLE 5. Insurance

5.1 In accordance with the provision contained in the General Conditions (Appendix C), the following minimum limits of insurance coverage are required:

Type of Insurance	<u>Limits of Liability</u> <u>Each Occurrence</u>	Aggregate
Workers' Compensation	Statutory	Statutory
Employers' General	\$ 100,000	\$ 300,000
Commercial General Liability*	\$1,000,000	\$2,000,000
Comprehensive Automobile Liability	\$ 100,000	\$ 300,000
Professional Liability*	\$1,000,000	\$2,000,000

*(including Broad Form Property Damage Coverage and Completed Operations Coverage)

ARTICLE 6. Appendices

6.1 The following appendices are attached to this agreement and incorporated herein:

<u>Appendix</u>	<u>Title</u>
А	Scope of Work
В	Basis of Compensation
С	General Conditions



IN WITNESS WHEREOF, the parties to this presence have executed this CONTRACT in two (2) counterparts, each of which shall be deemed an original, in the year and day first mentioned above.

## NEW HORIZONS TELECOM, INC.

## CITY OF VALDEZ, ALASKA APPROVED:

Date:

Authorized Signature	Mark Detter, City Manager
Printed name	Date:
Date:	ATTEST:
Title:	
FEDERAL ID #:	Sheri L. Pierce, MMC, City Clerk
	Date:
Mailing Address	<b>RECOMMENDED:</b>
City, State, Zip Code	Nathan Duval, Capital Facilities Director
	Date:
Signature of Company Secretary or Attest	<b>APPROVED AS TO FORM:</b> Brena, Bell & Walker, P.C.
Date:	Jon S. Wakeland

Agreement for Professional Services Project: Radio Infrastructure Upgrade Design Project No: 21-350-2006 Contract No.: 1918 Cost Code: 350-0310-55000.2006



## BASIC SERVICES

Provide all engineering and support services necessary to provide the City of Valdez:

Design of identified solutions from the feasibility and coverage study. Scope for the individual sites includes but is not limited to; geotechnical evaluations, complete site plan and tower, shelter, RF, power, and grounding designs, FCC licensing and SHPO Section 106 filings for NEPA checklist. Support COV for any local permits, if needed, and Engineering and Project Management design reviews, meetings and correspondence.

#1 - Grain Silos -

Full site renovation including a new communications shelter for housing all new city communications infrastructure.

#2 - Ski Hill / Fire Station #4 (10 Mile Coverage) -

Full site renovation including a new communications shelter and antenna tower.

#3 – Fire Station #1--

Site construction of tower and coms shelter.

#4 – City Hall –

Clean-up and demolition of existing antennae array & coordinate remote radio operations of Fire Station #1.

The scope of work is more specifically described in the attached proposal dated April 14, 2022 which is incorporated herein by reference.

### Appendix B Basis of Compensation

On completion of work and submission of invoices, the City shall pay to consultant the compensation as follows:

Payment shall be made based on the proposed fee and shall not exceed  $\frac{178,203.80}{178,203.80}$  per the proposal attached to Appendix A of this Agreement, without prior authorization by the City as required in Section V of the General Conditions (Appendix C).



## I. <u>Definitions:</u>

<u>Basic Services:</u> The identified work elements set forth in this Agreement for which the Consultant will receive prime compensation.

<u>Change:</u> An addition to, or reduction of, or other revision in the scope, complexity, character, or duration of the services or other provisions of this Agreement.

<u>City's Project Manager</u>: City's representative in charge of the project(s) and the consultant's primary point of contact for notice(s) to proceed, invoices, correspondence and interface with the City.

<u>Consultant's Project Manager</u>: The Consultant's representative in charge of the project(s) who is directly responsible and engaged in performing the required services.

<u>Extra Services:</u> Any services or actions required of the Consultant above and beyond provisions of this Agreement.

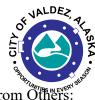
<u>Funding Agency(s)</u>: The agency(s) of the federal, state or municipal government which furnishes funds for the Consultant's compensation under this Agreement.

<u>Optional Services:</u> Identifiable and/or indeterminate work elements set forth in this Agreement, which are separate and distinct from those covered by the prime compensation, which the City has the option to authorize.

<u>Prime Compensation:</u> The dollar amount paid to the Consultant for basic services set forth in this Agreement. Prime compensation does not include payment for any optional or extra services.

<u>Scope of Work:</u> Basic and optional services required of the Consultant by provisions of this Agreement.

<u>Subconsultant:</u> Any person, firm, corporation, joint venture, partnership or other entity engaged through or by Consultant.



II. Information and Services from Others:

Provisions of information, data, budget, standards, and other materials by the City does not warrant their accuracy or quality nor provide approval of omissions or oversights or of any non-compliance with applicable regulation.

The City may, at its election, or in response to a request from the Consultant, furnish information or services from other Consultants. If, in the Consultant's opinion, such information or services are inadequate, the Consultant must notify the City of the specific service or material deemed inadequate and the extent of the inadequacy prior to use in the performance of this Agreement. Unless so notified by the Consultant, the City may assume the information or services provided are adequate.

## III. <u>Indemnification</u>

To the fullest extent permitted by law, the Consultant shall indemnify, defend, and hold harmless the City from and against any claim of, or damages, losses, expenses and liability (including but not limited to fees and charges of engineers, architects, attorneys, and other professionals, and court, mediation and/or arbitration costs) for negligent acts, errors, and omissions of the Consultant, Subconsultant, persons or organizations directly or indirectly employed or engaged by Consultant or Subconsultant under this Agreement. The Consultant is not required to indemnify, defend, or hold harmless the City for a claim of, or liability for the independent negligent acts, errors, and omissions of the Consultant acts, error, or omission of the Consultant and the City, the indemnification, defense, and hold harmless obligation of this provision shall be apportioned on a comparative fault basis. In this provision, "Consultant" and "City" include the employees, agents, and contractors who are directly responsible, respectively, to each. In this provision, "independent negligent acts, errors, and omissions" means negligence other than in the City's selection, administration, monitoring, or controlling of the Consultant, or in approving or accepting the Consultant's work.

### IV. Insurance:

All of the insurance coverages listed in Article 5 shall be purchased by the Consultant. The City shall be made an additional insured on the Consultants Commercial General Liability policy in connection with the activities related to this contract. The Consultant shall purchase and maintain the Article 5 insurance coverages with limits not less than those specified for the duration of the Agreement. The professional liability insurance shall be maintained in force for one year following the date of final payment for the work performed herein. The amount of the contract may be renegotiated if the insurance premiums for the following year are raised over those in force when the contract was let. Should the professional liability insurance become unavailable during the one year period following the date of final payment, the insurance coverage may be renegotiated between the owner and the Consultant. Insurance coverage shall provide for negligent acts, errors or omissions which the Consultant, Agreement for Professional Services Project: Radio Infrastructure Upgrade Design Project No: 21-350-2006 Contract No.: 1918 Cost Code: 350-0310-55000.2006



employees of the Consultant or Subconsultant may make which produce loss or liability to the Owner and for the protection against loss which results from reliance on the Consultant's products, reports or a combination thereof. Failure to comply with the provision for maintaining the insurance in effect for one year following the date of final payment may be cause for the Owner to refrain from dealing with the Consultant in the future.

### V. <u>Payments:</u>

The City shall pay to the Consultant the amount of any changes in the cost of insurance that are attributable to the Scope of Work created by change orders.

Payments shall be made in accordance with Appendix B. Consultant shall submit progress invoices to City in duplicate showing the itemized services performed during the invoice period and the charges therefore.

All progress invoices shall be prepared as a percentage of the work is completed except contracts performed on "time and expenses" basis which invoiced amounts shall not exceed the actual charges to the invoice date.

Under no circumstances will City pay for charges in excess of any lump-sum or not-to-exceed contract amount incurred prior to written authorization by City for an increase in the contract amount. Written request for an increase in the contract amount shall be given to City with sufficient notice to allow City to issue formal approval prior to the incurring of excess charges without delay to the work.

On "time and expenses" contract amounts, compensation for work included in the Scope of Work shall be for direct labor costs and the actual cost of reimbursable expenses. Direct labor costs shall be as shown on the current Standard Labor Rates for the Consultant, a copy of which is attached as Appendix D, times a factor of <u>n/a</u>, for services rendered by principals and employees of the firm. Reimbursable expenses mean the actual expenses incurred directly or indirectly in connection with the Project for: transportation and subsistence incidental thereto; obtaining bids or proposals from contractor(s); furnishing and maintaining field office facilities; toll telephone calls and telegrams; reproduction of reports, drawings, specifications, and similar project-related items and, if authorized in advance by City, overtime work requiring higher than regular rates. Reimbursable expenses shall also include the amount billed to Consultant by Subconsultant employed by consultant for such Subconsultants' services and reimbursable expenses times a factor of 1.05.

The sum of payments shall not exceed the allowable compensation stated in this Agreement. In the event items on an invoice are disputed, payment on those items will be withheld until the dispute is resolved.

The Consultant shall submit a final invoice and required documentation for services authorized by each Notice to Proceed within Ninety (90) days after final acceptance by



the City. The City will not be held liable for payment of invoices submitted after this time unless prior written approval has been given.

# VI. <u>Changes:</u>

Changes in the Scope of Work or of services may only be made by written amendment signed by both City and Consultant.

If at any time the City through its authorized representatives, either orally or in writing, requests or issues instructions for extra services or otherwise directs actions which conflict with any provisions of this Agreement, the Consultant shall, within ten (10) days of receipt and prior to pursuing such instructions, notify the City in writing, and to the extent possible, describe the scope and estimated cost of any extra services. Unless so notified by the Consultant, the City may assume such instructions have not changed any provisions of this Agreement nor require additional compensation. No additional payments shall be made to the Consultant without such notice.

# VII. <u>Audits and Records:</u>

The Consultant shall maintain records of all performances, communications, documents, and correspondence pertinent to this Agreement, and the City of its authorized representatives shall have the right to examine such records and accounting procedures and practices.

The materials described in the Article shall be made available at the business office of the Consultant, at all reasonable times, for inspection, audit or reproduction by City or any funding agency, for a minimum of three years from the date (a) of final payment under this Agreement (b) final payment upon claims or disputes, and for such longer period, if any, as may be required by applicable statute or other provisions of this Agreement.

# VIII. <u>Inspections:</u>

The City, or any funding agency, has the right to inspect, in the manner and at reasonable times it considers appropriate during the period of this Agreement, all facilities, materials and activities of the Consultant in the performance of this Agreement.

# IX. <u>Termination or Suspension:</u>

This Agreement may be terminated by either party upon ten (10) day's written notice if the other party fails substantially to perform in accordance with its terms through no fault of the party initiating the termination (default termination). If the City terminates this Agreement, the City will pay the Consultant a sum equal to the percentage of work completed that can be substantiated by the Consultant and the City. If the City becomes aware of any fault or defect in the work of the Consultant or nonconformance with this Agreement, the City will



give prompt written notice thereof to the consultant. Should the Consultant's services remain in nonconformance with this Agreement, the percentage of total compensation attributable to the nonconforming work may be withheld.

The City at any time may terminate (convenience termination) or suspend this Agreement for its own needs or convenience. In the event of a convenience termination or suspension for more than three months, the Consultant will be compensated for authorized services and authorized expenditures performed to the date of receipt of written notice of termination plus reasonable termination expenses. NO fee or other compensation for the uncompleted portion of the services will be paid, except for already incurred indirect costs which the Consultant can establish and which would have been compensated for over the life of this Agreement, but because of the convenience termination would have to be absorbed by the Consultant without further compensation.

If state or federal funds support this Agreement, settlement in the event of default or convenience termination must be approved by the City and any appropriate state or federal agency.

# X. <u>Officials Not to Benefit:</u>

No member of or delegate to Congress, United States Commissioner or other officials of federal, state or local government shall be admitted to any share or part of this Agreement or any benefit to arise therefrom. The Consultant warrants that it has not employed or retained any organization or person, other than a bona fide employee working for the Consultant, to solicit or secure this Agreement and that it has not paid or agreed to pay any consideration contingent upon or resulting from this Agreement.

# XI. Independent Consultant:

Except in those instances specifically provided for herein, the Consultant and any of its agents and employees shall act in an independent capacity and not as agents of the City in the performance of the Agreement.

# XII. <u>Ownership of Work Products:</u>

Work products produced under this Agreement, except items which have preexisting copyrights, are the property of the City. Payments to the Consultant for services hereunder includes full compensation for all work products, field notes, interim work, reports, and other materials produced by the Consultant and its Subconsultants pertaining to this Agreement. Any re-use the City might make of these work products shall be at the City's own risk and the Consultant shall not incur any liability for the City's re-use of the work products on any project for which they were not intended.



XIII. Subconsultants, Successors and Assigns:

The City must concur in the selection of all Subconsultants for professional services to be engaged in performance of this Agreement.

As soon as practicable after the award of the contract, the Consultant shall furnish to the City in writing the names of the proposed Subconsultants for each of the principal portions of the work. The City shall promptly notify the Consultant if it has reasonable objection to any of the proposed Subconsultants. Failure of the City to give prompt notification shall constitute notice of no reasonable objection. The Consultant shall not contract with any Subconsultant to whom the City has made reasonable objection.

If this Agreement includes named firms or individuals, then such firms or individuals shall be employed for the designated services, unless the Agreement is changed by amendment.

The Consultant shall not assign, sublet or transfer any interest in this Agreement without the prior written consent of the City.

The Consultant binds itself, its partners, its Subconsultants, assigns and legal representatives to this Agreement and to the successors, assigns and legal representatives of the City with respect to all covenants of this Agreement.

The Consultant shall include provisions appropriate to effectuate the purposes of this Appendix C in all subcontracts executed to perform services under this Agreement in which subcontract amount exceeds \$40,000.

#### XIV. <u>Claims and Disputes:</u>

If the Consultant becomes aware, or reasonably should have become aware of any act or occurrence which may form the basis of a claim, the consultant shall immediately inform the City's Project Manager. If the matter cannot be resolved within seven (7) days, the Consultant shall within the next fourteen (14) days submit written notice of the facts which may form the basis of the claim.

In addition, all claims by the Consultant for additional compensation or an extension of the time for performance of any dispute regarding a question of fact or interpretation of this Agreement shall be presented in writing by the Consultant to the City's Project Manager within the next sixty (60) days unless the Project Manager agrees in writing to an extension of time for good cause shown. Good cause shown includes time for the Consultant to prepare the claim, and the City's Project Manager will grant an extension of not more than sixty (60) days for preparation of the claim. The Consultant agrees that unless these written notices are provided, the Consultant shall not be entitled to additional time or compensation for such act, event or condition. The Consultant shall in any case continue diligent performance



under this Agreement. The Consultant shall in any case continue to expeditiously accomplish disputed services pending future resolution of the Consultant's claim unless notified by the City to stop work on the disputed matter.

In presenting any claim, the Consultant shall specifically include, to the extent then possible, the following:

- The provisions of this Agreement that apply to the claim and under which it is made.
- The specific relief requested including any additional compensation claimed and the basis upon which it was calculated and/or the additional time requested and the basis upon which it was calculated.
- The claim will be acknowledged in writing by the City's Project Manager. If the claim is not disposed of within sixty (60) days of acknowledgement, provided additional time is not granted in writing by the City's Contract Officer, the claim will be decided by the City's Contract Officer. The Contract Officer reserves the right to make a written request to the Consultant at any time for additional information that the Consultant may possess to support the claims(s). The Consultant agrees to provide the City such additional information within thirty (30) days of receipt for such a request. The City's Contract Officer will allow a reasonable time extension for good cause if presented in writing prior to the expiration of the thirty (30) days. Failure to furnish such additional information constitutes a waiver of claim.
- The Consultant will be furnished a written, signed copy of the Contract Officer's decision within ninety (90) days of receipt of all necessary information from the Contractor upon which to base the decision. The Contract Officer's decision is final and conclusive unless, within thirty (30) days of receipt of the decision, the Consultant delivers a notice of appeal to the City Manager. The notice of appeal shall include specific exceptions to the City's decision including specific provision of this Agreement which the Consultant intends to rely upon on appeal. General assertions that the City's decision is contrary to law or to fact are not sufficient.
- The decision of the City Manager will be rendered within 120 days of notice of appeal and the decision constitutes the exhaustion of contractual and administrative remedies.



XV. Extent of Agreement:

This Agreement, including appendices, represents the entire and integrated Agreement between the City and the Consultant and supersedes all prior negotiations, representations or agreements, either written or oral.

Nothing contained herein may be deemed to create any contractual relationship between the City and any Subconsultants or material suppliers; nor may anything contained herein be deemed to give any third party a claim or right of action against the City or the Consultant that does not otherwise exist without regard to this Agreement.

This Agreement may be changed only by written amendment executed by both the City and the Consultant.

All communications that affect this Agreement must be made or confirmed in writing.

The Consultant receiving final payment will execute a release, if required, relinquishing in full all claims against the City arising out of or by reason of the services and work products furnished under this Agreement.

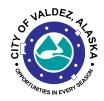
The Consultant shall pay all federal, state and local taxes incurred by the Consultant and shall require payment of such taxes by any Subconsultant or any other persons in the performance of this Agreement.

# XVI. <u>Governing Laws:</u>

This Agreement is governed by the laws of the State of Alaska and such federal and local laws and ordinances as are applicable to work performed. Any litigation arising out of the terms of this Agreement shall be brought in the Third Judicial District, Superior or District Court at Valdez.

# XVII. <u>Minimum Wages:</u>

Minimum wages as determined by the Department of Labor shall be paid to all persons performing work on this Contract.



# City of Valdez Contract Release Page 1 of 2

The undersigned, ________ for itself, its owners, partners, successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, as set forth herein related to or arising out of the following described contract ("Contract"):

#### Project: Valdez Radio Infrastructure Upgrade Project Number: 21-350-2006 / Contract Number: 1836

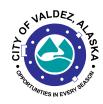
The undersigned hereby acknowledges receipt of the amount of <u>s</u>_____as full and final payment in consideration for all services, materials and labors rendered in connection with the Contract.

The undersigned hereby waives and releases any right or claim of lien, any state or federal statutory bond right, any private bond right, any claim for payment under the Contract, and any rights under any similar ordinance, rule, or statute related to claim or payment rights for itself, its owners, directors, officers, its successors in interest, assigns, agents, attorneys, trustees, administrators, subcontractors, suppliers, and laborers.

The undersigned certifies that no amounts payable under the Contract have been assigned to anyone.

The undersigned agrees that this Release is not executed as a result of financial disadvantage. No promise or inducement has been offered or made except as set forth in the above Contract. Accordingly, the undersigned voluntarily waives any and all rights to void this Release or any of its provisions, due to economic or business distress and/or compulsion. The undersigned represents that it is familiar with and has had the opportunity for its attorneys to explain the meaning of decisions of the Alaska Supreme Court applicable to this Release including, but not limited to, *Petroleum Sales, Ltd. v. Mapco of Alaska, Inc.,* 687 P.2d 923 (Alaska 1984); *Totem Marine T. & B. v. Alyeska Pipeline, et. al.,* 584 P.2d 15 (Alaska 1978); and *Witt v. Watkins,* 579 P.2d 1065 (Alaska 1978).

The undersigned hereby declares that the terms of this Release have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all payment claims, disputed or otherwise, arising under or by virtue of the Contract. The undersigned represents and warrants that it has the full and complete legal authority to enter into this Release, that the individuals executing this Release have the legal authority to do so, and that this Release shall be binding and enforceable upon it and its representatives, successors, and assigns, in accordance with its terms upon execution. The signature of the undersigned is an acknowledgement that the person signing has the authority to bind the party to this Release.



## City of Valdez Contract Release Page 2 of 2

IN WITNESS WHEREOF,	, I have hereunto set my h	and and seal this	day of _	,
2022.				

COMPANY

SIGNATURE

TITLE

STATE OF ALASKA	)
	)ss.

THIRD JUDICIAL DISTRICT

THIS IS TO CERTIFY that on this	_day of	, 2022, before me, Notary Public in and for
the State of Alaska, personally appeared _		of

)

, known to me to be its

and acknowledged to me that he has read this foregoing RELEASE and knew contents thereof to be true and correct to the best of his knowledge and belief, and that he signed the same freely and voluntarily for the uses and purposes therein mentioned, and that he was duly authorized to execute the foregoing document according to the Bylaws or by Resolutions of said corporation.

WITNESS my hand and notarial seal this _____ day of _____, 2022.

Notary Public in and for Alaska

My Commission expires:



April 14, 2022

NHTI-8406

Nathan Duval City of Valdez 212 Chenega Ave. Valdez, AK 99686

Subject: Permitting and Design - Valdez Radio Communication Network Improvements

Dear Mr. Duval,

New Horizons is pleased to submit this Time and Material (T&M), Not to Exceed (NTE) proposal to review the City of Valdez radio system including understanding LMR user needs; the LMR user RFP process and technology assessment; RF planning connectivity and backhaul; dispatch, command and controls; interoperability; field engineering; radio frequency interference; installation processes and standards; program and project management; and post-system project acceptance.

**Deliverables:** Provide labor, materials, tools, equipment, travel, lodging, and per diem to complete the work for the following sites:

Ski Hill (10 Mile Coverage)

- Site Survey and GeoTech investigations at new tower site
- Complete site plan and tower, shelter, RF, power, and grounding designs
- FCC licensing and SHPO Section 106 filings for NEPA checklist. Support COV for any local permits, if needed
- Engineering and Project Management design reviews, meetings and correspondence

New Horizons Telecom, Inc. 901 Cope Industrial Way Palmer, Alaska 99645 www.nhtiusa.com

907.761.6000 (phone) 907.761.6001 (fax)

# Grain Silo Repeaters

- Survey antennas on existing concrete silo and possible new shelter location
- Design new antenna support attachments
- Complete site plan and tower, shelter, RF, power, and grounding designs
- FCC licensing and SHPO Section 106 filings for NEPA checklist. Support COV for any local permits if needed
- Engineering and Project Management design reviews, meetings and correspondence

#### Fire Station 1

- Site Survey and GeoTech investigations at new tower site
- Complete Site plan and tower, shelter, RF, power, and grounding designs
- FCC licensing and SHPO Section 106 filings for NEPA checklist. Support COV for any local permits if needed
- Engineering and Project Management design reviews, meetings and correspondence

## City Hall

- Review of Motorola radio system
- Design remote control system for radios located at Fire Station 1
- Planning demolition of existing equipment, antennas and supports

**Budget**: The T&M, NTE for this effort is \$178,203.80 (not including any state or local taxes) and is broken down by site as follows: (See attached assumptions and exclusions)

Ski Hill (10 Mile Coverage)	\$ 66,541.97
Grain Silo Repeaters	\$ 37,717.13
Fire Station 1	\$ 65,058.57
City Hall	\$ 8,886.13

**Schedule:** The schedule for this work will be coordinated with the City of Valdez upon award.

If you have any questions, please contact myself at (907) 761-6073 or Joe Russell at (907) 761-6125.

Thank you,

# Juhree' Psenak

Juhree' Psenak Program Manager / Assistant Director of Program Management

Attachment: Assumptions and Exclusions

# **Assumptions and Exclusions**

- Any changes or delay beyond New Horizons' control to include, but not limited to state and/or local COVID-19 restrictions/mandates, may necessitate additional cost, which will be chargeable to City of Valdez. New Horizons will submit documentation, as appropriate, to explain the change conditions and associated pricing.
- 2. If the project requires a closeout package/documentation, it must be provided with the NTP. If a closeout package is received at the end of the project and requires New Horizons to return to site to re-test/collect data for the closeout package, this time will be chargeable to The City of Valdez.
- 3. City of Valdez to hire Consultant to provide access and review of Motorola radio system at City Hall.

Legislation Text

#### File #: ORD 22-0005, Version: 1

# ITEM TITLE:

#22-05 - Amending Chapter 2.12, Section 2.12.030, Titled Deputy City Clerk Appointment. Second Reading. Adoption.

**SUBMITTED BY:** Sheri Pierce, MMC, City Clerk

#### FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

## **RECOMMENDATION:**

Click here to enter text.

#### SUMMARY STATEMENT:

The City Charter directs that the City Clerk "shall hire as necessary a Deputy City Clerk, whose selection shall be ratified by the City Council" (Charter Section 5.4 (h)).

Language was created in the Municipal Code which expanded the role of the city council to include determining compensation and terms of employment. Since the Deputy City Clerk is not an "at will" employee, a classification has been established for the position on the city pay scale and the employee is currently protected under the section of the city personnel regulations regarding disciplinary and dismissal actions. The City Clerk performs the Deputy City Clerk evaluation and compensation is based on the section of the city personnel regulations which governs merit increases and advancement on the city pay scale. Therefore, the current language in the municipal code which speaks to the city council setting compensation and terms of employment is contrary and conflicting. However, as established in the Charter, the city council will still ratify the <u>selection</u> of the Deputy City Clerk.

The municipal code also establishes this employee as "non-exempt", meaning the Deputy Clerk is eligible to accrue overtime compensation. It is my recommendation that this position be classified as "exempt" equal to all other senior level positions in the city. The duties and qualifications required of the deputy city clerk satisfy FLSA requirements for exempt status.

If this ordinance is adopted, Section 5.1 of the city personnel regulations will need to be amended to reflect these changes.

# CITY OF VALDEZ, ALASKA

### ORDINANCE NO. 22-05

# AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AMENDING CHAPTER 2.12, TITLED CITY CLERK

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, THAT, the following amendments are made to Chapter 2.12, of the Valdez Municipal Code.

<u>Section 1.</u> Chapter 2.12 is hereby amended to read as follows:

Sections:

- 2.12.010 Appointment.
- 2.12.020 Duties.
- 2.12.030 Deputy city clerk—Appointment.

2.12.040 Deputy city clerk—Duties.

# 2.12.010 Appointment.

The council shall appoint by a majority vote of its members a city clerk. <u>The city clerk</u> He shall be chosen solely on the basis of <u>their his</u> qualifications <u>and</u> <u>He</u> shall receive such compensation as the council shall determine. The city clerk shall hold office at the pleasure of the council. (Prior code § 2-10)

#### 2.12.020 Duties.

Duties of the city clerk are detailed in the City Charter, Section 5.4. In addition, the city clerk shall:

A. Be responsible for the recording, filing, indexing and safekeeping of all proceedings of the council which shall include a file containing original or confirmed documentation of all material presented for council action;

B. Be responsible for recording and attest to documents and codifying of ordinances. Record in full, uniformly and permanently, all ordinances, resolutions, contracts and agreements and shall attest the same; and be responsible in conjunction with the city attorney for the codification of all ordinances of general application;

C. Publish all ordinances of the council upon adoption and all legal notices required by law or ordinance; and

D. Be the custodian of all documents belonging to the city. No documents in the custody of the city clerk are to be destroyed without council authorization. (Prior code § 2-11)

# 2.12.030 Deputy city clerk—Appointment.

The city clerk <u>shall have the authority</u> is authorized to appoint the deputy city clerk, <del>who shall be confirmed</del> <u>subject to confirmation</u> by the city council. The city clerk shall_

Ordinance No. 22-05 Redline indicates new language/strikeout indicates deletion

Page 1

determine compensation and terms of employment for the deputy city clerk. The deputycity clerk is a nonexempt employee. Any disciplinary or dismissal actions must be inaccordance with due process protections and procedures Employment of the deputy city clerk shall be subject to the City Personnel Regulations to the extent they are consistent with this section. The city clerk shall serve as the supervisor for the deputy city clerk and conduct performance evaluations, travel authorizations, and other supervisory functions related to employment of the deputy city clerk. The city clerkshall recommend and the city council shall determine compensation and terms of employment. (Ord. 07-05 § 1: Ord. 04-07 § 1: prior code § 2-12)

#### 2.12.040 Deputy city clerk—Duties.

The deputy city clerk shall act as city clerk when the city clerk is absent, unavailable or otherwise unable to act for any reason. In the absence of the city clerk, the deputy city clerk shall have the duty to execute, attest and acknowledge all documents required by law or ordinance to be formalized by the city clerk and to affix the seal of the city. In signing any documents, the deputy clerk shall affix the name of the city clerk followed by the word "by" and the deputy clerk's own signature and title. The deputy clerk shall perform other functions and duties under the supervision and direction of the city clerk. (Ord. 04-07 § 2: prior code § 2-13)

<u>Section 2.</u> This ordinance shall take effect immediately upon adoption by the Valdez City Council.

PASSED ANI	D APPROVED BY THE CITY	COUNCIL OF THE CITY OF VALDEZ,
ALASKA, this	day of	, 2022.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce, MMC, City Clerk

APPROVED AS TO FORM:

Jake Staser, City Attorney Brena, Bell, & Walker, P.C First Reading: Second Reading: Adoption: Ayes: Noes: Absent: Abstain:



Legislation Text

File #: ORD 22-0006, Version: 1

#### ITEM TITLE:

#22-06 - Amending Chapter 3.12, Section 3.12.040 Relating to Residential Property Tax Exemption. First Reading. Public Hearing.

**SUBMITTED BY:** Sheri Pierce, MMC, City Clerk/Jake Staser, City Attorney

#### FISCAL NOTES:

Expenditure Required: NA Unencumbered Balance: NA Funding Source: NA

#### **RECOMMENDATION:**

Click here to enter text.

#### SUMMARY STATEMENT:

Alaska Statute 29.45.050 (a) authorizes a municipality to provide an exemption not to exceed the assessed value of \$50,000 for any one residence except that a municipality may, by ordinance, annually adjust their voter-authorized exemption by the amount calculated by the State Assessor to reflect the increase, if any, in the annual average cost of living, using the U.S. Department of Labor CPI-U for Anchorage.

The City Council has expressed their support to apply this adjustment to reflect an increase in the exemption, if any, based on the annual average cost of living calculated by the State Assessor annually.

The City Council requested that Section 3.12.040 of the Valdez Municipal Code be amended by removing the calculation of "thirty percent of the assessed value" and replacing it with the exemption not to exceed \$50,000, of a principal residence owned and occupied by the taxpayer, subject to adjustment based on the annual average cost of living, calculated by the State Assessor annually.

This ordinance shall go into effective as of January 1, 2023, due to the fact that this exemption must be applied annually prior to the issuance of property tax assessment notices in March, therefore it is not applicable to the current 2022 tax year.

## CITY OF VALDEZ, ALASKA

#### ORDINANCE NO. 22-06

#### AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AMENDING CHAPTER 3.12, SECTION 3.12.040 RELATING TO RESIDENTIAL PROPERTY TAX EXEMPTION

WHEREAS, Alaska Statute 29.45.050 (a) authorizes a municipality to provide an exemption not to exceed the assessed value of \$50,000 for any one residence except that a municipality may, by ordinance, annually adjust their voter-authorized exemption by the amount calculated by the State Assessor to reflect the increase, if any, in the annual average cost of living, using the U.S. Department of Labor CPI-U for Anchorage; and

WHEREAS, the City Council supports adjustment of the exemption to reflect an increase, if any, based on the annual average cost of living, calculated by the State Assessor as of January 1, 2023, to be applied in tax year 2023; and

WHEREAS, the City Council supports amending Section 3.12.040 by removing the calculation of thirty percent of the assessed value and replacing it with the allowable exemption not to exceed \$50,000, of a principal residence owned and occupied by the taxpayer, subject to adjustment based on the annual average cost of living, calculated by the State Assessor annually.

WHEREAS, this Ordinance shall take effect on January 1, 2023.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that:

<u>Section 1.</u> As of January 1, 2023, Chapter 3.12, Section 3.12.040, shall be amended to read as follows:

#### Chapter 3.12 PROPERTY TAXES

#### 3.12.040 Additional exemptions.

Thirty percent of the assessed value, up to a maximum of Fifty thousand dollars of the assessed value of a principal residence owned and occupied by the taxpayer is exempt from taxation, except that the city may, by ordinance, annually adjust the voter-authorized exemption by the amount calculated by the State Assessor to reflect the increase, if any, in the annual average cost of living, using the U.S. Department of Labor CPI-U for Anchorage. Property tax exemptions shall be governed by AS 29.45.050, as of January 1, 204622, or as may be hereafter amended. (Ord. 16-02 § 1: Ord. 07-01 § 1: prior code § 25-2.2)

Ordinance No. 22-06 Redline indicates new language/strikeout indicates deletion

Page 1

<u>Section 2.</u> This ordinance shall take effect on January 1, 2023.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, this ______day of ______, 2022.

# CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce, MMC, City Clerk

APPROVED AS TO FORM:

Jake Staser, City Attorney Brena, Bell, & Walker, P.C First Reading: Second Reading: Adoption: Ayes: Noes: Absent: Abstain:



Legislation Text

#### File #: RES 22-0028, Version: 1

#### ITEM TITLE:

#22-28 - Authorizing a Lease with Alaska Guide Company, LLC for 2581 Richardson Highway, a Portion of USS 439 Owned by the City of Valdez

SUBMITTED BY: Nicole LeRoy, Planner

#### FISCAL NOTES:

Expenditure Required: N/A Unencumbered Balance: N/A Funding Source: N/A

#### **RECOMMENDATION:**

Approve Resolution #22-28 authorizing a lease with Alaska Guide Company, LLC for 2581 Richardson Highway, a portion of USS 439 owned by the City of Valdez, <u>with conditions.</u>

#### SUMMARY STATEMENT:

Planning Department staff received the attached lease application from Alaska Guide Company for use of 2581 Richardson Highway for development and operation of a tourism/recreation guiding business. Uses requested in the application narrative include a Onewheel and mountain biking course, shop for working on gear/equipment repairs, ropes course, zipline course, rock climbing and ice climbing wall, climbing and obstacle features, swings, store front and main office, gear storage, and employee housing. The applicant Mr. Zach Sheldon, owner and operator of Alaska Guide Company, has indicated this development would occur in phases throughout the lease term, and that he may pursue employee housing as an employee campground or employee dry cabins initially. He also stated in his application narrative that Alaska Guide Company would be interested in operating a helicopter landing pad at the location in the future. Alaska Guide Company originally approached staff to request to purchase the property. However, USS 439 Old Town is identified in the 2005 Property Management Policies and Procedures as lands to be leased only (p iv.)

#### Lease Term

Alaska Guide Company has requested a lease term of ten years. The 2005 Property Management Policies and Procedures reads, "leases of City land should not be for greater than five years, unless it is in the public interest for the City to enter into a longer-term lease." VMC 4.08.130 states the term of lease should, "depend on the desirability of the proposed use, the amount of investment in the improvements proposed and made, and the nature of the improvement proposed with respect to the time required to amortize the proposed investment." Staff believes the proposal presented by Mr. Sheldon is a significant investment that necessitates a lease term greater than five years for viability of the development. Additionally, the city has received no competing proposals for the requested area that would suggest it is not in the city's best interest to lease to Alaska Guide Company for a term longer than five years.

#### Staff Comment

Public Works Director Rob Comstock, Economic Development Director Martha Barberio, and Capital Facilities Director Nate Duval were solicited for comments on the proposal. Mr. Duval expressed no objection to the location. Mr. Comstock expressed concern over potential drainage issues on the property.

A floodplain review determined that the parcel is located within Flood Zone AE with portions of the property within shaded Flood Zone X, and unshaded Flood Zone X. Any development within Flood Zone AE requires a floodplain development permit. The applicant will need to address drainage issues during the floodplain development permit process.

Additionally, staff recommends Alaska Guide Company monitor public information available related to glacier outburst events in case of impact to the property, due to proximity to Glacier Stream.

#### **Development Costs and Requirements**

Because Valdez municipal code requires development costs associated with leased property to be paid for by the lessee, Alaska Guide Company will be responsible for the cost of a replat, phase I environmental assessment, and appraisal, unless the responsibility to pay these development costs is expressly waived by City Council.

VMC 16.04.020 states that for leases of land for ten years or more, a subdivision is required. 2581 Richardson Highway does not have an identified lot number. The boundaries of the area were inadvertently established via the platting actions of USS 439 Valdez Townsite, 92-5, and 80-11. None of the three plats explicitly define the boundaries of 2581 Richardson Highway or established a legal description. Staff recommends a plat be completed to define the location and assign it an appropriate legal description, prior to entering into a lease agreement.

A Phase 1 Environmental Assessment is required to be completed prior to lease of industrial lands at the cost of the lessee, unless costs are waived by City Council. The cost of a phase I ESA ranges \$4,500-\$8,000. The purpose of a phase I is to establish a baseline condition for the property prior to development, determine development history, and assess the potential for any pre-existing environmental contamination. A determination of the baseline condition of the property is of value to the city, and to Mr. Sheldon, should any alleged or actual contamination occur on the property during the course of the lease term. However, consideration should be given to the cost and relative benefit of the assessment in light of the fact that Alaska Guide Company's requested use is not industrially intensive.

Fair rental value for lease agreements is defined as no less than 10% of appraised value annually. If this lease agreement is approved, staff will order an appraisal to determine fair rental value of the property. The property will be appraised every five years, and the rent adjusted accordingly. The property is also subject to possessory interest taxation, which Alaska Guide Company will be responsible for paying.

2581 Richardson Highway is not serviced by City of Valdez sewer and water, and occupied structures will need to be connected to a private well and a commercial wastewater disposal system, developed at the cost of the lessee. Electrical service connection will also need to be established at the lease site at the cost of lessee.

#### Zoning

2581 Richardson Highway is zoned light industrial. The LI district allows for some of the uses Alaska Guide

#### File #: RES 22-0028, Version: 1

Company has requested, but not all. When working with Mr. Sheldon to determine a location that would meet his company's needs, the limitations of the LI district for his proposed development were discussed.

Alaska Guide Company has requested a Onewheel and mountain bike course, a ropes course, a zipline course, a rock climbing and ice climbing wall, climbing and obstacle features, swings, a store front and main office, gear storage and shop for gear repairs, and employee housing on the property.

- 1. Business office is permitted as a professional office.
- 2. Retail/gear rental is permitted as accessory to the professional office.
- 3. Employee housing is a permitted use as a bunkhouse, owner/operator dwelling, or watchman's facility. Alternatively, a campground used for temporary employee housing requires a conditional use permit and lease amendment.
- 4. A Onewheel and mountain biking course is permitted on the property as open space for recreation.

The other recreational uses requested by Alaska Guide Company fall outside of the scope of open space for recreation. Swings, a ropes course, a zipline course, rock climbing and ice climbing walls, and climbing and obstacle features are not permitted in the LI district and will not be included in the lease, if approved.

Additionally, if Alaska Guide Company chooses to pursue a helicopter landing pad in the future, a conditional use permit and lease amendment will be required. That use is not included in the current lease request.

#### Alignment of Proposed Development with the 2021 Adopted Comprehensive Plan

The Plan Valdez future land use map shows the lease site within the Industrial Business and Production place type. This place type is designed to accommodate commercial uses but is incompatible with all residential and non-motorized recreational development. This poses a potential challenge because any future land use actions, including conditional use permits, leases, or code revisions need to be compatible with the comprehensive plan. Mr. Sheldon's business is both commercial and recreational in nature. However, much of the land use described to be desired by Mr. Sheldon is non-motorized recreation (zipline, ropes course, etc.), in addition to not being permitted in the LI district as it's presently written. Additionally, upcoming changes to the Title 17 zoning code could pose issues for future development at the site, as the projects will be reviewed based on the zoning code at the time of application.

Staff has discussed the upcoming Title 17 revisions with Alaska Guide Company, and the potential implications for their operations, given the place type designation in the Comprehensive Plan.

Staff does find Alaska Guide Company's proposal to be compatible with the Comprehensive Plan goals 3.1. build upon Valdez's core economy, 3.2 pursue a diverse and self-reliant economy, and 3.3 promote Valdez as a destination. Collaborating with a non-City of Valdez lead to support partners in their development of recreation opportunities, and increasing and developing new local attractions (independent and organized tourism) are identified as high priorities in Plan Valdez.

The Planning and Zoning Commission voted to approve a recommendation to approve this lease on April 27, 2022. Commissioner Blehm said he felt it didn't make sense for the lessee to pay for the cost of the Phase I ESA, since we could not guarantee the condition of the property to the applicant and expressed interest in the City waiving costs. Commissioner Goudreau agreed, and mentioned the potential that junkyard materials had extended from the neighboring property into the requested lease area. Commissioner Watson expressed some concerned about pedestrian and bike traffic safety on Glacier Haul Road, which is frequently used by

#### File #: RES 22-0028, Version: 1

heavy equipment and trucks. Staff recommends that Alaska Guide Company alert its customers to the potential traffic on Glacier Haul Road by either posting a sign at the exit of the lease area, or discussing it during the bike/Onewheel rental process.

Staff recommends approval of a lease with Alaska Guide Company with the following conditions:

- 1. All local, state, and federal permitting must be obtained, and the conditions of such approvals must be complied with throughout the duration of the lease term, including required floodplain development permits.
- 2. Per 16.04.020, leases for periods of ten years or greater are required to be subdivided. A subdivision is required as a condition of this lease at the cost of lessee.
- 3. A phase I environmental site assessment is required to be completed prior to execution of the lease agreement per the 2005 Property Management Policies and Procedures at the cost of lessee.
- 4. This lease excludes the approval of a ropes course, a zipline course, a rock and ice climbing wall, climbing and obstacle features, and swings from being authorized uses on the property as they do not conform to the allowable uses in the light industrial zoning district.

Pending Council approval, staff will work with the City Attorney and Alaska Guide Company to execute a lease agreement. City Council may request any conditions or amendments to staff's proposed requirements. The plat, appraisal, and phase I environmental assessment will need to be completed prior to the lease being executed. The resolution approving the lease will also be posted publicly for 30 days, after which the lease may be executed (VMC 4.08.160.)

#### CITY OF VALDEZ, ALASKA

#### RESOLUTION #22-28

#### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AUTHORIZING A LEASE WITH ALASKA GUIDE COMPANY, LLC FOR 2581 RICHARDSON HIGHWAY, A PORTION OF USS 439 OWNED BY THE CITY OF VALDEZ

WHEREAS, Alaska Guide Company, LLC desires to utilize City of Valdez property adjacent to Glacier Stream to operate a recreational guiding business; and

WHEREAS, 2581 Richardson Highway was identified as a City-owned parcel available for lease; and

WHEREAS, Alaska Guide Company, LLC has applied to lease the property for a ten-year term for construction and operation of a recreational guiding business; and

WHEREAS, the property is zoned Light Industrial which allows for business offices, employee housing, gear rental storage and maintenance facility and a Onewheel and mountain biking course; and

WHEREAS, helicopter landing facilities are a conditional use in the Light Industrial district; and

WHEREAS, RV Parks and Campgrounds are a conditional use in the Light Industrial district; and

WHEREAS, per the 2005 Property Management Policies and Procedures, a phase I environmental site assessment is required to be completed for all Light Industrial property at the cost of lessee.

WHEREAS, per 16.04.020, leases for periods of ten years or greater are required to be subdivided. A subdivision is required at the cost of lessee.

WHEREAS, the Planning and Zoning Commission approved a recommendation to approve this lease on April 27, 2022.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that:

<u>Section 1.</u> The City Council of the City of Valdez, Alaska authorizes a lease with Alaska Guide Company, LLC and authorizes the City Manager or their designee to negotiate said lease.

<u>Section 2</u>. The use of the lease shall be for the construction and operation of a recreational guiding business, including construction of employee housing, gear rental/storage and maintenance facility, a business office, and a Onewheel and mountain biking course.

Resolution No. 22-28 Page 2

<u>Section 3.</u> This lease approval excludes a ropes course, a zipline course, a rock and ice climbing wall, climbing and obstacle features, and swings from being authorized uses on the property as they do not conform to the allowable uses in the Light Industrial district.

<u>Section 4</u>. An RV park/campground is excluded as a condition of this lease approval; Alaska Guide Company is required to obtain a conditional use permit and a lease amendment should they choose to pursue an RV park/campground.

<u>Section 5.</u> A helicopter landing field is excluded as a condition of this lease approval; Alaska Guide Company is required to obtain a conditional use permit and a lease amendment should they choose to pursue a helicopter landing field.

<u>Section 6.</u> All local, state, and federal permitting associated with the development must be obtained, and the conditions of such approvals must be complied with throughout the duration of the lease term, including required floodplain development permits.

<u>Section 7.</u> Per 16.04.020, leases for periods of ten years or greater are required to be subdivided. A subdivision is required at the cost of lessee.

<u>Section 8.</u> A phase I environmental site assessment is required to be completed prior to execution of the lease agreement at the cost of lessee.

<u>Section 9.</u> The annual rental fee shall be 10% of fair market value annually. An appraisal to determine fair market value shall be ordered at the cost of lessee.

<u>Section 10.</u> In conformance with Valdez Municipal Code Section 4.08.160 this lease shall not become effective until public notice has been given for at least thirty days. This resolution shall be posted twice in a newspaper in the city and shall be posted on the official city bulletin board and two other public places in the city for thirty days prior to the effective date of the lease.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, this 4th day of May, 2022.

CITY OF VALDEZ, ALASKA

ATTEST:

Sharon Scheidt, Mayor

Sheri L. Pierce, MMC, City Clerk



**RECEIVED** By nleroy at 1:21 pm, Mar 02, 2022

# CITY OF VALDEZ APPLICATION FOR LEASE OF CITY OWNED LAND

Application Fee: \$50.00 (Non-refundable)

FEE WAIVED FOR 2017 PER RES# 12-72

This form is to be completed by an individual or an organization proposing to lease City-owned land. Complete in full and to the best of your knowledge. Please explain any omissions and use additional pages where appropriate. If requested, proprietary and financial information of applicants that is so marked will be kept confidential.

The completed application shall be returned to the Valdez Community & Economic Development Department located in City Hall along with the Application fee.

A deposit of \$3,000 will be required prior to the City initiating any required appraisal or land survey. The deposit will be used to offset the cost of the appraisal and land survey. If additional funds are necessary, the applicant will be billed as part of the lease. If there is a balance, it will be applied to the first year's lease payment. This deposit will be the cumulative amount of any required appraisal, land survey or Phase I environmental analysis according to the following schedule:

* If a survey and/or appraisal are required:	\$3,000
* If a Phase I Environmental Analysis only is required:	\$3,000
* If a survey or appraisal and Environmental Analysis are required:	\$5,000
(Required on all industrial land)	

1. Name of Individual Completing Application Form:

Name: Zachary Sheldon	Phone: 907-888-7970
	Daytime/ Message
Mailing Address: PO Box 1984, Valdez, AK 99868	

- 2. If other individual(s) or an organization(s) will be a party to this application, indicate below. Attach additional pages as needed:
  - a) Name_____ Phone:_____

Mailing Address

	Relationship to other applicant(s)		
b)	Organization's name Alaska Guide Company		
	Address 3332 Falcon Ave, Valdez AK 99686		
	Primary Contact: Zachary Sheldon		
	Title: <u>CEO</u>		
	Daytime Phone #: (907) 390-0510		
3. TY	PE OF ORGANIZATION: (Check one)		
Ge Lii	dividuals       Business Corporation X         eneral Partnership       Non-Profit Corporation         mited Partnership       Non-Profit Association         her       Non-Profit Association		
If non-	-profit, has IRS Tax Exempt Status been obtained? Yes No attach letter of determination.		
Note:	Please submit, as appropriate, the following items with this application:		
<ol> <li>Current Alaska business license;</li> <li>Designation of signatory authority to act for organization of other individuals;</li> <li>Certificate and articles of incorporation;</li> </ol>			
	<ol> <li>Partnership agreement and amendments;</li> <li>Charter/by-laws for non-profits;</li> <li>Most recent annual financial statement;</li> </ol>		

#### 4. Legal Description AFFECTED BY APPLICATION:

Located in Township 009S Range 006W Section, 02 Meridian

Lot/ Block/ Tract/ Subd. 2581 Plat #_____

Other Description 2581 Richardson Highway

Tax #_____No. of Acres 5ish

5. DESCRIBE PROPOSAL. ATTACH NARRATIVE FOR FURTHER DESCRIPTION AND A SITE PLAN (the description should include the use; value and nature of improvements to be constructed; the type of construction; and, the estimated dates for construction to commence and be completed). <u>Most likely store front/office, main base of operations, gear storage, employee housing, well, septic,</u>

power, phone/internet, ropes course, OneWheel/Mtn Bike course. Somewhere between

#### 6. WHAT IS THE TERM OF THE LEASE DESIRED?

10 years.

7. IF THE REQUEST FOR A LEASE AT LESS THAN FAIR MARKET VALUE, PROVIDE JUSTIFICATION.

8. PLEASE STATE WHY YOU BELIEVE IT WOULD BE IN THE "BEST INTEREST OF THE CITY" TO APPROVE YOUR PROPOSAL AND PROCESS YOUR APPLICATION.

Alaska Guide Co helps grow tourism and recreational opportunities in Valdez. We are of the size now

where it's best for my community we don't operate out of my front yard. This property will also us to keep

growing and supporting outdoors recreation in Valdez.

9. CURRENT STATUS OF LAND. DESCRIBE ANY EXISTING IMPROVEMENTS, PROVIDE PHOTOGRAPHS IF POSSIBLE.

No current improvements.

10. HAS APPLICANT PREVIOUSLY PURCHASED OR LEASED CITY LAND OR RESOURCES? YES X NO. IF YES, PROVIDE LEGAL DESCRIPTION, TYPE OR PURCHASE OR LEASE, AND STATUS.

^{11.} IF APPLICANT IS A BUSINESS OPERATION, LIST PRESENT BUSINESS ACTIVITIES.

paddleboard tours, mountain bike tours. Trail and route development.

# 12. IF REQUIRED, ARE YOU PREPARED TO SPEND FUNDS FOR THE FOLLOWING:

YES	NO
$\frac{\frac{?}{X}}{\frac{X}{X}}$	<ul> <li>? a) Performance bond</li> <li>b) Damage deposit</li> <li>c) General liability insurance</li> <li>d) Worker's compensation insurance</li> <li>e) Survey and platting</li> <li>f) Appraisal fee</li> <li>g) Closing fees, which may include title insurance,</li> </ul>
X X	document preparation, escrow closing, and recordingh) Any federal, state and local permits requiredl) Maintenance costs (present or future)

#### 13. LIST THREE (3) CREDIT OR BUSINESS REFERENCES:

Name	Address	Phone #
Vertical Solutions	300 Airport Rd, Valdez, AK 99686	(907) 831-0643

Other than that, we operate pretty independently without lines of credit.

#### 14. HAS APPLICANT, OR AFFILIATED ENTITY, EVER FILED A PETITION FOR BANKRUPTCY, BEEN ADJUDGED BANKRUPT OR MADE AN ASSIGMENT FOR THE BENEFIT OF CREDITORS?

No

15. IS APPLICANT, OR AFFILIATED ENTITY, NOW IN DEFAULT ON ANY OBLIGATION TO, OR SUBJECT TO ANY UNSATISFIED JUDGEMENT OF LIEN? _____ YES X____ NO IF YES, EXPLAIN:

# INDIVIDUAL APPLICANT OR ORGANIZATION. ATTACH ADDITIONAL STATEMENTS IF NEEDED.

(Individ	dual Name)	
(Individ	dual Name)	
	On Behalf of Alaska Guide Company	
s Name)	(Organization's Name)	
(Ad	ddress)	
aldez, AK	99686	
(City, State)	(Zip)	
	(Individ s Name) (Ad	(Address) Faldez, AK 99686

#### **APPLICANT QUALIFICATION STATEMENT**

do hereby swear and affirm for myself as applicant or as representative for the organization noted above that:

The Applicant is a citizen of the United States, over the age of nineteen;

If a group, association or corporation, is authorized to conduct business Under the laws of the State of Alaska; and

Has not failed to pay a deposit or payment due the City in relation to City-owned real property in the previous five (5) years; and

Is not currently in breach or default on any contract or lease for real Property transactions in which the City has an interest; and

Has not failed to perform under or is not in default of a contract with the City; and

Is not delinquent in any tax payment to the City.

# I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE TO MY KNOWLEDGE.

5×50-	02/27/2022
Applicant Signature	Date

Applicant Signature

Date

Zachary Sheldon

and

Print Name

Print Name

Comdev/data/forms/LandLease & SalesForms/AppforLease of CityLand

Alaska Business License # 2134560

# Alaska Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing PO Box 110806, Juneau, AK 99811-0806

This is to certify that

# Alaska Guide Co

PO Box 1984, VALDEZ, AK 99686-1984

owned by

Jennifer Sheldon; Zachary Sheldon

is licensed by the department to conduct business for the period

June 21, 2021 to December 31, 2022 for the following line(s) of business:

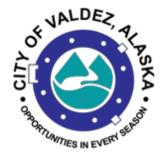
51 - Information; 71 - Arts, Entertainment and Recreation



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location. It is not transferable or assignable.

Julie Anderson Commissioner



# **CITY OF VALDEZ BUSINESS REGISTRATION**

ISSUED TO: Alaska Guide Co Zachary Sheldon (907) 390-0510

3332 Falcon Ave

Valdez, AK, 99686

**REGISTRATION NUMBER:** 22-033 **BUSINESS DESCRIPTION:** Wilderness Tours and Adventures **BUSINESS TYPE:** tourism/recreation

**APPROVED BY:** 

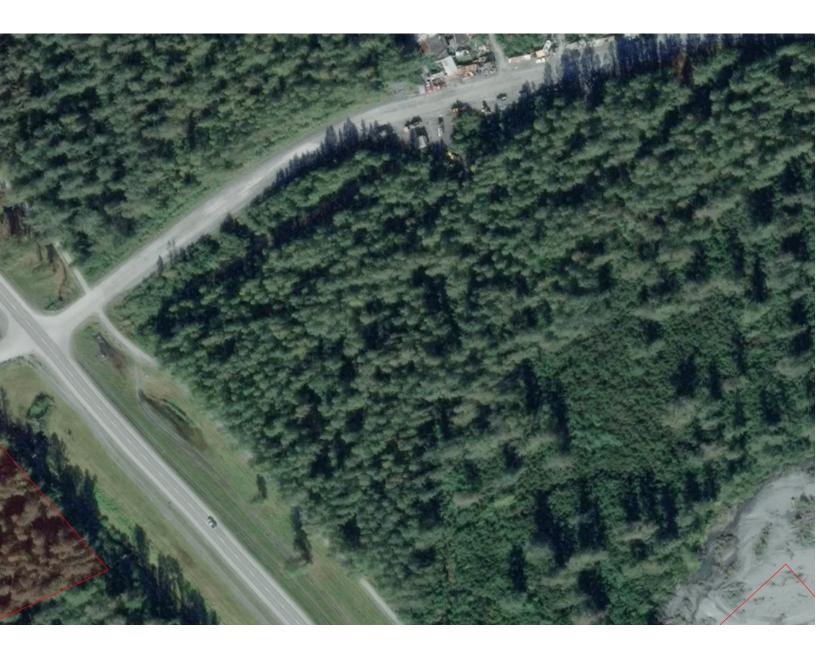
Fate Hulen

VALID FROM: 01/01/2022 EXPIRES: 12/31/2022

This license is non-transferable and is issued in compliance with the City of Valdez, AK per Valdez Municipal Code 5.04.

**ISSUED BY:** City of Valdez Planning Department 907-834-3401

PO Box 307 Valdez, AK 99686



Lot 2581 as it currently lays (without snow).

Years 2022-2023

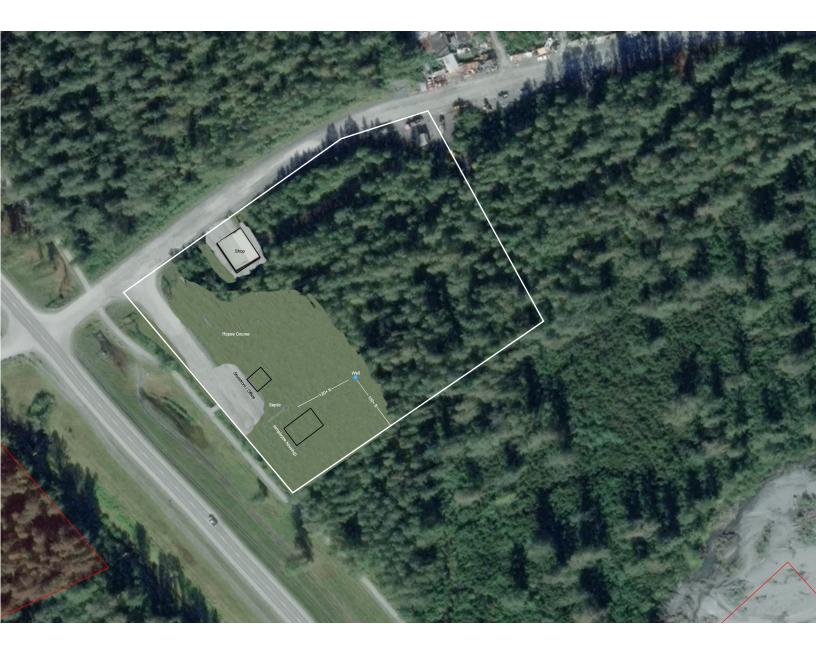


By the end of 2023 we plan to have a store front/office, with well, septic, parking lot, and ropes course. Along with .5 mile+ of OneWheel and Mountain Biking trails throughout the property. We would also like to bring in fill and soil for around buildings, landscaping, and trail development.

Additional temporary features may include employee parking, employee camping and/or employee dry cabins along the western area of the property. Gear and equipment storage and building.



By the beginning of the 2027 season we hope to have permanent employee housing in place.



Ideally by 2028 we would also have a shop to store and work on larger equipment.

Other features we may develop are zipline(s), rock climbing and ice climbing walls, climbing and obstacle features, swings, and extending or additional ropes courses.

We are also interested in potentially having a helipad, but would bring this back to the local residents, city, and other government entities before pursuing that.

#### 17.04.290 Bunkhouse.

"Bunkhouse" means a building used as living quarters for people such as cannery workers or construction laborers where shower and sanitary facilities are shared by several rooms. (Ord. 17-04 § 1 (part): Ord. 16-04 § 2 (part): Ord. 03-15 § 1 (part): prior code § 30-8(b) (part))

#### 17.04.1170 Professional office.

"Professional office" means the office of a member of a recognized profession maintained for the conduct of that profession. (Ord. 17-04 § 1 (part): Ord. 16-04 § 2 (part): Ord. 03-15 § 1 (part): prior code § 30-8(b) (part))

#### 17.04.1220 Recreational vehicle park or campground.

"Recreational vehicle park or campground" means a parcel of land where two or more recreational vehicles or tents are parked, camped, leased or rented for temporary occupancy for recreation or vacation purposes. A recreational vehicle park or campground may be improved or unimproved providing remote, rural or nonrural settings that may or may not include improvements and amenities such as restrooms, water, showers, electricity, a dump station, cable television, Internet service or similar services. (Ord. 17-04 § 1 (part): Ord. 16-04 § 2 (part): Ord. 03-15 § 1 (part): prior code § 30-8(b) (part))

#### Chapter 17.36 L-I LIGHT INDUSTRIAL DISTRICT

Sections:

17.36.010 Intent.

17.36.020 Permitted principal uses and structures.

17.36.030 Permitted accessory uses and structures.

- 17.36.040 Conditional uses.
- 17.36.050 Prohibited uses and structures.
- 17.36.060 Minimum lot requirements.
- 17.36.070 Minimum setback requirements.
- 17.36.080 Maximum lot coverage by all buildings and structures.
- 17.36.090 Maximum height of buildings and structures.
- <u>17.36.100 Required off-street parking and loading.</u>

#### 17.36.110 Signs.

#### 17.36.010 Intent.

The L-I (light industrial) district is intended for light industrial development including light manufacturing, processing, warehousing, storage, wholesale and distribution operations, and similar processes and operations. Limited commercial uses and accessory residential uses are allowed in the L-I district to serve the uses for which the district is primarily intended. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(a))

#### 17.36.020 Permitted principal uses and structures.

In an L-I zone, the following uses and structures are permitted outright:

- A. Automobile service stations;
- B. Sales and repair facilities (i.e., equipment, boat, auto body);
- C. Building material supply establishments;
- D. Breweries;
- E. Bunkhouses;
- F. Distilleries;
- G. Professional offices;
- H. Maintenance and service shops, construction offices and equipment storage yards;
- I. Marijuana cultivation facilities;
- J. Marijuana product manufacturing facilities;
- K. Marijuana retail stores;
- L. Marijuana testing facilities;
- M. Light manufacturing and processing operations;
- N. Open space for recreation;
- O. Principal permitted uses of waterfront industrial district;
- P. Agricultural nurseries and greenhouses;
- Q. Utilities installations, except dams, water reservoirs and sewage treatment plants;
- R. Warehousing and indoor/outdoor storage;

S. Wineries. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(b))

#### 17.36.030 Permitted accessory uses and structures.

In an L-I zone, the following uses and structures, which are incidental to the permitted principal uses and structures listed in Section <u>17.36.020</u>, are permitted:

- A. Accessory buildings;
- B. Owner/operator dwellings;
- C. Sales and service uses accessory to permitted principal uses;
- D. Watchman's facilities;

E. Small wind energy systems in conformance with Section 17.48.150. (Ord. 17-04 § 4 (part):
 Ord. 16-04 § 7 (part): Ord. 08-11 § 14: Ord. 03-15 § 16 (part): prior code § 30-25(c))

#### 17.36.040 Conditional uses.

In an L-I zone, subject to the conditional use provisions of this title, the following uses and structures may be permitted:

- A. Airports and landing fields for rotary or fixed-wing aircraft;
- B. Animal hospitals, veterinary practices and kennels;
- C. Asphalt and concrete plants;
- D. Correctional facilities;
- E. Hazardous, volatile and flammable storage and distribution;
- F. Recreational vehicle campground;
- G. Sawmills;
- H. Solid waste processing facility on tracts of not less than ten acres;
- I. RV park or campground;
- J. Mobile home courts;
- K. Outdoor shooting ranges;
- L. Restaurants, taverns and cocktail lounges;

M. Structures over thirty-five feet. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(d))

## 17.36.050 Prohibited uses and structures.

Any use or structure not of a character indicated under permitted principal uses and structures or permitted as a conditional use is prohibited. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(e))

## 17.36.060 Minimum lot requirements.

Width and area are determined by use and other codes. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(f))

## 17.36.070 Minimum setback requirements.

Front yard, side yard and rear yard subject to building code regarding fire walls and separation of structures. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(g))

## 17.36.080 Maximum lot coverage by all buildings and structures.

Unrestricted within setbacks. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(h))

## 17.36.090 Maximum height of buildings and structures.

Principal buildings and structures shall not exceed thirty-five feet in height, except as otherwise provided in this title. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(i))

## 17.36.100 Required off-street parking and loading.

Adequate off-street parking and loading spaces shall be provided in connection with any permitted use in accordance with the requirements set forth in Sections 17.48.100 and 17.48.110. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(j))

## 17.36.110 Signs.

Signs may be allowed in conjunction with any permitted use subject to the provisions of Section 17.48.090. (Ord. 17-04 § 4 (part): Ord. 16-04 § 7 (part): Ord. 03-15 § 16 (part): prior code § 30-25(k))



Legislation Text

## File #: RES 22-0029, Version: 1

## ITEM TITLE:

#22-29 - Authorizing the Negotiated Sale of 1.89 acres within the Valdez Medical Park Subdivision Senior Addition to Valdez Senior Housing Associates, LLC.

SUBMITTED BY: Mark Detter, City Manager

## FISCAL NOTES:

Expenditure Required: N/A Unencumbered Balance: N/A Funding Source: N/A

## **RECOMMENDATION:**

Approve Resolution #22-29 authorizing the City Manager to negotiate the sale of 1.89 acres within the Valdez Medical Park Subdivision.

## SUMMARY STATEMENT:

Valdez Senior Housing Associates, LLC has been awarded funding from the Alaska Housing Finance Corporation Special Purpose Goal Funding Program for a 29 Unit Senior Housing Complex in Valdez.

As part of the City's commitment to the project, the City of Valdez agreed to donate land in Medical Park Subdivision Senior Addition to be utilized for the construction of the Senior Housing complex.

The Resolution provides the City Manager the ability to negotiate land sale with Valdez Senior Housing Associates, LLC under the following parameters:

The property will be sold for \$1.00 (less than fair market value). Appraisal is projected to be approximately \$225,000.

In conformance with the Valdez Municipal Code, the appraisal of the property and a survey of the property will be provided at the purchaser's expense.

The City of Valdez will make application to the Planning Commission to change the zoning from Public Lands to appropriate high density residential zoning classification.

The purchase agreement will include a clause that if the Certificate of Occupancy and lease-up of the property does not occur by December 31, 2025 the property will revert back to the City.

The Resolution requires approval of six members of the Council due to sale of property at less than fair market value . Final documents will be provided to the Council when land sale documents are

## File #: RES 22-0029, Version: 1

completed.

## CITY OF VALDEZ, ALASKA

## **RESOLUTION #22-29**

## A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AUTHORIZING THE NEGOTIATED SALE OF 1.89 ACRES WITHIN MEDICAL PARK SUBDIVISION SENIOR ADDITION TO VALDEZ SENIOR HOUSING ASSOCIATES, LLC.

WHEREAS, the Valdez Senior Housing Associates, LLC desires to purchase 1.89 acres of land, identified as lot 3, for the purpose of construction of Senior Housing in Valdez; and

WHEREAS, the City Council of the City of Valdez authorized application to the Alaska Housing Finance Corporation Special Purpose Goal Funding Program for the purpose of constructing Senior Housing in Valdez; and

WHEREAS, The Alaska Housing Finance Corporation selected Valdez Senior Housing Associates, LLC for such Special Purpose GOAL Program for funding in 2022; and

WHEREAS, as part of the Alaska Housing Finance Corporation Special Goal Funding Program application the City of Valdez agreed to donate land for the construction of the Senior Housing complex in Valdez; and

WHEREAS, the City of Valdez 2021 Comprehensive Plan Revision-PLAN VALDEZ Future Land Use Map identifies the Medical Park Subdivision Senior Addition as a Mixed-Used Center; and

WHEREAS, the City of Valdez 2021 Comprehensive Plan Revision-PLAN VALDEZ creates the goal "Promote, protect, and building quality housing"; and

WHEREAS, Section 4.04.070 of the Valdez Municipal Code provides for the sale of City owned real property by negotiation upon authorization of the City Council by six or more affirmative votes; and

WHEREAS, Section 4.04.070 of the Valdez Municipal Code provides that the City Council may sell land at less than fair market value; and

WHEREAS, Section 4.04.070 of the Valdez Municipal Code further provides that the City Council may establish development requirements for real property disposed of through negotiated sale; and

WHEREAS, the City Council has determined that construction of the Valdez Senior Housing Associates senior housing complex awarded funding through the Alaska Housing Financing Corporation Special Purpose GOAL Program would assist in the City of Valdez 2021 Comprehensive Plan goal of "promoting, protecting, and building quality housing". NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that:

<u>Section 1.</u> The City Manager of the City of Valdez, Alaska is authorized to negotiate the sale of 1.89 acres ("Property") of land within Valdez Medical Park Subdivision Senior Addition to Valdez Senior Housing Associates, LLC and the purchase price for the Property shall be \$1.00 based upon conditions for development described in the below sections.

<u>Section 2.</u> Pursuant to Section 4.04.070(C) of the Valdez Municipal Code, Purchaser is required to complete an appraisal and survey of the Property and pay all costs associated with such appraisal and survey.

<u>Section 3.</u> City of Valdez will make application to the Planning Commission to rezone the Property from Public Lands to zoning appropriate to high-density residential use.

<u>Section 4.</u> The purchase agreement will include development requirements based on the project timeline established in Table A. Said improvements are considered development benchmarks that set milestones for the development of the Senior Housing Project.

ITEM	YEAR
Plans & Permits Projected	2022 (Anticipated)
Completion	
Sitework	2023 (Anticipated)
Building Envelope	2024 (Anticipated)
Certificate of Occupancy	12/31/2025
and Lease Up	

Table A

<u>Section 6</u>. The establishment of development requirements and milestones are guidelines for the development of the Senior Housing Complex. In the event a Certificate of Occupancy for the Senior Housing Complex is not awarded by 12/31/2025, the ownership of the Property will revert to the City of Valdez.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce, MMC, City Clerk

## **RESTRICTED APPRAISAL REPORT**

Use of this report is limited to the client(s). The rationale for how the appraiser arrived at the opinions and conclusion set forth in this report may not be understood properly without additional information that is in the appraiser's work file.

Subject Address	Located at NHN East Hanagita Street, in Valdez, AK. The subject site is the proposed				
Subject Address	location of a senior living facility.				
Property Type	Vacant land zoned Public Lands District (proposed rezone to Multi-Family).				
Client	Northrim Bank; 3111 C Street, P.O. Box 241489				
	Anchorage, Alaska 9924-1489				
	Attention: Ms. Deatrice Swazer				
Intended Use	The purpose of this appraisal is to estimate the market value of the fee simple interest				
	of the property. The value opinions are stated in terms of cash. The market exposure				
	period (looking backward) is estimated at one year.				
Intended User(s)	The function of this appraisal report is to assist the client, Northrim Bank, in asset				
	evaluation for the potential underwriting of a loan on the subject property. The client				
	for this appraisal is Northrim Bank, its officers and directors. Other intended users of				
	the appraisal include The City of Valdez, appropriate banking regulatory agencies,				
	other financial institutions, and/or state agencies that may participate in funding a loan				
	for which the subject will be security.				
Property Rights	Fee Simple.				
Type of Valuation	Market Value.				

## **Definition of Market Value**

The most probable price, which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, and knowledgeably, and assuming the price is no affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- 1. Buyer and seller are typically motivated;
- 2. Both parties are well informed or well advised, and both acting in what they consider their own best interest;
- 3. A reasonable time is allowed for exposure in the open market;
- 4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and

5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale

## **Property History**

There have been no sales of the subject property within the last three years of either the subject or parent tract. The City of Valdez is currently considering donating the land for a proposed project (see below).

## **Conditions of the Appraisal**

The proposed site is currently raw land that is a portion of a  $\pm 29.03$  AC parent tract that contains the Providence Valdez Medical Center (P.V.M.C.) and the Valdez Senior Center (V.S.C.). The Medical Park Subdivision is currently zoned Public Lands District.

Per the property contact/developer, Shawne Mastronadri¹, the project will be for a new construction senior living facility through a tax credit award. It will consists of 3-phases that the City of Valdez will be a part of by donating the land ( $\pm 1.89$  acres) necessary for development and completing necessary infrastructure.

Ms. Mastronadri has been working with the City of Valdez who is currently in the process of re-platting the parent tract (Medical Park Subdivision) and re-zoning the subject site to Multi-Family Residential.

¹ Cordes Development 3, LLC; (914) 441-3880

The City of Valdez Planning Director, Kate Huber², submitted the following to Ms. Mastronadri on January 4, 2022:

"In order for the proposed senior housing project to move forward, the approximately 1.16³ acre portion of Medical Park Subdivision must be subdivided to establish a new parcel. The Planning and Zoning Commission serves as the local Platting Authority and will give first a preliminary and then final plat approval. The subdivision application is available on the City of Valdez website and will be processed by our department.

Once plat approval is secured, a rezone of the new parcel will be required. The current zoning of Medical Park Subdivision is public lands. We recommend that this parcel, as well as the location of the existing Senior Center be rezoned to multi-family residential. Similarly, the rezone application is available on the City website and is processed by our department. A rezone requires first a recommendation by the Planning and Zoning Commission, followed by a first and second reading (final approval) before the City Council.

Planning Department staff have done a preliminary assessment of the proposed project and should the applicant receive AHFC Goal funding and submit a complete application, we anticipate a staff recommendation of approval for both the subdivision and rezoning of the parcel. The proposed site plan is in conformity with our zoning and subdivision ordinances, as well as the Comprehensive Plan adopted by City Council."

Given the information provided and the motions made by the City of Valdez, specifically the final paragraph above, it appears reasonable that the project will continue "as proposed". However, it is an *extraordinary assumption* of this report that the subject site is re-platted and re-zoned "as proposed". The information is considered for the appraisal development in the "scope of work" section of this report.

² City of Valdez Planning Department; (907) 834-3401

³ The most current plat map reportedly has the subject land to be donated at 1.89 AC.

Use of this report is limited to the client(s). The rationale for how the appraiser arrived at the opinions and conclusion set forth in this report may not be understood properly without additional information that is in the appraiser's work file.

## **Property Data**

The appraiser(s) did not personally inspect the subject property. Brian Bethard, MAI is familiar with the City of Valdez and the subject site. Aerial drone photographs and street view photographs were provided by the property contact. As discussed with the client, a personal inspection of the property was deemed unnecessary due to snow coverage.

City of Valdez public records, assessment data, and zoning records were reviewed. Additional information regarding the subject site was provided by the property contact and/or the City of Valdez.

## Area Data

In order to identify significant trends and indicators, we spoke with local property owners, real estate agents and appraisers. We obtained a community profile from the State of Alaska Department of Community and Regional Affairs. We also reviewed various publications, reports, and surveys including *Alaska Economic Trends, Alaska Business Monthly,* and the *Alaska Journal of Commerce*. In addition, an October 2021 Market Study for the subject property (completed by Novogradac and Company, LLP) was reviewed.

## Market Data

Alaska is a non-disclosure state. The Multiple Listing Service (MLS) is the primary source of data. Secondary sources include property managers and other appraisers. Market data was confirmed with the property owners, managers, or agents.

#### Market Analyses

The Appraisal Institute recognizes two categories of market analysis: *inferred* and *fundamental*. Inferred analyses (levels A and B) are basic methods by which future supply and demand conditions are inferred by current and general market conditions (secondary data). For the purposes of this appraisal, demand is inferred from general market conditions and the available data.

## **Appraisal Development**

Given the property type, the *cost* and *income* approaches to value are not applicable. We developed our value opinion by the *sales comparison approach*.

We certify that, to the best of our knowledge and belief:

#### 2020-2021 USPAP Standard Rule 2-3, Page 24

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are our personal, impartial, and unbiased professional analysis, opinions, and conclusions.
- We have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- We have performed no services as an appraiser or in any other capacity regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- We have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- Our engagement in this assignment was not contingent upon developing or reporting predetermined results.
- Our compensation for completing this assignment is not contingent upon the development or reporting of a
  predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the
  attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this
  appraisal.
- Our analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- The appraiser(s) did not personally inspect the property that is subject to this report. Brian Bethard, MAI is familiar
  with the City of Valdez and the subject site. Aerial drone photographs and street view photographs were provided by
  the property contact. As discussed with the client, a personal inspection of the property was deemed unnecessary
  due to snow coverage.
- Zack P. Rall provided significant real property appraisal assistance to the persons signing this certification. His services included area, neighborhood and subject-property description(s), data documentation and analyses, photography and preparation of exhibits.

#### Appraisal Institute (July 21, 2015), Certification Standard Rules 1-1, 1.2, & 1.3

- The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
- The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- Brian Z. Bethard is a licensed General Real Estate Appraiser (#281). As of the date of this report, he has completed the continuing education requirements for the State of Alaska, as well as the continuing education program for Designated Members of the Appraisal Institute.

Dated 4/28/2022

52: Bethan

Brian Z. Bethard, MAI General Real Estate Appraiser (Cert #281)

andary

Zack P. Rall Appraiser

## **Highest and Best Use**

Given the surrounding improved uses, the subject site and neighborhood are well suited for multi-family residential development.

#### **Exposure Time**

The market exposure period (looking backward) is estimated at one year.

**Effective Date of Value** April 28, 2022

Opinion of Market Value

\$226,000

## Reconciliation

The market was thoroughly searched, but sales data in Valdez is extremely limited. We have been forced to use dated sales and sales of properties with different zoning classifications (see addenda). Regardless, the sales selected are considered to be the most relevant data available.

In the end, the subject does have a semi strategic location with proximity to the hospital and land is limited in the immediate area. In conclusion, market value of the land is supported at 2.75/SF, or 226,000 (82,328 SF x 2.75).

As-is, the subject property is a portion of a  $\pm 29.03$  AC parent tract that contains the Providence Valdez Medical Center (P.V.M.C.) and the Valdez Senior Center (V.S.C.).



*Appraiser overlay, not 100% to scale

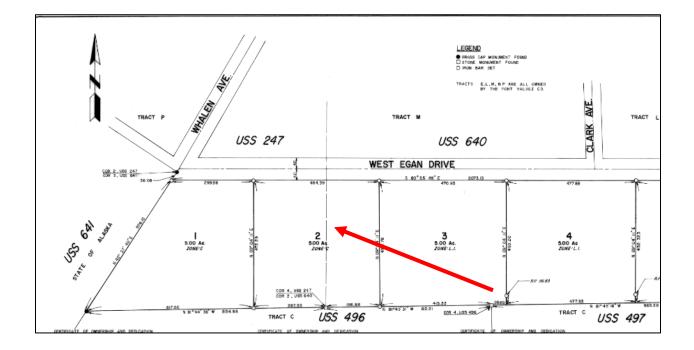


*Proposed site; Novogradac Market Study; prepared October 2021.

Record ID Property Type Location Nearest Community Legal Description Township/Range Tax ID USGS Quadrangle Lat./Long. (approx.)	<b>3210</b> Commercial W. Egan Dr., Just east of Whalen Ave. Valdez, AK Lot 2, Mineral Creek Industrial Park, Plat 78-5 Section 31, T8S, R6W, Copper River Meridian 70550000020 Valdez A-7 N61.748590°, W146.223837° (near the approximate center, Google Earth)
Sale Data Grantor Grantee Status Sale Date Instrument Document Number Property Rights Conditions of Sale Sale Price Financing Sale History Verification	The Port Valdez Company, Inc Valdez Office, LLC Sold December 30, 2016 recording date Warranty Deed 2016-000739 Valdez Recording District Fee simple or equivalent No undue stimulus reported \$375,000 Cash or equivalent Marketed privately by The Port Valdez Company, Inc. John Clark; 502-693-1506, November 09, 2017; Confirmed by Zack Rall
Neighborhood Land Data	Valdez- 305 road miles east of Anchorage and 364 road miles south of Fairbanks. It is the southern terminus of the Trans-Alaska oil pipeline. Land ownership is private, public and Native corporation
Access	
Topography & Soils Utilities Shape Restrictions Other	Adequate from W. Egan Dr. Level, near street grade. Soils appear adequate. T & E, W/S stubbed to site Square Zoned commercial N/A
Land Size Information Gross Land Size Adjustments (if any) Net Area	5.000 Acres or 217,800 SF <u>None</u> 5.000 Acres or 217,800 SF
Indicators Sale Price/Acre Sale Price/Gross SF	\$75,000 \$1.72

<u>Remarks</u>

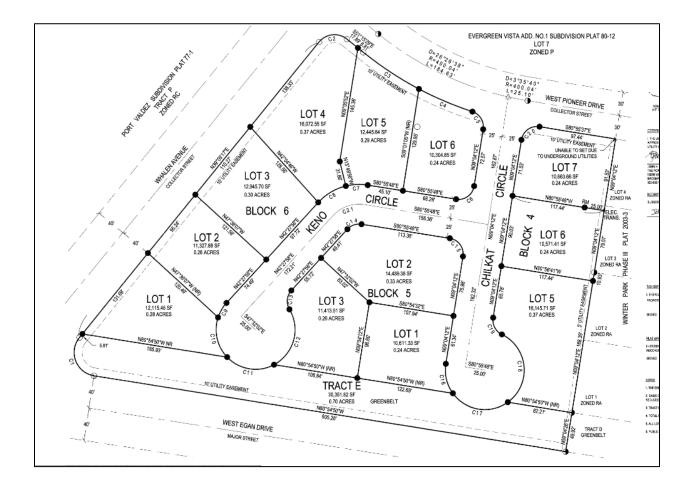




Record ID Property Type Location Nearest Community Legal Description Township/Range USGS Quadrangle Lat./Long. (approx.)	<b>3211</b> Residential NEC W. Egan Drive & Whalen Ave. Valdez, AK L5-7, B4; L1-3, B5; L1-6, B6, Winter Park Phase IV Subd. Plat 2016-8 Section 31, T8S, R6W, Copper River Meridian Valdez A-7 N61.75327°, W146.223981° (near the approximate center, Google Earth)
Sale Data Grantor Grantee Status Sale Date Instrument Document Number Property Rights Conditions of Sale Sale Price Verification	The Port Valdez Company, Inc Valdez Housing, LLC Sold December 30, 2016 recording date Warranty Deed 2016-000738 Valdez Recording District Fee simple or equivalent No undue stimulus reported \$375,000 John Clark; 502-693-1506, November 09, 2017; Confirmed by Zack Rall
<u>Neighborhood</u> Land Data	Valdez- 305 road miles east of Anchorage and 364 road miles south of Fairbanks. It is the southern terminus of the Trans-Alaska oil pipeline. Land ownership is private, public and Native corporation
Access	Good, W. Egan Dr, Whalen Ave., W. Pioneer (paved)
Topography & Soils Utilities Shape Restrictions Other	Level, near street grade. Soils appear adequate. E & T, W/S stubbed to site; prelim plat for 16 lots Irregular Zoned residential N/A
Land Size Information Gross Land Size Adjustments (if any) Net Area	5.170 Acres or 225,205 SF <u>None</u> 5.170 Acres or 225,205 SF
<u>Indicators</u> Sale Price/Acre Sale Price/Gross SF	\$72,534 \$1.67

## <u>Remarks</u>





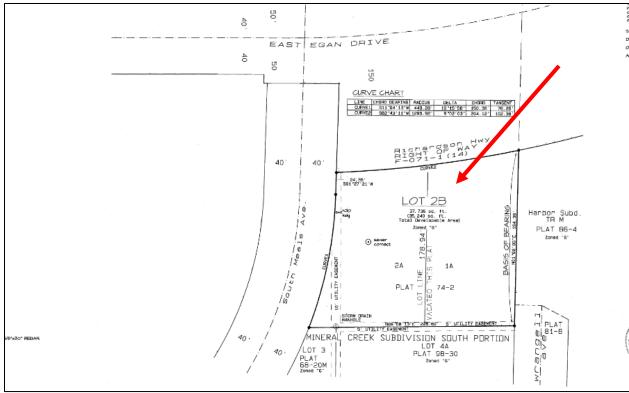
Property Identification Record ID Property Type Address Location Tax ID Legal Description	<b>3987</b> Commercial 118 S Meals Avenue, Valdez, Alaska SEC of Meals Avenue & Egan Drive 70400320030 Lot 2B, Mineral Creek Subdivision
Sale Data Grantor Grantee Sale Date Recorded Plat Property Rights Marketing Time Conditions of Sale Verification	Valdez Liquor, LLC TCC, LLC March 01, 2017 2007-16 FS or equivalent N/A No atypical sales conditions reported Other sources: MacSwain Associates, LLC, Confirmed by Zack Rall
Sale Price Cash Equivalent	\$140,000 \$140,000
<u>Land Data</u> Zoning Topography Utilities Shape Neighborhood Access Soils	GC Cleared, level and at road grades All available Slightly irregular corner lot with adequate frontage to depth Valdez CBD Adequate + Appear adequate
Land Size Information Gross Land Size	0.809 Acres or 35,240 SF
<u>Indicators</u> Sale Price/Gross Acre Sale Price/Gross SF	\$173,053 \$3.97

#### <u>Remarks</u>

Sale details were provided from MacSwain Associates, LLC:

The property is located on the southeast corner of Meals Avenue and Egan Drive, is level, and is primarily cleared and graded. Zoned G - General Commercial, the total land area is 37,736 SF, however Plat 2007-16 indicates the developable area is 35,240 SF due to easements. Public utilities are available, and the property has exposure to the Richardson Highway. The property currently remains undeveloped, and a knowledgeable party indicated the intended use is for the eventual construction of a liquor store. The property first sold in 2007 for \$170,000, or \$4.82/SF. After a decade of no development, the property sold again in 2017 for \$140,000, or \$3.97/SF. The decrease in sale price is not due to market conditions, but rather to a premium likely paid in 2007.

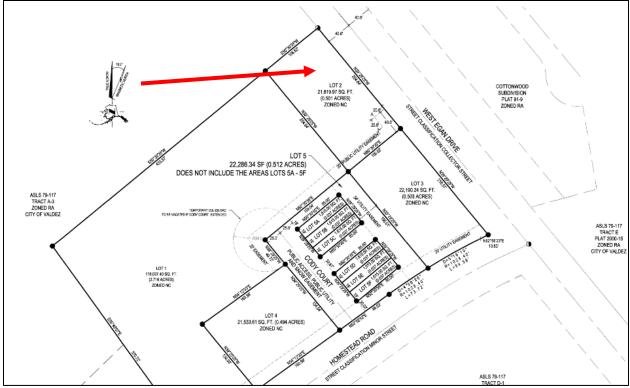




**Property Identification Record ID** 3988 **Property Type** Residential Address 1500 W Egan Drive, Valdez, Alaska Location Mineral Creek Residential fronting W. Egan Drive Tax ID 00791170020 Legal Description Lot 2, Eisley Grove Subdivision Sale Data Grantor Cody Galipeau Grantee Michael & Julie Wells June 28, 2017 Sale Date **Deed Book/Page** 2017-000305 **Recorded Plat** 2015-10 **Property Rights** FS or equivalent Marketing Time N/A Conditions of Sale No atypical conditions reported Verification Other sources: BSBC File 17-090, Confirmed by Jeff Carlson Sale Price \$54,000 **Cash Equivalent** \$54,000 Land Data Zoning NC Topography Mostly cleared and level at/near road grade Utilities All Available Shape Rectangular with adequate frontage to depth Neighborhood Residential, some new homes Access Adequate (paved) Soils Appear adequate Land Size Information **Gross Land Size** 0.501 Acres or 21,820 SF Indicators Sale Price/Gross Acre \$107,802 Sale Price/Gross SF \$2.47

Remarks BSBC File No. 17-090



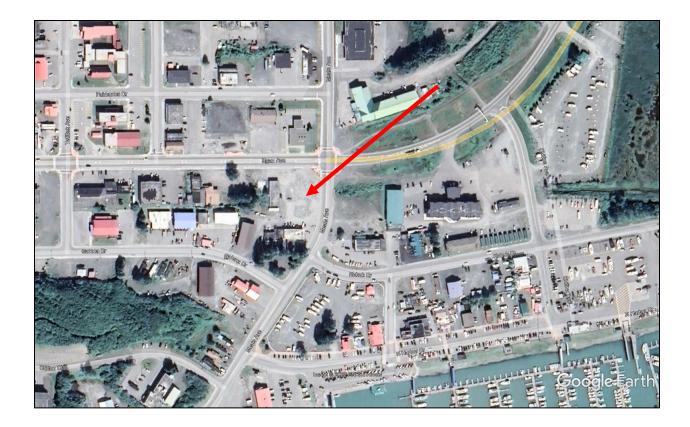


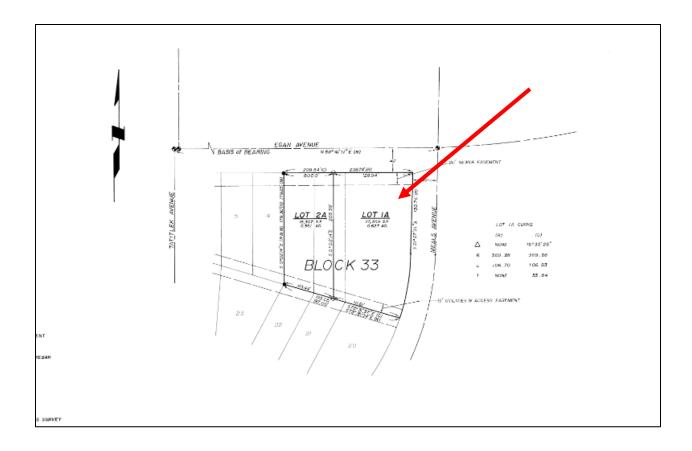
Property Identification Record ID Property Type Address Location Tax ID Legal Description	<b>3989</b> Commercial 109 Meals Avenue, Valdez, Alaska SWC of Meals Ave & W Egan 70400330010 Mineral Creek L1A B33
Sale Data Grantor Grantee Sale Date Deed Book/Page Recorded Plat Property Rights Marketing Time Conditions of Sale Financing Sale History Verification	Tesoro Alaska Company, LLC TCC, LLC July 24, 2019 Pending date 2019-000549 93-10 FS or equivalent 98 No atypical conditions reported Cash Listed for \$273,050 on April 17, 2019 Elisha Martin (Colliers International); 907-223-3332, April 21, 2022; Other sources: MLS #19-5643, Confirmed by Zack Rall
Sale Price Cash Equivalent	\$273,050 \$273,050
<u>Land Data</u> Zoning Topography Utilities Shape Neighborhood Access Soils	GC Cleared, level and at road grade All on-site Slightly irregular corner lot with good frontage Valdez CBD Adequate+ (paved) Adequate
Land Size Information Gross Land Size	0.627 Acres or 27,305 SF
Indicators Sale Price/Gross Acre Sale Price/Gross SF	\$435,600 \$10.00

## <u>Remarks</u>

The MLS Listing Remarked: "Commercial corner lot at Egan St. and Meals Ave. Utilities onsite, ready for development."

Agent Elisha Martin believed the buyer was planning on improving the site with a multi-level retail/office building that would potentially have apartments for rent. Ms. Martin also mentioned contaminates on-site from a previous use, however the site was environmentally cleaned prior to this sale.





#### This appraisal report has been made with the following general assumptions:

1. No responsibility is assumed for the legal description provided or for matters pertaining to legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise stated.

2. The property is appraised free and clear of any or all liens or encumbrances unless otherwise stated.

3. Responsible ownership and competent property management are assumed.

4. The information furnished by others is believed to be reliable, but no warranty is given for its accuracy.

5. All engineering studies (if any) are assumed to be correct. The plot plans and illustrative material in this report are included only to help the reader visualize the property.

6. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures that render it more or less valuable. No responsibility is assumed for such conditions or for obtaining the engineering studies that may be required to discover them.

7. It is assumed that the property is in full compliance with all applicable federal, state, and local environmental regulations and laws unless the lack of compliance is stated, described, and considered in the appraisal report.

8. It is assumed that the property conforms to all applicable zoning and use regulations and restrictions unless a nonconformity has been identified, described, and considered in the appraisal report.

9. It is assumed that all required licenses, certificates of occupancy, consents, and other legislative or administrative authority from any local, state, or national government or private entity or organization have been or can be obtained or renewed for any use on which the opinion of value contained in this report is based.

10. It is assumed that the use of the land and improvements is confined within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.

11. Unless otherwise stated in this report, the existence of hazardous materials, which may or may not be present on the property, was not observed by the appraiser. The appraiser has no knowledge of the existence of such materials on or in the property. The appraiser, however, is not qualified to detect such substances. The presence of substances such as asbestos, urea-formaldehyde foam insulation and other potentially hazardous materials may affect the value of the property. The value estimated is predicated on the assumption that there is no such material on or in the property that would cause a loss in value. No responsibility is assumed for such conditions or for any expertise or engineering knowledge required to discover them. The intended user is urged to retain an expert in this field, if desired.

## This appraisal report has been made with the following general limiting conditions:

1. Any allocation of the total value estimated in this report between the land and the improvements applies only under the stated program of utilization. The separate values allocated to the land and buildings must not be used in conjunction with any other appraisal and are invalid if so used.

2. Possession of this report, or a copy thereof, does not carry with it the right of publication.

3. The appraiser, by reason of this appraisal, is not required to give further consultation or testimony or to be in attendance in court with reference to the property in question unless arrangements have been previously made.

4. Neither all nor any part of the contents of this report (especially any conclusions as to value, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the public through advertising, public relations, news, sales, or other media without the prior written consent and approval of the appraiser.

## Additional Assumptions and Limiting Conditions:

1. Any opinions of value provided in the report apply to the entire property, and any proration or division of the total into fractional interests will invalidate the opinion of value, unless such proration or division of interests has been set forth in the report.

2. The Americans with Disabilities Act (ADA) became effective January 26, 1992. The appraiser has not made a specific compliance surveyor analysis of the property to determine whether or not it is in conformity with the various detailed requirements of ADA. It is possible that a compliance survey of the property and a detailed analysis of the requirements of the ADA would reveal that the property is not in compliance with one or more of the requirements of the act. If so, this fact could have a negative impact upon the value of the property. Since the appraiser has no direct evidence relating to this issue, possible noncompliance with the requirements of ADA was not considered in estimating the value of the property.

## Brian Z. Bethard, MAI

#### State Certification No. 281

#### **General Education**

Service High School, Anchorage, Alaska - Graduate 1989 The Colorado College, Colorado Springs, CO - Bachelor of Arts, Economics 1993 University of Alaska, Anchorage, Anchorage, AK - MBA 1996

#### **Employment History**

Black-Smith, Bethard & Carlson, LLC -	Managing Member – 2005 +
Black-Smith and Richards, Inc	Fee Appraiser -1995 to 2005
Randall, Hayes, and Henderson, Inc	Fee Appraiser -1993 to 1995

#### Appraisal Courses/Seminars Taken

Residential Case Study - University of Alaska Anchorage - 1994 Uniform Residential Appraisal Report - Appraisal Institute - 1993 Standards of Professional Practice, Part A & B - Appraisal Institute - 1996 Advanced Sales Comparison & Cost Approaches - Appraisal Institute - 1997 Appraisal Principles & Procedures - Appraisal Institute - 1998 Highest and Best Use Market Analysis - Appraisal Institute - 1998 Advanced Applications and Market Analysis - Appraisal Institute - 1998 Report Writing and Valuation Analysis - Appraisal Institute, 1998 Advanced Income Capitalization, Course 510 - Appraisal Institute - 2000 Intro to Statistics & Supporting Adjustments - Appraisal Institute - 2002 Market Studies for Affordable Housing - NH&RA - 2002 Standards of Professional Practice - Appraisal Institute - 2002/03/04/05/07/09/11/13/15 Subdivision Analysis - Appraisal Institute - 2004/15 Rates & Ratios – Appraisal Institute – 2005 Principles of Real Estate Law – IRWA – 2005 Skills of Expert Testimony - IRWA - 2006 Analyzing Distressed Real Estate – AI – 2006 Condemnation Appraising – AI – 2007 Appraisal Challenges in Declining Markets – AI, 2009 Forecasting Revenue - AI, 2009 USPAP Update - AI, 2011 Yellow Book – AI, 2011 Appraisal Curriculum, General - AI, 2011 Real Estate Financing, Statistics & Value Modeling – AI, 2013 Appraisal of Limited Service Hotels - AI, 2015

## Certifications

Alaska State Certification: General Real Estate Appraiser #281

#### Affiliations

Member Appraisal Institute (Member No. 11857) President: Alaska Chapter Appraisal Institute – 2005 & 2006 Vice Pres: Alaska Chapter Appraisal Institute - 2004

## **Typical Clients**

Cook Inlet Housing Authority Northrim Bank Alaska Housing Finance Corp. HDR Engineering The Municipality of Anchorage The City of Valdez Alaska Industrial Development & Export Authority Wells Fargo Bank Key Bank State of Alaska Department of Natural Resources First National Bank Alaska Alaska First Bank Denali Alaska Credit Union Department of Justice

## Appraisal Assignments

Various Multifamily, Land and Special Purpose Attwood Building Rent Study, Anch., AK Kenai Senior Housing Market Study, Kenai, AK Highlands Luxury Apartments, Anch., AK The Veco Building, Anch., AK City of Valdez Assessment, Valdez, AK Charter North Hospital, Anch., AK McKay Building, Anch., AK Alaska DOT Building, Juneau, AK Alyeska Pipeline Appraisal, Prudhoe - Valdez 15th Avenue Extension ROW Project, Anch., AK Saint Paul Health Clinic, St. Paul, AK Residential Mortgage Building, Anch., AK

License #: APRG281 Effective: 6/28/2021 Expires: 06/30/2023

## State of Alaska

Department of Commerce, Community, and Economic Development Division of Corporations, Business, and Professional Licensing

#### **Board of Certified Real Estate Appraisers**

#### Licensee: BRIAN ZANE BETHARD

License Type: Certified General Real Estate Appraiser

Status: Active

Commissioner: Julie Anderson

#### Zack P. Rall Appraiser

#### **General Education**

University of Alaska Anchorage, Business Administration, Business Management, Graduate 2017

University of Alaska Anchorage Real Estate Specific Courses:

- Leasing in Property Management
- Real Estate Principles
- Maintenance in Property Management
- Real Estate Investment Finance
- Real Estate Operations Management
- Real Estate Appraisal
- Real Estate Law

South Anchorage High School, Anchorage, Alaska - Graduate 2010

#### **Business Experience**

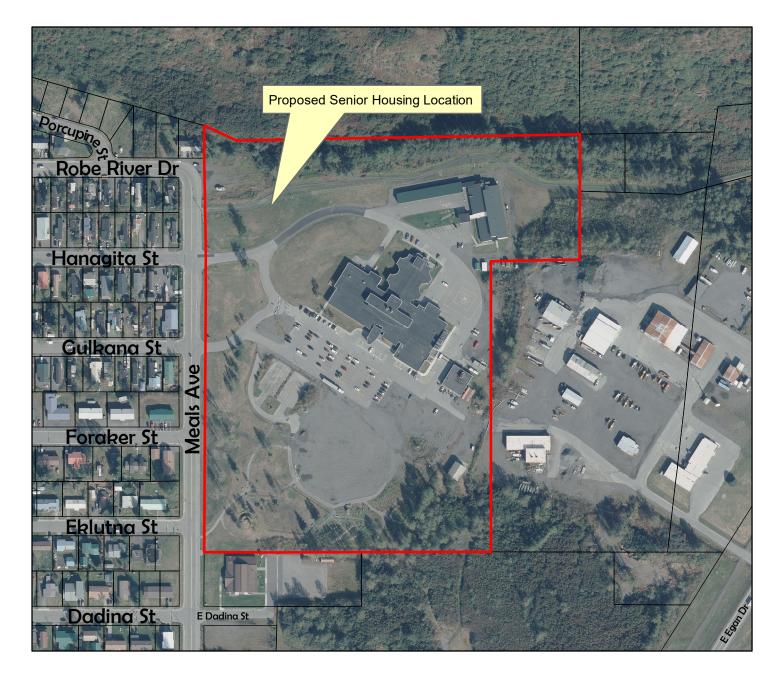
Black-Smith, Bethard and Carlson, LLC, Appraiser, 2013 +

#### **Appraisal Courses Taken**

15-Hour National USPAP Course, April 2022 Real Estate Finance Statistics and Valuation Modeling, April 2022 General Appraiser Report Writing and Case Studies, January 2022 General Appraiser Market Analysis and Highest & Best Use, July 2021 General Appraiser Sales Comparison Approach, April 2021 General Appraiser Site Valuation and Cost Approach, February 2021 General Appraiser Income Approach/Part 2, October 2020 General Appraiser Income Approach/Part 1, June 2020 Basic Appraisal Procedures, September 2015 Basic Appraisal Principles, September 2014

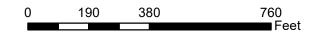
#### APPRAISAL EXPERIENCE

Typical assignments include the appraisals of commercial retail and office properties, industrial properties, medical and professional buildings, apartment buildings, remote properties, vacant land, and subdivisions.





# Medical Park (Plat 2006-2) Proposed Senior Housing Location



Information displayed is for informational purposes only. The City of Valdez makes no warranties, expressed or implied as to the veracity or accuracy of the information herein.



Date: 4/27/2022 Author: City of Valdez Planning



Legislation Text

## File #: RES 22-0030, Version: 1

## ITEM TITLE:

#22-30 - Amending the 2022 City Budget by Transferring \$800,000 from Unassigned General Fund Balance to the Local Utility Inflation Assistance Program, and Authorizing Expenditure Therefrom

SUBMITTED BY: Mark Detter, City Manager

## FISCAL NOTES:

Expenditure Required: \$800,000 Unencumbered Balance: \$5,632 Funding Source: 350-0450-55000; Energy Assistance Program

## **RECOMMENDATION:**

Approve

## SUMMARY STATEMENT:

- Attachment A shows rate increases from available data ranging from 10%-69%
- Data shows gasoline prices increase 44% in last year.
- Expenditure projects an additional \$550 Energy Assistance payment to estimated applicant pool
- Expenditure reflects net new appropriation to the 2022 Budget from accumulated savings
- Waiver of set-off provision is not included in this resolution. If directed by Council to waive the set-off provision, administration will need to submit a separate resolution at the next regular meeting on May 17th.
- Staff projects the following timeline:
  - Application Period: June 1-30
  - Payment by July 31st

## CITY OF VALDEZ, ALASKA

## RESOLUTION #22-30

## A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AMENDING THE 2022 CITY BUDGET BY TRANSFERRING \$800,000 FROM UNASSIGNED GENERAL FUND BALANCE TO THE LOCAL UTILITY INFLATION ASSISTANCE PROGRAM, AND AUTHORIZING EXPENDITURE THEREFROM

WHEREAS, Council recognizes the negative economic impact of the current inflationary environment to local residents and businesses, and seeks to provide assistance; and

WHEREAS, Council has directed staff to proceed with a supplemental energy assistance program; and

WHEREAS, certain revisions to adopted budgets must be approved by Council via resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that the 2022 City Budget is revised as follows:

- Section 1: Energy Assistance Program, 350-0450-55000, is increased by \$800,000.
- Section 2: Transfer from General Fund, 350-0050-39100, is increased by \$800,000.
- Section 3: Transfer to Reserve Fund, 001-0050-49140, is increased by \$800,000.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, this 4th day of May, 2022.

City of Valdez, Alaska

ATTEST:

Sharon Scheidt, Mayor

Sheri L. Pierce, MMC, City Clerk

https://cvea.org/member-services/billing-information/historic-fuel-cost-of-power.html

				0		. ,						Y/Y %
Month	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	Increase
Jan	0.25	0.27	0.21	0.22	0.17	0.22	0.21	0.21	0.22	0.24	0.34	44%
Feb	0.25	0.23	0.24	0.20	0.16	0.24	0.20	0.23	0.23	0.24	0.31	29%
Mar	0.25	0.22	0.23	0.18	0.16	0.22	0.22	0.21	0.21	0.25	0.32	25%
Apr	0.25	0.28	0.24	0.15	0.16	0.22	0.26	0.20	0.18	0.27	0.34	27%
May	0.24	0.25	0.16	0.14	0.14	0.18	0.23	0.14	0.12	0.12		
Jun	0.11	0.12	0.12	0.12	0.09	0.12	0.12	0.12	0.12	0.12		
Jul	0.12	0.11	0.12	0.11	0.10	0.12	0.12	0.12	0.12	0.12		
Aug	0.13	0.11	0.13	0.13	0.10	0.12	0.12	0.12	0.12	0.12		
Sep	0.21	0.12	0.14	0.10	0.13	0.12	0.12	0.12	0.12	0.12		
Oct	0.20	0.13	0.16	0.10	0.13	0.12	0.12	0.12	0.12	0.19		
Nov	0.20	0.21	0.21	0.16	0.19	0.16	0.15	0.12	0.18	0.22		
Dec	0.23	0.21	0.20	0.17	0.20	0.23	0.19	0.19	0.22	0.28		

## Source: Historic City Invoices

## Propane

Increase	10%
Mar-22	3.29
Mar-21	3.00

## #1 Diesel

69%
3.81
2.26

## **#1 Heating Fuel**

Increase	65%
Mar-22	3.41
Mar-21	2.07

**GAS PRICES** 

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CONTACT AAA



NEWS: Pump Prices Edge Higher on Oil Market Volatility Read more »

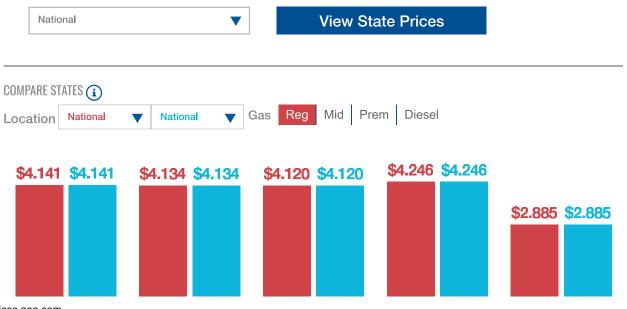
# NATIONAL AVERAGE GAS PRICES ⁽ⁱ⁾

	Regular	Mid-Grade	Premium	Diesel	E85
Current Avg.	\$4.141	\$4.527	\$4.811	\$5.123	\$3.598
Yesterday Avg.	\$4.134	\$4.522	\$4.805	\$5.093	\$3.589
Week Ago Avg.	\$4.120	\$4.510	\$4.792	\$5.065	\$3.573
Month Ago Avg.	\$4.246	\$4.637	\$4.917	\$5.123	\$3.691
Year Ago Avg.	\$2.885	\$3.220	\$3.491	\$3.078	\$2.446

## HIGHEST RECORDED AVERAGE PRICE

	Price	Date
Regular Unleaded	\$4.331	3/11/22
Diesel	\$5.135	3/12/22

## STATE GAS PRICES (i)





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Legislation Text

## File #: RES 22-0031, Version: 1

## ITEM TITLE:

#22-31 - Establishing the 2022 Rate of Real Property Tax and Designating the Number of Mills for each Dollar of Real Property to be Levied for Municipal and School Purposes

**SUBMITTED BY:** Jordan Nelson, Finance Director

## FISCAL NOTES:

Expenditure Required: n/a Unencumbered Balance: n/a Funding Source: n/a

## RECOMMENDATION:

Approve

## SUMMARY STATEMENT:

- This resolution reflects the maximum levy of twenty (20) mills, pursuant to prior Council discussions during the 2022 budget hearings.
- 2022 Assessed values are as follows:

0	Oil and Gas property:	\$2,287,465,230
0	Other real property:	<u>\$299,758,766</u>
0	Total:	\$2,587,223,996

- 2022 Property Tax Revenue, based on 20 mills: \$51,744,480
  - 2022 Adopted Budget Revenue: \$44,800,000
  - 2022 Revised Budget Revenue: \$52,896,277
  - Maximum allowed Revenue: \$48,708,683
- 2022 Property Tax Revenue "over cap" to be applied to bonded indebtedness:

# File #: RES 22-0031, Version: 1

0	2022 "over cap" revenue:	\$3,035,797
0	2022 Scheduled Debt Service:	\$4,347,657

- There are 168 properties with disputed assessments, as scheduled to be heard by Council during ongoing Board of Equalization (BOE) hearings. These properties will be reflected in a supplemental roll once the valuation disputes are resolved following the conclusion of BOE hearings.
- Staff will apprise Council of any procedural formalities arising from a future revision to the assessment roll.

## CITY OF VALDEZ, ALASKA

## RESOLUTION # 22-31

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, ESTABLISHING THE 2022 RATE OF REAL PROPERTY TAX AND DESIGNATING THE NUMBER OF MILLS FOR EACH DOLLAR OF REAL PROPERTY TO BE LEVIED FOR MUNICIPAL AND SCHOOL PURPOSES

WHEREAS, the City Board of Equalization was scheduled to meet on April 21, 2022 to decide outstanding real property tax appeals, and which established the City's assessment roll for real property, net of exemptions, at \$299,758,766; and

WHEREAS, on February 25th, 2022, the State Petroleum Property Assessor established the Valdez-portion of the TAPS valuation at \$2,287,465,230 for a total assessment roll of \$2,587,223,996; and

WHEREAS, the establishment of the rate of tax levied on all assessed property is required upon completion and fixing of the assessment roll; and

WHEREAS, the tax rate for school and municipal purposes shall be separately made and fixed.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that all real property and personal property not expressly exempt shall be subject to the following tax levy:

	MUNICIPAL	SCHOOL	TOTAL
Real Property	15.80	4.20	20.00

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, this 4th day of May, 2022.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce, MMC, City Clerk

Fax (907) 563-1368 Telephone (907) 562-2424

Appraisal Company of Alaska LLC

341 TUDOR RD, SUITE 202 ANGHORAGE, ALASKA 99503 menfro@appraisalalaska.com

April 26, 2022

City of Valdez P.O. Box 307 Valdez, Alaska 99686

Locally Assessed:

Attention: Mr. Jordan Nelson Finance Director

#### **CERTIFICATION**

#### 2022 Real Property Tax Roll

I, Michael C. Renfro, Contract Assessor for the City of Valdez, do hereby certify the following assessed values for Tax Year 2022:

Land	\$97,434,476.00
Improvements	\$511,861,591.00
TOTAL	\$609,296,067.00
LESS Exemption	-\$309,537,301.00
TOTAL LOCALLY ASSESSED FOR 2022:	<u>\$299,758,766.00</u>
State Assessed:	
Total State Assessed 43.56 Properties	\$2,287,465,230.00
TOTAL ASSESSMENT ROLL FOR 2022:	\$2,587,223,996.00

Does not include supplemental roll.

Sincerely,

APPRAISAL COMPANY OF ALASKA

Michael C. Renfro Contract Assessor, City of Valdez

# **Department of Revenue**





TAX DIVISION

Robert B. Atwood Building 550 West Seventh Avenue, Suite 500 Anchorage, Alaska 99501-3555 Main: 907.269.6620 Fax: 907.269.6644

www.tax.alaska.gov

Letter ID: L2045145088

February 25, 2022

CITY OF VALDEZ ATTN: BRIAN CARLSON, FINANCE DIRECTOR PO BOX 307 VALDEZ, AK 99686-0307

Dear Mayor Sharon Scheidt:

I have sent to your finance director a copy of the 2022 AS 43.56 Preliminary Assessment Roll for oil and gas property located within the City of Valdez.

The total assessed value is: \$2,300,763,430

Pursuant to AS 43.56.110, a municipality or owner of taxable property receiving a preliminary assessment notice may object to an assessment by filing with the Tax Division a written appeal in accordance with 15 AAC 56.020. Pursuant to 15 AAC 56.069(c), an appeal of preliminary assessed value must be received and date-stamped by the Tax Division no later than twenty (20) calendar days from the date on the preliminary assessment notice. Appeals received after the 20th calendar day will not be accepted even if postmarked before the 20th day.

Pursuant to 15 AAC 56.020, following an appeal the Department may adjust the assessment and the assessment roll. An adjustment shall be made within thirty (30) days from the date on the notice of preliminary assessment.

Pursuant to AS 43.56.120, after a ruling by the Department on an appeal made under AS 43.56.110, a municipality or owner of taxable property may further appeal to the State Assessment Review Board (SARB) in accordance with 15 AAC 56.030. As provided by 15 AAC 56.069(c), an appeal to the SARB must be received and date-stamped by the Tax Division no later than fifty (50) calendar days from the date on the notice of preliminary assessment. Appeals received after the 50th calendar day will not be accepted even if postmarked before the 50th day.

Pursuant to AS 43.56.130, hearings before the SARB are held in accordance with 15 AAC 56.030 and 15 AAC 56.040 and will convene approximately eighty (80) days after the date on the notice of preliminary assessment.

Pursuant to AS 43.56.135, the assessed values will be certified by June 1, 2022.

Appeals must be filed with the Tax Division's Anchorage office at the above address, ATTN: State Petroleum Property Assessor.

Sincerely,

James H. Greeley, Jr. State Petroleum Property Assessor

Cc: Brian Carlson, Finance Director

Enclosed: 2022 Preliminary Assessment Roll - City of Valdez

# State of Alaska 2022 Preliminary Assessment Roll City of Valdez - 006

Name and Address of Owner	Property ID	Description of Property	Assessed Value
ALASKA VENTURES LLC 16201 E MAIN ST CUT OFF, LA 70345 ATTN: LUKE NEWMAN FEIN: 81-1650735 PTA-10056868-003			
	006-003-6005	VESSELS	\$323,247,210
ALYESKA PIPELINE SERVICE COMPANY PO BOX 196660 # MS 504 ANCHORAGE, AK 99519 ATTN: CASSANDRA OLNER FEIN: 92-0039154 PTA-10019488-012			
FTA-10019488-012	006-003-0020	TERMINAL (EXCLUDING TANKAGE)	\$1,635,069,760
	006-003-0023	MATERIALS AND SUPPLIES	\$12,356,200
	006-003-0027	TERMINAL TANKAGE AND RELATED PROPERTY	\$145,440,070
	006-003-0028	MATERIALS AND SUPPLIES	\$1,273,140
	006-003-0069 006-003-6009	PIPELINE PROPERTY (21.4 MILES) VESSELS & EQUIPMENT	\$108,260,830 \$66,541,260
ASRC ENERGY SERVICES EQUIPMENT LLC 3900 C ST STE 701 ANCHORAGE, AK 99503 ATTN: MEGAN METCALF FEIN: 81-4455456 PTA-10048673-003	006-003-0056	OILFIELD SERVICE EQUIPMENT	\$690,730
CCI INDUSTRIAL SERVICE, LLC 5020 FAIRBANKS ST ANCHORAGE, AK 99503 ATTN: OKSANA SERAFYN FEIN: 27-2328428 PTA-10016239-003			
	006-003-6007	OILFIELD SERVICE EQUIPMENT	\$1,497,260

401

# State of Alaska 2022 Preliminary Assessment Roll City of Valdez - 006

CHAMPIONX CORPORATION 11177 S. STADIUM DR. SUGAR LAND, TX 77478 ATTN: KATE YAO FEIN: 82-3066826 PTA-10127829-008	006-003-6014	OILFIELD SERVICE EQUIPMENT	\$800
PRICE GREGORY INTERNATIONAL, INC. 24275 KATY FWY STE 500 KATY, TX 77494 ATTN: DETRONIA CHATMON FEIN: 73-1103884 PTA-10033150-008			
	006-003-6008	OILFIELD SERVICE EQUIPMENT	\$10,560
PRINCE WILLIAM SOUND OIL SPILL RESP PO BOX 196660 # MS 504 ANCHORAGE, AK 99519 ATTN: CASSANDRA OLNER FEIN: 92-0136242 PTA-10015203-008			
	006-003-0043	CHENEGA STAR	\$366,950
	006-003-0044	TATITLEK STAR	\$366,950
	006-003-0045	FORT LISCUM	\$1,810,360
	006-003-0048	BARGE ALLISON CREEK	\$144,000
	006-003-0049	VALDEZ STAR	\$1,675,980
	006-003-0050	MINI BARGES - 10	\$223,330
	006-003-0066	BARGE MINERAL CREEK	\$893,110
	006-003-6012 006-003-6013	BARGE SAWMILL CREEK MINI BARGES - 38	\$46,260 \$848,670

Total:

\$2,300,763,430

# **Department of Revenue**





TAX DIVISION

Robert B. Atwood Building 550 West Seventh Avenue, Suite 500 Anchorage, Alaska 99501-3555 Main: 907.269.6620 Fax: 907.269.6644

www.tax.alaska.gov

Letter ID: L0232566784

March 17, 2022

CITY OF VALDEZ ATTN: JORDAN NELSON, INTERIM FINANCE DIRECTOR PO BOX 307 VALDEZ, AK 99686-0307

Dear Mayor Sharon Scheidt:

An appeal or appeals have been made on the 2022 preliminary assessed of value of oil and gas property located in the City of Valdez by the following company or companies.

ALASKA VENTURES LLC

ALYESKA PIPELINE SERVICE COMPANY

PRINCE WILLIAM SOUND OIL SPILL RESP

Property ID: 006-003-6005 Property ID: 006-003-6009 Property ID: 006-003-0043 006-003-0044 006-003-0048 006-003-0048 006-003-0049 006-003-0050 006-003-0066 006-003-6012 006-003-6013

The preliminary assessed value is subject to change under the provisions of AS 43.56.110 (appeal to the Department) and AS 43.56.120 (appeal to the State Assessment Review Board).

Sincerely,

mm A. Huly .

James H. Greeley, Jr. State Petroleum Property Assessor

CC: Jordan Nelson, Finance Director



March 29, 2022

#### State of Alaska 2022 ICD Adjustments City of Valdez - 006

Page	1

Name and Address of Owner	Property ID	Preliminary Value	Adjusted Value	Difference
ALASKA VENTURES LLC 16201 E MAIN ST CUT OFF, LA 70345 ATTN: LUKE NEWMAN FEIN: 81-1650735				
PTA-10056868-003	006-003-6005	\$323,247,210	\$323,247,210	\$0
ALYESKA PIPELINE SERVICE COMPANY PO BOX 196660 # MS 504 ANCHORAGE, AK 99519 ATTN: CASSANDRA OLNER FEIN: 92-0039154 PTA-10019488-012	006-003-6009	\$66 541 260	\$53.242.060	(\$13.208.200)
	006-003-6009	\$66,541,260	\$53,243,060	(\$13,298,200)
ASRC ENERGY SERVICES EQUIPMENT LLC 3900 C ST STE 701 ANCHORAGE, AK 99503 ATTN: MEGAN METCALF FEIN: 81-4455456 DTA 4024022 2022				
PTA-10048673-003	006-003-0056	\$690,730	\$690,730	\$0
CCI INDUSTRIAL SERVICE, LLC 5020 FAIRBANKS ST ANCHORAGE, AK 99503 ATTN: OKSANA SERAFYN FEIN: 27-2328428 PTA-10016239-003				
	006-003-6007	\$1,497,260	\$1,497,260	\$0

March 29, 2022

#### State of Alaska 2022 ICD Adjustments City of Valdez - 006

Page	2
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Name and Address of Owner	Property ID	Preliminary Value	Adjusted Value	Difference
CHAMPIONX CORPORATION 11177 S. STADIUM DR. SUGAR LAND, TX 77478 ATTN: KATE YAO FEIN: 82-3066826 PTA-10127829-008	006-003-6014	\$800	\$800	\$0
PRICE GREGORY INTERNATIONAL, IN 24275 KATY FWY STE 500 KATY, TX 77494 ATTN: DETRONIA CHATMON	с.			
FEIN: 73-1103884 PTA-10033150-008				
	006-003-6008	\$10,560	\$10,560	\$0
PRINCE WILLIAM SOUND OIL SPILL RI PO BOX 196660 # MS 504 ANCHORAGE, AK 99519 ATTN: CASSANDRA OLNER FEIN: 92-0136242 PTA-10015203-008	ESP			
TA-10013203-000	006-003-0043	\$366,950	\$366,950	\$C
	006-003-0044	\$366,950	\$366,950	\$C
	006-003-0045	\$1,810,360	\$1,810,360	\$C
	006-003-0048	\$144,000	\$144,000	\$C
	006-003-0049	\$1,675,980	\$1,675,980	\$C
	006-003-0050	\$223,330	\$223,330	\$C
	006-003-0066	\$893,110	\$893,110	\$C
	006-003-6012	\$46,260	\$46,260	\$0
	000-003-0012	ψ <del>+</del> 0,200	φ10,200	φυ



Legislation Text

#### File #: RES 22-0032, Version: 1

## ITEM TITLE:

#22-32 - Establishing Non Profit/Government Rates and Fees For Recreation Facility Rentals

SUBMITTED BY: Nicholas Farline, PRCS Director

## FISCAL NOTES:

Expenditure Required: N/A Unencumbered Balance: N/A Funding Source: N/A

## **RECOMMENDATION:**

Approve Resolution #22-32 authorizing non/profit/government rates and fees for recreation facility rentals.

#### SUMMARY STATEMENT:

Recreation Manager Jared Lustig presented a Non-Profit/Government rate for recreation facility rentals to the Recreation Commission on 3/3/2022. The rate structure was unanimously supported by the Parks and Recreation Commission due to the identified need by multiple organizations within the community for the new rate.

Currently the city does not offer Non-profit/Government facility rental rates in the established 2019 adopted Parks and Recreation Fee schedule.

The recommendation by Recreation Staff and the Parks and Recreation Commission is to create a separate Non-Profit/Government Rental rate for recreation facilities.

- Attachment 1 Non-Profit/Government Rental Rate
- Attachment 2- Parks & Recreation Fee Schedule

#### CITY OF VALDEZ, ALASKA

#### RESOLUTION #22-32

## A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA ESTABLISHING NON-PROFIT/GOVERNMENT RATES AND FEES FOR PARKS AND RECREATION FACILITIES

WHEREAS, it is necessary to establish policies, rates and fees for non-profit/government rentals; and

WHEREAS, the Valdez Parks and Recreation Department developed a rate to support and encourage non-profit/government organizations to utilize the City of Valdez recreation facilities; and

WHEREAS, it is necessary to introduce these fees for rental of both the Ike "Woody" Woodman Recreation Center, Valdez Swimming Pool and the Climbing Wall.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, that:

The City of Valdez hereby establishes the policy, rental rates and fees for Non-Profit/Government organizations as listed in "Attachment A".

PASSED AND APPROVED BY THE VALDEZ CITY COUNCIL this 4th day of May, 2022.

CITY OF VALDEZ, ALASKA

Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce, MMC, City Clerk

# Valdez Parks & Recreation Non-Profit/Government Rental Rate

Valdez Parks & Recreation seeks to establish a non-profit/government rental rate to support and encourage these organizations to utilize City of Valdez recreation facilities. The non-profit/government rental rate would be more similar to the general public rental rate and provide non-profit/government organizations with a discounted rate from the established commercial rental rates.

The non-profit/tax-exempt rental rate would be in effect for the following recreation facilities and at the established rates listed:

#### Non-Profit/Government Rental Rates:

I.	Ike "Woody" Woodman Recreation Center a. Room, each b. Patio	\$20/hour \$10/hour
II.	Swimming Pool a. Pool, each b. Swim Lane, first lane c. Swim Lane, additional	\$30/hour \$10/hour \$4/hour
III.	Climbing Wall a. Climbing Wall	\$30/hour

#### **Categories:**

- Non-Profit: This term refers to an organization that is registered with the Internal Revenue Service with 501(c) status. Organizations operate for educational, charitable, social, cultural, religious, civic, or humanitarian purposes. Organizers do not intend to realize any personal gain or profit. To receive non-profit rates, an organization must provide proof of its 501(c) status.
- **Government:** This term refers to all local, state and federal agencies. To receive government rates, an organization must have the authority to tax or be 100% funded by the government.



Legislation Text

File #: 22-0212, Version: 1

ITEM TITLE: Treasury Report: February, 2022 SUBMITTED BY: Jordan Nelson, Finance Director

# FISCAL NOTES:

Expenditure Required: n/a Unencumbered Balance: n/a Funding Source: n/a

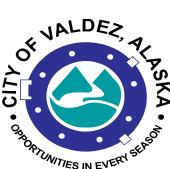
#### **RECOMMENDATION:**

Receive and file

# **SUMMARY STATEMENT:**

Monthly treasury report per municipal code



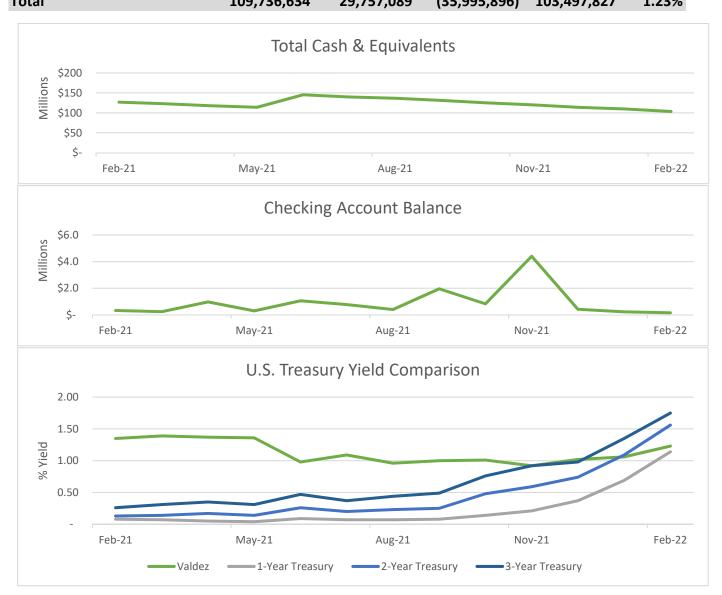


## Period Ending: February 28, 2022

Prepared By:

ed By: Jordan Nelson, Finance Director

OPTUNITIES IN EVERY SERVICE		Begin			End	
		<u>Balance</u>	<u>Debits</u>	<u>Credits</u>	<u>Balance</u>	Yield
Central Treasury		104,256,668	29,757,088	(35,990,458)	98,023,298	1.24%
Central Treasury	Wells Fargo	74,627,574	7,998,000	(241,478)	82,384,096	1.44%
Money Market	Wells Fargo	29,423,446	1,650,641	(15,564,265)	15,509,822	0.03%
Checking	Wells Fargo	223,169	18,467,329	(18,537,915)	152,583	0.00%
Payroll	Wells Fargo	(17,522)	1,641,118	(1,646,799)	(23,203)	0.00%
Restricted		5,479,966	1	(5,438)	5,474,529	0.96%
Debt Service	Wells Fargo	5,475,276	-	(5,438)	5,469,838	0.96%
Police	Wells Fargo	4,691	1	-	4,691	0.00%
Total		109.736.634	29.757.089	(35.995.896)	103.497.827	1.23%





Legislation Text

# File #: 22-0213, Version: 1

CITY MANAGER'S REPORT

The City Manager will provide a verbal report on the night of the Council meeting.