

# **City of Valdez**

*212 Chenega Ave.  
Valdez, AK 99686*



## **Meeting Agenda - Final**

**Tuesday, April 7, 2020**

**7:00 PM**

**Regular Meeting**

**Council Chambers**

**City Council**

**REGULAR AGENDA - 7:00 PM**

## I. CALL TO ORDER

## II. PLEDGE OF ALLEGIANCE

## III. ROLL CALL

## IV. PUBLIC BUSINESS FROM THE FLOOR

## V. CONSENT AGENDA

1. [Approval of Liquor License Renewals: Mountain Sky Hotel and Fraternal Order of Eagles #1971](#)
2. [Approval To Go Into Executive Session Re: 1. Pacific Pile and Marine Litigation and 2. Alaska Trappers Association Litigation](#)

## VI. NEW BUSINESS

1. [Approval of Contract with Sherman Technologies, LLC for the Port Security Cameras Project in the Amount of \\$315,000.00](#)
2. [Discussion Item: COVID-19 Update](#)
3. [Discussion Item: Fee Waivers for Various City Services in Response to the COVID-19 Emergency](#)
4. [Discussion Item: Housing Market Assessment and Gap Analysis](#)

## VII. REPORTS

1. [Report: Prince William Sound Aquaculture Corporation Spring 2020 Board Meeting](#)
2. [Report: Wildlife Resistant Container Program Outreach Group \[Update #2\]](#)

## VIII. CITY MANAGER / CITY CLERK / CITY ATTORNEY / MAYOR REPORTS

## 1. City Manager Report

1. [City Manager's Report 4-7-2020](#)

## 2. City Clerk Report

## 3. City Attorney Report

## 4. City Mayor Report

IX. COUNCIL BUSINESS FROM THE FLOOR

X. EXECUTIVE SESSION

XI. RETURN FROM EXECUTIVE SESSION

XII. ADJOURNMENT

XIII. APPENDIX

1. [Council Calendar - April 2020](#)



## Legislation Text

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**File #:** 20-0133, **Version:** 1

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**ITEM TITLE:**

Approval of Liquor License Renewals: Mountain Sky Hotel and Fraternal Order of Eagles #1971

**SUBMITTED BY:** Sheri Pierce, MMC, City Clerk

**FISCAL NOTES:**

Expenditure Required: [Click here to enter text.](#)

Unencumbered Balance: [Click here to enter text.](#)

Funding Source: [Click here to enter text.](#)

**RECOMMENDATION:**

City Administration expresses no objection to renewals of liquor license for the Mountain Sky Hotel and the Fraternal Order of Eagles #1971.

**SUMMARY STATEMENT:**

A local governing body may protest the approval of an applicant pursuant to AS 04.11.480 by furnishing the director and the applicant with a clear and concise written statement of reasons for the protest within 60 days of receipt of the notice.

Following notification of a new license or renewal of an existing license by the Alcohol & Marijuana Control Office, the City Clerk's office submits all license applications to the city council for approval. The Police Chief is notified of the request and is provided the opportunity to express any concerns with the issuance or re-issuance of the liquor license.

Please see attached information provided by the AMCO office regarding this application.





THE STATE  
of **ALASKA**  
GOVERNOR MIKE DUNLEAVY

Department of Commerce,  
Community,  
and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE  
550 West 7<sup>th</sup> Avenue, Suite 1600  
Anchorage, AK 99501  
Main: 907.269.0350

March 13, 2020

City of Valdez

Via Email: [spierce@valdezak.gov](mailto:spierce@valdezak.gov)

**Re: Notice of 2020/2021 Liquor License Renewal Application**

License #	DBA	License Type
5310	Mountain Sky Hotel Restaurant	Beverage Dispensary - Tourism
335	Fraternal Order of Eagles #1971	Club

We have received a completed renewal application for the above listed license (see attached application documents) within your jurisdiction. This is the notice required under AS 04.11.480.

A local governing body may protest the approval of an application(s) pursuant to AS 04.11.480 by furnishing the director **and** the applicant with a clear and concise written statement of reasons for the protest within 60 days of receipt of this notice, and by allowing the applicant a reasonable opportunity to defend the application before a meeting of the local governing body, as required by 3 AAC 304.145(d). If a protest is filed, the board will deny the application unless the board finds that the protest is arbitrary, capricious, and unreasonable.

To protest the application referenced above, please submit your written protest within 60 days, and show proof of service upon the applicant and proof that the applicant has had a reasonable opportunity to defend the application before a meeting of the local governing body.

Sincerely,

A handwritten signature in black ink, appearing to read "Glen Klinkhart".

Glen Klinkhart, Director

[amco.localgovernmentonly@alaska.gov](mailto:amco.localgovernmentonly@alaska.gov)



# TOURISM

Alcohol and Marijuana Control Office  
550 W 7<sup>th</sup> Avenue, Suite 1600  
Anchorage, AK 99501  
[alcohol.licensing@alaska.gov](mailto:alcohol.licensing@alaska.gov)  
<https://www.commerce.alaska.gov/web/amco>  
Phone: 907.269.0350

Alaska Alcoholic Beverage Control Board

Beverage Dispensary – Tourism License

## Form AB-17d: 2020/2021 Renewal License Application

### What is this form?

This renewal license application form is required for all individuals or entities seeking to apply for renewal of an existing beverage dispensary-tourism liquor license that is due to renew by December 31, 2019. All fields of this form must be complete and correct, or the application will be returned to you in the manner in which it was received, per AS 04.11.270 and 3 AAC 304.105. The Community Council field only should be verified/completed by licensees whose establishments are located within the Municipality of Anchorage or outside of city limits within the Matanuska-Susitna Borough.

This form must be completed and submitted to AMCO's main office before any license renewal application will be reviewed. Receipt and/or processing of renewal payments by AMCO staff neither indicates nor guarantees that an application will be considered complete, or that a license will be renewed.

### Section 1 – Establishment and Contact Information

Enter information for the business seeking to have its license renewed. If any populated information is incorrect, please contact AMCO.

Licensee:	Kae Soung Hotel Enterprises, Inc.	License #:	5310
License Type:	Beverage Dispensary – Tourism		
Doing Business As:	Mountain Sky Hotel Restaurant		
Premises Address:	101 Meals Avenue		
Local Governing Body:	City of Valdez		
Community Council:	None		

Mailing Address:	PO Box 568		
City:	VALDEZ	State:	AK
ZIP:	99686		

Enter information for the individual who will be designated as the primary point of contact regarding this application. This individual **must be a licensee** who is required to be listed in and authorized to sign this application.

Contact Licensee:	KAE HOLLY	Contact Phone:	206-909-1193
Contact Email:	MANAGER@MOUNTAINSKYHOTEL.COM		

Optional: If you wish for AMCO staff to communicate with an individual who is **not a licensee** named on this form (eg: legal counsel) about this application and other matters pertaining to the license, please provide that person's contact information in the fields below.

Name of Contact:	JASON HALL	Contact Phone:	253-569-1594
Contact Email:	JHALL79@HOTMAIL.COM		

City of Valdez



## Alaska Alcoholic Beverage Control Board

## Form AB-17d: 2020/2021 Tourism Renewal License Application

## Section 2 - Entity or Community Ownership Information

Licensees who directly hold a license as an individual or individuals should skip to Section 3. General partnerships and local governments should skip to the second half of this page. All licensees that are **corporations** or **LLCs** must complete this section. Corporations and LLCs are required to be in good standing with the Alaska Division of Corporations, Business & Professional Licensing (CBPL). The CBPL Entity # below is neither your EIN/tax ID number, nor your business license number. You may view your entity's status or find your CBPL entity number by visiting the following site: <https://www.commerce.alaska.gov/cbp/main/search/entities>

Alaska CBPL Entity #:

10018462

You must ensure that you are able to certify the following statement before signing your initials in the box to the right:

Initials

I certify that this entity is in good standing with CBPL and that all current entity officials and stakeholders (listed below) are also currently and accurately listed with CBPL.

SKH

This subsection must be completed by any **community** or **entity**, including a corporation, limited liability company, partnership, or limited partnership, that is applying for renewal. If more space is needed, please attach additional completed copies of this page.

- If the applicant is a **corporation**, the following information must be completed for each **shareholder who owns 10% or more** of the stock in the corporation, and for each **president, vice-president, secretary, and managing officer**.
- If the applicant is a **limited liability organization**, the following information must be completed for each **member with an ownership interest of 10% or more**, and for each **manager**.
- If the applicant is a **partnership**, including a limited partnership, the following information must be completed for each **partner with an interest of 10% or more**, and for each **general partner**.

**Important Note:** The information provided in the below fields (including spelling of names, specific titles, and percentages held) must match that which is listed with CBPL. If one individual holds multiple titles mentioned in the bullets above, all titles must be listed for that individual on this application and with CBPL. Failure to list all required titles constitutes an incomplete application. You must list **ALL** of your qualifying officials, additional copies of this page or a separate sheet of paper may be submitted if necessary.

Name of Official:	KAE HOLBY				
Title(s):	PRESIDENT	Phone:	206-909-1193	% Owned:	51%
Mailing Address:	PO Box 568				
City:	VALDEZ	State:	AK	ZIP:	99686

Name of Official:	Sarah Holby				
Title(s):	V.P. / SEC	Phone:	206-999-4744	% Owned:	49%
Mailing Address:	PO Box 568				
City:	VALDEZ	State:	AK	ZIP:	99686

Name of Official:					
Title(s):		Phone:		% Owned:	
Mailing Address:					
City:		State:		ZIP:	



## Alaska Alcoholic Beverage Control Board

## Form AB-17d: 2020/2021 Tourism Renewal License Application

## Section 3 - Sole Proprietor Ownership Information

Entities, such as corporations or LLCs, should skip this section. This section must be completed by any licensee who directly holds the license as an **individual or multiple individuals** and is applying for license renewal. If more space is needed, please attach a separate sheet that includes all of the required information.

The following information must be completed for each licensee and each affiliate.

This individual is an: ☐ applicant ☐ affiliate (spouse)

Name:				Contact Phone:	
Mailing Address:					
City:		State:		ZIP:	
Email:					

This individual is an: ☐ applicant ☐ affiliate (spouse)

Name:				Contact Phone:	
Mailing Address:					
City:		State:		ZIP:	
Email:					

## Section 4 - Alcohol Server Education

Read the line below, and then sign your initials in the box to the right of the statement:

Initials

I certify that all licensees, agents, and employees who sell or serve alcoholic beverages or check identification of a patron have completed an alcohol server education course approved by the ABC Board and keep current, valid copies of their course completion cards on the licensed premises during all working hours, as set forth in AS 04.21.025 and 3 AAC 304.465.

*[Handwritten initials]*

## Section 5 - License Operation

Check a single box for each calendar year that best describes how this liquor license was operated:

2018 2019

The license was regularly operated continuously throughout each year.

☒ ☒

The license was regularly operated during a specific season each year.

☐ ☐

The license was only operated to meet the minimum requirement of 240 total hours each calendar year.

If this box is checked, a complete copy of Form AB-30: Proof of Minimum Operation Checklist, and all necessary documentation must be provided with this application.

☐ ☐

The license was not operated at all or was not operated for at least the minimum requirement of 240 total hours each year, during one or both of the calendar years.

If this box is checked, a complete copy of Form AB-29: Waiver of Operation Application and corresponding fees must be submitted with this application for each calendar year during which the license was not operated for at least the minimum requirement, unless a complete copy of the form (including fees) has already been submitted for that year.

☐ ☐



## Alaska Alcoholic Beverage Control Board

**Form AB-17d: 2020/2021 Tourism Renewal License Application****Section 6 – Violations and Convictions**

Applicant violations and convictions in calendar years 2018 and 2019:

Yes No

Have any notices of violation (NOVs) been issued for this license in the calendar years 2018 or 2019?☐ ☒

Has any person or entity named in this application been convicted of a violation of Title 04, of 3 AAC 304, or a local ordinance adopted under AS 04.21.010 in the calendar years 2018 or 2019?

☐ ☒

If "Yes" to either of the previous two questions, attach a separate page to this application listing all NOVs and/or convictions.

**Section 7 – Certifications**

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify that all current licensees (as defined in AS 04.11.260) and affiliates have been listed on this application, and that in accordance with AS 04.11.450, no one other than the licensee(s) has a direct or indirect financial interest in the licensed business.

☒

I certify that I have not altered the functional floor plan or reduced or expanded the area of the licensed premises, and I have not changed the business name or the ownership (including officers, managers, general partners, or stakeholders) from what is currently approved and on file with the Alcoholic Beverage Control (ABC) Board.

☒

I certify on behalf of myself or of the organized entity that I understand that providing a false statement on this form or any other form provided by AMCO is grounds for rejection or denial of this application or revocation of any license issued.

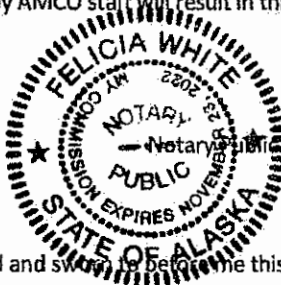
☒

I am submitting as part of this application a completed copy of the attached Tourism Statement form, for review by the Alcoholic Beverage Control Board.

☒

As an applicant for a liquor license renewal, I declare under penalty of perjury that I have read and am familiar with AS 04 and 3 AAC 304, and that this application, including all accompanying schedules and statements, is true, correct, and complete. I agree to provide all information required by the Alcoholic Beverage Control Board or AMCO staff in support of this application and understand that failure to do so by any deadline given to me by AMCO staff will result in this application being returned to me as incomplete.

  
Signature of licensee


  
Printed name of licensee

  
Signature of Notary Public
Notary Public in and for the State of AlaskaMy commission expires: November 23, 2022Subscribed and sworn to before me this 27 day of Feb., 2020.
 Seasonal License? ☐ Yes ☒ No

If "Yes", write your six-month operating period: \_\_\_\_\_

License Fee:	\$ 2500.00	Application Fee:	\$ 300.00	TOTAL:	\$ 2800.00
Miscellaneous Fees:					
GRAND TOTAL (if different than TOTAL):					





Alcohol and Marijuana Control Office  
550 W 7<sup>th</sup> Avenue, Suite 1600  
Anchorage, AK 99501  
[alcohol.licensing@alaska.gov](mailto:alcohol.licensing@alaska.gov)  
<https://www.commerce.alaska.gov/web/amco>  
Phone: 907.269.0350

Alaska Alcoholic Beverage Control Board

## Form AB-17: 2020/2021 Renewal License Application

### What is this form?

This renewal license application form is required for all individuals or entities seeking to apply for renewal of an existing liquor license that are is due to renew by December 31, 2019. All fields of this form must be complete and correct, or the application will be returned to you in the manner in which it was received, per AS 04.11.270 and 3 AAC 304.105. The Community Council field only should be verified/completed by licensees whose establishments are located within the Municipality of Anchorage or outside of city limits within the Matanuska-Susitna Borough.

This form must be completed and submitted to AMCO's main office before any license renewal application will be reviewed. Receipt and/or processing of renewal payments by AMCO staff neither indicates nor guarantees that an application will be considered complete, or that a license will be renewed.

### Section 1 – Establishment and Contact Information

Enter information for the business seeking to have its license renewed. If any populated information is incorrect, please contact AMCO.

Licensee:	Fraternal Order of Eagles Aerie #1971	License #:	335
License Type:	Club		
Doing Business As:	Fraternal Order of Eagles #1971		
Premises Address:	121 Hazelet Street		
Local Governing Body:	City of Valdez		
Community Council:	None		
Mailing Address:	P.O. Box 324		
City:	Valdez	State:	Alaska
		ZIP:	99686

Enter information for the individual who will be designated as the primary point of contact regarding this application. This individual **must be a licensee** who is required to be listed in and authorized to sign this application.

Contact Licensee:	Robert S. Akins	Contact Phone:	9072002018
Contact Email:	Robert.Akins99686@gmail.com		

Optional: If you wish for AMCO staff to communicate with an individual who is not a licensee named on this form (eg: legal counsel) about this application and other matters pertaining to the license, please provide that person's contact information in the fields below.

Name of Contact:		Contact Phone:	
Contact Email:			





# Alaska Alcoholic Beverage Control Board

## Form AB-17: 2020/2021 Renewal License Application

### Section 2 – Entity or Community Ownership Information

Licensees who directly hold a license as an individual or individuals should skip to Section 3. General partnerships and local governments should skip to the second half of this page. All licensees that are corporations or LLCs must complete this section. Corporations and LLCs are required to be in good standing with the Alaska Division of Corporations, Business & Professional Licensing (CBPL). The CBPL Entity # below is **neither** your EIN/tax ID number, **nor** your business license number. You may view your entity's status or find your CBPL entity number by visiting the following site: <https://www.commerce.alaska.gov/cbp/main/search/entities>

Alaska CBPL Entity #:	111352
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You must ensure that you are able to certify the following statement before signing your initials in the box to the right: Initials

I certify that this entity is in good standing with CBPL and that all current entity officials and stakeholders (listed below) are also currently and accurately listed with CBPL.

This subsection must be completed by any community or entity, including a corporation, limited liability company, partnership, or limited partnership, that is applying for renewal. If more space is needed, please attach additional completed copies of this page.

- If the applicant is a corporation, the following information must be completed for each **shareholder who owns 10% or more** of the stock in the corporation, and for each **president, vice-president, secretary, and managing officer**.
- If the applicant is a limited liability organization, the following information must be completed for each **member with an ownership interest of 10% or more**, and for each **manager**.
- If the applicant is a partnership, including a limited partnership, the following information must be completed for each **partner with an interest of 10% or more**, and for each **general partner**.

**Important Note:** The information provided in the below fields (including spelling of names, specific titles, and percentages held) must match that which is listed with CBPL. If one individual holds multiple titles mentioned in the bullets above, all titles must be listed for that individual on this application and with CBPL. Failure to list all required titles constitutes an incomplete application. You must list **ALL of your qualifying officials, additional copies of this page or a separate sheet of paper may be submitted if necessary.**

Name of Official:	Sophia Longoria				
Title(s):	President	Phone:	907-255-0647	% Owned:	
Mailing Address:	P.O. Box 946				
City:	Valdez	State:	Alaska	ZIP:	99686

Name of Official:	Scott Malone				
Title(s):	Vice President	Phone:	907-200-2050	% Owned:	
Mailing Address:	P.O.Box 1825				
City:	Valdez	State:	Alaska	ZIP:	99686

Name of Official:	Robert Akins				
Title(s):	Secretary	Phone:	907-200-2018	% Owned:	
Mailing Address:	P.O.Box 173				
City:	Valdez	State:	Alaska	ZIP:	99686





# Alaska Alcoholic Beverage Control Board

## Form AB-17: 2020/2021 Renewal License Application

### Section 3 – Sole Proprietor Ownership Information

Entities, such as corporations or LLCs, should skip this section. This section must be completed by any licensee who directly holds the license as an **individual or multiple individuals** and is applying for license renewal. If more space is needed, please attach a separate sheet that includes all of the required information.

The following information must be completed for each licensee and each affiliate.

This individual is an: ☐ applicant ☐ affiliate

Name:				Contact Phone:	
Mailing Address:					
City:		State:		ZIP:	
Email:					

This individual is an: ☐ applicant ☐ affiliate

Name:				Contact Phone:	
Mailing Address:					
City:		State:		ZIP:	
Email:					

### Section 4 – Alcohol Server Education

This section must be completed only by the holder of a beverage dispensary, club, or pub license or conditional contractor's permit. The holders of all other license types should skip to Section 5.

Read the line below, and then sign your initials in the box to the right of the statement:

Initials

I certify that all licensees, agents, and employees who sell or serve alcoholic beverages or check identification of a patron have completed an alcohol server education course approved by the ABC Board and keep current, valid copies of their course completion cards on the licensed premises during all working hours, as set forth in AS 04.21.025 and 3 AAC 304.465.

PA

### Section 5 – License Operation

Check a single box for each calendar year that best describes how this liquor license was operated:

2018 2019

The license was regularly operated continuously throughout each year.

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	-------------------------------------

The license was regularly operated during a specific season each year.

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

The license was only operated to meet the minimum requirement of 240 total hours each calendar year.

If this box is checked, a complete copy of Form AB-30: Proof of Minimum Operation Checklist, and all necessary documentation must be provided with this application.

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

The license was not operated at all or was not operated for at least the minimum requirement of 240 total hours each year, during one or both of the calendar years.

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

If this box is checked, a complete copy of Form AB-29: Waiver of Operation Application and corresponding fees must be submitted with this application for each calendar year during which the license was not operated for at least the minimum requirement, unless a complete copy of the form (including fees) has already been submitted for that year.





# Alaska Alcoholic Beverage Control Board

## Form AB-17: 2020/2021 Renewal License Application

### Section 6 - Violations and Convictions

Applicant violations and convictions in calendar years 2018 and 2019:

Yes No

Have any notices of violation (NOVs) been issued for this license in the calendar years 2018 or 2019?

☐ Yes ☒ No

Has any person or entity named in this application been convicted of a violation of Title 04, of 3 AAC 304, or a local ordinance adopted under AS 04.21.010 in the calendar years 2018 or 2019?

☐ Yes ☒ No

If "Yes" to either of the previous two questions, attach a separate page to this application listing all NOVs and/or convictions.

### Section 7 - Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify that all current licensees (as defined in AS 04.11.260) and affiliates have been listed on this application, and that in accordance with AS 04.11.450, no one other than the licensee(s) has a direct or indirect financial interest in the licensed business.

☒ RA

I certify that I have not altered the functional floor plan or reduced or expanded the area of the licensed premises, and I have not changed the business name or the ownership (including officers, managers, general partners, or stakeholders) from what is currently approved and on file with the Alcoholic Beverage Control Board.

☒ RA

I certify on behalf of myself or of the organized entity that I understand that providing a false statement on this form or any other form provided by AMCO is grounds for rejection or denial of this application or revocation of any license issued.

☒ RA

As an applicant for a liquor license renewal, I declare under penalty of perjury that I have read and am familiar with AS 04 and 3 AAC 304, and that this application, including all accompanying schedules and statements, is true, correct, and complete. I agree to provide all information required by the Alcoholic Beverage Control Board or AMCO staff in support of this application and understand that failure to do so by any deadline given to me by AMCO staff will result in this application being returned to me as incomplete.

Signature of licensee

Printed name of licensee

Signature of Notary Public

Notary Public in and for the State of Alaska

My commission expires: 6/27/22

Subscribed and sworn to before me this 30 day of December, 20 19.

Seasonal License?

Yes

☐

No

☒

If "Yes", write your six-month operating period: \_\_\_\_\_

License Fee:	\$ 1200.00	Application Fee:	\$ 300.00	TOTAL:	\$ 1500.00
Miscellaneous Fees:					
GRAND TOTAL (if different than TOTAL):					



## Legislation Text

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**File #:** 20-0134, **Version:** 1

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**ITEM TITLE:**

Approval To Go Into Executive Session Re: (1) Pacific Pile and Marine Litigation and (2) Alaska Trappers Association Litigation

**SUBMITTED BY:** Jake Staser, City Attorney

**FISCAL NOTES:**

Expenditure Required: [Click here to enter text.](#)

Unencumbered Balance: [Click here to enter text.](#)

Funding Source: [Click here to enter text.](#)

**RECOMMENDATION:**

[Click here to enter text.](#)

**SUMMARY STATEMENT:**

Alaska Statute AS 44.62.310 provides an exception to the Alaska Open Meetings law (AS 44.62.310) which allows the City Council to meet in executive session for the purpose of discussion related to:

1. Matters which involve litigation and where matters of which the immediate knowledge would clearly have an adverse effect upon the finances of the City.
2. Matters which by law, municipal charter, or ordinance are required to be confidential.

**Any formal action related to the discussion requiring a motion and vote of the governing body must be done in open session.**



## Legislation Text

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**File #:** 20-0135, **Version:** 1

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**ITEM TITLE:**

Approval of Contract with Sherman Technologies, LLC for the Port Security Cameras Project in the Amount of \$315,000.00.

**SUBMITTED BY:** Larry Ables, Project Manager

**FISCAL NOTES:**

Expenditure Required: \$315,000

Unencumbered Balance: \$314,357.25 - 350-0310-55000.1818 // \$104,785.75 - 350-0310-55000.1819

Funding Source: 350-0310-55000.1818 - Port Security Grant // 350-0310-55000.1819 - Port Security Grant COV MATCH

**RECOMMENDATION:**

Approve the Contract with Sherman Technologies, LLC for the Port Security Cameras Project in the Amount of \$315,000.

**SUMMARY STATEMENT:**

**Project Description:** This project is for the supply and installation of 4 cameras at the VCT and 3 cameras at the Kelsey Dock Plaza areas.

**Construction Schedule:** All work is to be completed within 180 days of the Notice to Proceed barring weather and COVID-19 issues. The Contractor hereby agrees to commence work on this project with ten (10) working days after the date of the written Notice to Proceed and to complete all work in accordance with the contract documents and addendums within one hundred (180) calendar days of the Notice to Proceed.

**Liquidated Damages:** \$1,000 day for each calendar day in excess of the completion date.

**Bidding:** Length of bid period was 40 days.

**Engineer's Estimate:** The engineers estimate for construction is between VCT Base Bid under/over \$250,000 and for the Kelsey Dock is under \$100,000 for a combined total base bid estimate of \$350,000.

**Design Review Stakeholders:** Nathan Duval, Director of Capital Facilities, Jeremy Talbott, Director of Ports and Harbor, Mathew Osburn, Director of Information Technology, Larry Ables, Project Manager.

CITY OF VALDEZ  
ALASKA

CONTRACT DOCUMENTS

Project: Port Security Cameras  
Project Number 19-350-1818  
Contract Number: 1555  
Cost Codes: 350-0310-55000.1818  
350-0310-55000.1819  
Issued for Construction  
Date: February 7, 2020



City of Valdez  
Capital Facilities and Engineering  
300 Airport Road, Suite 201  
P.O. Box 307  
Valdez, Alaska 99686

Project Manager:  
Larry Ables

Construction Plan Set Completed By:  
RSA Engineering Inc.  
670 W. Fireweed Lane, Suite 200  
Anchorage, AK 99503



**City of Valdez  
Contract Documents**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

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Port Security Grant EMW-2018-PU-00268-S01 documents _____	Attached



**City of Valdez  
Invitation to Bid**

**Date: February 7, 2020**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

The City of Valdez Port Security Cameras is funded in part by Department of Homeland Security Port Security Grant Program (Agreement # EMW-2018-PU-00268-S01). See attached.

This project includes but is not necessarily limited to:

1. Furnish and install all materials and equipment necessary for the installation of high-resolution cameras at the City of Valdez facilities; Valdez Container Terminal (VCT) and Kelsey Dock. This includes, but is not limited to, conduit, cabling, cameras, licenses and required mounting hardware to be connected to the existing city video system.
2. Materials are to be supplied as specified unless newer or updated models of the same equipment are available. Updated hardware/software shall be presented in the form of a materials substitution request.
3. Exact camera and equipment locations may need to vary slightly from the plans. All locations will be field verified and confirmed with the City prior to installation.
4. The City reserves the right to divide the work scope (schedule A and/or B) between multiple contractors if in the best interest of the City.

(See bid documents for further details)

Engineers Estimate for construction is between VCT Base Bid is under/over \$ 250,000.00 and for the Kelsey Dock Engineers Estimate is under \$ 100,000.00 for a combined total base bid estimate of \$350,000.00.

Sealed bids will be accepted until 2:00 pm local time on March 5, 2020, at the office of the Capital Facilities Director and, 300 Airport Road, Suite 201, P. O. Box 307, Valdez, Alaska 99686. The bids will be publicly opened and read at that time.

A non-mandatory pre-bid conference will be held at the office of the Capital Facilities Director, 300 Airport Road, Suite 201, Valdez, Alaska on February 26, 2020 at 10:00 am.

Complete sets of the bid documents may be purchased from Digital Blueprint, 903 West Northern Lights Blvd., Anchorage, AK 99503, (907) 274-4060. Bid documents may also be downloaded from the City of Valdez website at [www.valdezak.gov](http://www.valdezak.gov); documents are located under "Bids" on the lower right hand side of the opening page. Bidders are encouraged to download, fill out, and return the Request for Addendum form located at the link listed above to ensure receipt of any addendum issued for this project.

Bid security in the amount of 5% of the total bid is required.



The City reserves the right to waive any irregularities or informalities in a bid and to reject any and all bids without cause.

Current minimum prevailing wage rates as published by the Alaska Department of Labor must be paid if required by law.

Requirements of the Alaska Employment Preference (AS 36.10) must be met.

The City of Valdez “Standard Specifications and Standard Details” shall be used. An electronic copy is available from the City of Valdez website at [www.valdezak.gov](http://www.valdezak.gov) under “standards and specifications” located on the “quick links” portion of the Capital Facilities Department page.





**City of Valdez  
Instructions to Bidders**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

**CAUTION:**

Your bid may be rejected if it is not properly executed. Check that the following items have been accomplished to help assure a responsive bid. Please read Sections 6 and 7 carefully.

1. Bid Form
  - A. The Bid Form has been executed and signed.
  - B. Addendum Acknowledgement Form has been executed and signed.
2. Bid Security or Bid Bond
  - A. An executed Bid Security (Bid Bond) in the amount indicated on the Invitation to Bid.
  - B. Verify that the Certificate showing the Corporate Principal on the form is executed if applicable.
3. Alaska Business License, a copy your current license must be included.
4. Alaska Contactor Certificate of Registration
  - A. A copy of your current Alaska Contractor License of Registration in the bidder's name must be included with the bid.
  - B. The Contractor is required to verify that the appropriate license(s) is in place prior to submitting their bid for the project's scope of work.
5. A bid may be rejected if it contains any alterations or erasures that are not initialed by the signer of the bid.

Note: Any certified checks may be held uncollected at the risk of bidders submitting them.

## **1. General**

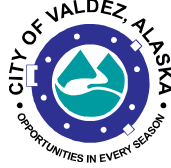
Bidders are requested to study and follow these instructions about the method and form for submitting bids to avoid having their bid rejected.

Bidders will find all required forms and documents contained within this assembly. Please notice under Section 7, Required Documents for Bid, as to which forms and documents are required for your bid to be considered.

## **2. Explanation to Bidders**

Requests from bidders concerning interpretations or clarifications of the bid documents shall be made in writing to the project manager or project engineer. Such requests shall arrive at least three working days prior to the date for opening bids. There needs to be sufficient time allowed for a reply to reach all bidders before the submission of the bids. Explanations made will be in the form of an addendum to the specifications or drawings and will be furnished to all bidders and receipt of the addendum must be acknowledged on the Addendum Form.





### 3. Site Conditions

Bidders are encouraged to visit the site to ascertain pertinent local conditions, location, accessibility, terrain, labor conditions, conditions of surrounding areas, and any other aspect that may impact the project.

### 4. Addenda Requirements

All bids must include the Addendum Acknowledgement Form. If addendums have been issued the bidder must state on the form all the addendums have been acknowledged. If no addendums were issued then the bidder is to write "NONE" on the form. The Addendum Acknowledgement Form shall be reviewed prior to acceptance of the bid.

### 5. Submissions of Bids

All bids, including any amendment or withdrawal, must be received at the address shown in the Invitation to Bid no later than the scheduled time of bid opening. Any bid, amendment or withdrawal that has not been actually received by the person opening the bid prior to the time of the scheduled bid opening will not be considered, and bid will be returned unopened. Conditioned or qualified bids unless requested will be considered nonresponsive.

Bids must be in a sealed envelope marked as follows:

BIDS FOR CITY OF VALDEZ	CAPITAL FACILITIES DIRECTOR
PORT SECURITY CAMERAS	CITY OF VALDEZ
PROJECT NO. 19-350-1818	300 AIRPORT ROAD, SUITE 201
CONTRACT NO.1555	P.O. BOX 307
DATE OF BID OPENING: March 5, 2020	VALDEZ, AK 99686

### 6. Preparation of Bids

Bids shall be submitted on the forms furnished, or copies thereof, and must be manually signed in ink. If erasures or other changes appear on the forms, the person signing the bid must initial each erasure or change.

The Bid Form will provide for quotation or price for all items. Bidders must quote on all items. Failure to do so may result in disqualification. Alternative bids will not be acceptable unless requested.

**Modification by facsimile of bids already submitted will be considered if received before the bid opening time noted in the Invitation for Bid or the addenda. Modification by facsimile is at the risk of the bidder. The Owner makes no warranty as to telephone line or equipment availability or condition. All addenda must be acknowledged prior to the bid opening; facsimile acknowledgement is acceptable for all addenda issued as long as an original completed form was provided within your sealed bid. Facsimile modifications shall not reveal the total amount of the original or revised bid.**

Facsimile number to use is (907) 835-5574.



## **7. Required Documents for Bid**

The following listed documents are to be completed and submitted at the time of bidding. Deviation from these requirements will be grounds for rejection of the bid.

- A. Addenda Acknowledged Form, fully completed original (see Item 6 above also)
- B. Bid Schedule, fully completed original (see Item 6 above also)
- C. Bid Bond, original
- D. Copy of current and appropriate Alaska Contractor License for this Scope of Work.
- E. Copy of current Alaska Business License

## **8. Required Documents for Award of the Contract**

The following documents must be executed prior to award of the contract and the initiation of work. Contractors are urged to expedite the completion of these documents. This will allow the contract award and notice to proceed to be issued expeditiously. These documents must be submitted within ten (10) working days after the date of notice of award.

- A. Contract Bond (Payment Bond: See Bonding Requirements below)
- B. Contract Bond (Performance Bond: See Bonding Requirements below)
- C. Certificate of Insurance naming City of Valdez as an "Additional Insured"
- D. Certificate of good standing for a Corporation or LLC
- E. Non-collusion Affidavit
- F. Agreement (2 signed copies)
- G. City of Valdez Business Registration
- H. Executed W-9 Form
- I. Application for City of Valdez building permit if required

## **9. Bonding Requirements**

- A. Bid Security (Bid Bond or Certified Check)

Bid Security is required and shall be in the form of a Certified Check for each bid or a Bid Bond prepared on the attached Bid Bond Form.

The Bid Bond must be executed by the bidder as principal and be executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

The Bid Security shall be issued for five percent (5%) of the bid amount.

Bid Securities will be returned to all except the three lowest bidders. The remaining certified checks or bid bonds will be returned, after the Owner and the accepted bidder have executed the Contract. Failure of the Owner to return the certified checks or bid bonds in a timely manner will create no liability on the part of the Owner. If no award has been made within sixty (60) days after the bid opening, all bidders except the one who has received the notice of intent to award may request the return of their cash, check or bid bonds.



## B. Contract Payment Bond

A Contract Payment Bond is not required if the total dollar amount of the contract is less than One Hundred Thousand Dollars (\$100,000).

A Contract Payment Bond is required if the total dollar amount of the contract is equal to or greater than One Hundred Thousand Dollars (\$100,000). Contract Payment Bond will be in the amount of One Hundred Percent (100%) of the Bid amount.

Contract Payment Bond shall be prepared on the Payment Bond Form that is attached. The Bond must be executed by the Contractor as principal and executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

## C. Contract Performance Bond

A Contract Performance Bond is not required if the total dollar amount of the contract is less than One Hundred Thousand Dollars (\$100,000).

A Contract Performance Bond is required if the total dollar amount of the contract is equal to or greater than One Hundred Thousand Dollars (\$100,000). Contract Performance Bond) will be in the amount of One Hundred Percent (100%) of the Bid amount.

Contract Performance Bond shall be prepared on the Performance Bond Form that is attached. The Bond must execute by the Contractor as principal and executed by a surety company authorized to transact business in the State of Alaska. The Owner must approve the surety company.

Section 2.80.080 of Valdez City Code provides for a modified contractor bond. Bidders shall familiarize themselves with exemptions allowed and the requirements for exemptions.

## 10. Bidder Qualifications

Before a bid is considered for award, the apparent low bidder may be requested to submit a statement of facts or proof in detail as to his previous experience in performing similar or comparable work, technical abilities, equipment, size, manpower and financial resources to complete and perform the work as outlined in the contract documents, plans and specifications.

## 11. Withdrawal of Bids

Bids may be withdrawn by written request received from the bidder prior to the bid opening time. Errors on the part of the bidder in preparing the bid, confers no right for the withdrawal of the bid after the bid has been opened.



## **12. Bidders Interested in More than One Bid**

If any one party, by or in name of his or their agent, partner or other person, offers more than one bid, all such bids will be rejected. A party who quoted prices to a bidder is not disqualified from quoting prices to other bidders or from a bid directly for the work.

## **13. Rejection of Bids**

The Owner reserves the right to reject any and all bids, when such rejection is in the interest of the Owner; to reject the bid of a bidder who previously failed to perform properly or to complete on time; and to reject the bid of a bidder who is not, in the opinion of the Owner in, in a position to perform the contract; or to waive any irregularities or informalities in a bid.

## **14. Hiring of Local Labor**

The Owner encourages that every Contractor and Subcontractor employ, to the maximum extent practical and allowed by law, qualified people who regularly reside in the project area.

## **15. Local Bidder Preference**

The Valdez City Code Section 2.80.065(H) related to local bidder preference will not apply to this project.

## **16. Award of Bid**

The bid, if awarded, will be awarded to the lowest responsive responsible bidder as determined by the terms of the City Code and this document.

## **17. Pre-Bid Conference**

A non-mandatory Pre-Bid Conference will be held February 26, 2020, at 10:00 am at the office of the Capital Facilities Director, Suite 201 300 Airport Road, Valdez, Alaska.

## **18. Pre-Award Conference**

Before the award of the contract a Pre-Award Conference may be held between the Engineer or Project Manager and the apparent low bidder.



**City of Valdez**  
**Addendum Acknowledgement**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

The bidder acknowledges receipt of the following addenda and certifies that their contents have been considered in the preparation of this Bid. If there are no addendums please state NONE above your name.

Addendum Number	<u>1</u>	Dated	<u>2/14/20</u>	Initials	<u>RS</u>
Addendum Number	<u>2</u>	Dated	<u>2/28/20</u>	Initials	<u>RS</u>
Addendum Number	<u>3</u>	Dated	<u>3/4/20</u>	Initials	<u>RS</u>
Addendum Number	<u>4</u>	Dated	<u>3/12/20</u>	Initials	<u>RS</u>
Addendum Number	_____	Dated	_____	Initials	_____
Addendum Number	_____	Dated	_____	Initials	_____
Addendum Number	_____	Dated	_____	Initials	_____
Addendum Number	_____	Dated	_____	Initials	_____
Addendum Number	_____	Dated	_____	Initials	_____
Addendum Number	_____	Dated	_____	Initials	_____

SHERMAN TECHNOLOGIES, LLC  
 Company Name

3/16/20  
 Date

RANDAL SHERMAN  
 Authorizing Name

MEMBER  
 Title

[Signature]  
 Signature



**City of Valdez  
Bid Schedule  
Page 1 of 2**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

<u>Item No.</u>	<u>Item Description</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total Item Price</u>
<b>VCT – Schedule A</b>					
A.1	VCT – mobilization and demobilization	1	LS	N/A	\$9,000.00
A.2	VCT (all labor and materials required)	1	LS	N/A	\$243,500.00
A.3	VCT - Field engineering, submittals, shop & record drawings, operating instructions, O&M manuals, and close-out punchlist	1	LS	N/A	\$1,000.00
<b>Kelsey Dock – Schedule B</b>					
B.1	Kelsey Dock – mobilization and demobilization	1	LS	N/A	\$4,500.00
B.2	Kelsey Dock – (all labor and materials required)	1	LS	N/A	\$56,000.00
B.3	Field engineering, submittals, shop & record drawings, operating instructions, O&M manuals, and close-out punchlist	1	LS	N/A	\$1,000.00



**City of Valdez  
Bid Schedule  
Page 2 of 2**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

**Total VCT (Schedule A) Bid Amount:**

Two hundred fifty three thousand five hundred \_\_\_\_\_ Dollars 00/100 Cents

(\$ 253,500.00 )

**Total Kelsey Dock (Schedule B) Bid Amount:**

Sixty one thousand five hundred \_\_\_\_\_ Dollars 00/100 Cents

(\$ 61,500.00 )

I, Randal Sherman, hereinafter called Bidder, an individual doing business as SHERMAN TECHNOLOGIES, LLC, (strike out inapplicable words:) a ~~partnership~~, a corporation incorporated in the State of Alaska, a ~~joint venture~~, hereby submits this bid and agrees: to hold this bid open for forty five (45) days, to accept the provisions of the Instruction to Bidders, to accomplish the work in accordance with the contract documents, plans, specifications, for the lump sum and unit price amounts as set forth in this bid schedule.

Respectfully submitted this 18TH day of MARCH, 2020

**BIDDER:**

SHERMAN TECHNOLOGIES, LLC  
Company Name

PO BOX 876476  
Address

WASILLA, AK 99687  
City, State, Zip Code

907-313-8100  
Telephone Number

82-3353304  
Federal I.D. or S.S.N.

Randal Sherman  
Authorizing Name

Member  
Title

[Signature]  
Signature

randy@shermantechnologies.com  
Email Address

**CORPORATE SEAL**

**ATTEST:**

\_\_\_\_\_  
Signature of Corporate Sec.

\_\_\_\_\_  
Print Name



**City of Valdez  
Bid Bond**

**KNOW ALL MEN BY THERE PRESENTS**, that We Sherman Technologies, LLC P.O. Box 876476 Wasilla, AK 99687

(Insert full name and address or legal title of Contractor)

as Principal, hereinafter called the Principal, and The Ohio Casualty Insurance Company 175 Berkeley Street, Boston, MA 02116

(Insert full name and address or legal title of Surety)

a corporation duly organized under the laws of the State of Alaska as surety, hereinafter called the Surety, are held and firmly bound unto

City of Valdez  
P.O. Box 307  
Valdez, Alaska 99686

as Obligee, hereinafter called the Obligee, in the sum of Five Percent (5%) of the Total Bid Amount

Dollars (\$ 5% of the Total Bid Amount ),

For the payment of which sum well and truly to be made, the said Principal and the Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severely, firmly by these presents.

Whereas, the Principal has submitted a bid for

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

**NOW, THEREFORE**, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with Obligee in accordance with terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 5 day or March, 2020

  
Sherman Technologies, LLC

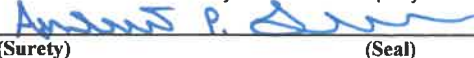
(Witness)

(Principal)

(Seal)

  
Member

(Title) The Ohio Casualty Insurance Company

  
Andrew P. Larsen

(Surety)

(Seal)

Andrew P. Larsen, Attorney-in-Fact

(Title)

(Witness)







This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company  
The Ohio Casualty Insurance Company  
West American Insurance Company

Certificate No: **802295-023001**

## POWER OF ATTORNEY

**KNOWN ALL PERSONS BY THESE PRESENTS:** That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Guy Armfield, John Claeys, Carly C. Fehring, Scott Fisher, Nicholas Fredrickson, Deanna M. French, Scott Garcia, Elizabeth R. Hahn, Roger Kaltenbach, Ronald J. Lange, Andrew P. Larsen, Susan B. Larson, Scott McGilvray, Mindee L. Rankin, Jana M. Roy

all of the city of Bellevue state of Washington each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 4th day of October, 2019.



Liberty Mutual Insurance Company  
The Ohio Casualty Insurance Company  
West American Insurance Company

By:

David M. Carey  
David M. Carey, Assistant Secretary

State of PENNSYLVANIA  
County of MONTGOMERY ss

On this 4th day of October, 2019 before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA  
Notarial Seal  
Teresa Pastella, Notary Public  
Upper Merion Twp., Montgomery County  
My Commission Expires March 28, 2021  
Member, Pennsylvania Association of Notaries

By:

Teresa Pastella  
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

### ARTICLE IV – OFFICERS: Section 12. Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

### ARTICLE XIII – Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

**Certificate of Designation** – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

**Authorization** – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 5 day of March, 2020.



By:

Renee C. Llewellyn  
Renee C. Llewellyn, Assistant Secretary

Alaska Business License # **1064063**

**Alaska Department of Commerce, Community, and Economic Development**  
Division of Corporations, Business and Professional Licensing  
P.O. Box 110806, Juneau, Alaska 99811-0806

This is to certify that

**SHERMAN TECHNOLOGIES LLC**

**8500 EAST STORMY HILL CIR WASILLA AK 99654**

owned by

**SHERMAN TECHNOLOGIES LLC**

is licensed by the department to conduct business for the period

October 17, 2018 through December 31, 2020  
for the following line of business:

**23 - Construction**



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location.  
It is not transferable or assignable.

Mike Navarre

License #: 128982  
Effective: 11/19/2018  
Expires: 12/31/2020

# STATE OF ALASKA

Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing

## Regulation of Construction Contractors and Home Inspectors

Licensee: **Sherman Technologies LLC**

License Type: **General Contractor Without Residential Contractor Endorsement**

Status: **Active**

Doing Business As: **Sherman Technologies LLC**

Commissioner: Mike Nava

### Relationships

RelationType	License #	LicenseType	Owners/Entities	Names/DBA
Electrical Administrator Assignee	EADE1736	Electrical Administrator	RANDAL SHERMAN	

### Designations

Type	Group
No designations found.	

Sherman Technologies LLC  
PO BOX 876476  
WASILLA, AK 99687

### Wallet Card

<b>State of Alaska</b> Department of Commerce, Community, and Economic Development Division of Corporations, Business, and Professional Licensing Regulation of Construction Contractors and Home Inspectors Sherman Technologies LLC DBA: Sherman Technologies LLC As General Contractor Without Residential Contractor Endorsement		
<b>License</b> 128982	<b>Effective</b> 11/19/2018	<b>Expires</b> 12/31/2020



**City of Valdez**  
**Agreement Page 1 of 2**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

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This agreement is made on the 7th day of April, 2020, by and between the City of Valdez, Alaska, hereinafter called the Owner, acting through its Mayor, and Sherman Technologies, LLC doing business as ~~an individual, partnership,~~ a corporation (strike out inapplicable words) located in Wasilla, Alaska, hereinafter called the Contractor.

The Contractor agrees to this Contract known as:

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

Furthermore the Contractor agrees to accept as full and complete payment for all work to be done in this Contract for the lump sum and per unit prices as set forth in the Bid Form and Addendums in the Contract Documents for this project. The total amount of this Contract shall be: **three hundred fifteen thousand dollars and zero cents (\$315,000.00).**

The Contractor hereby agrees to commence work on this project within ten (10) working days after the date of the written Notice to Proceed and to complete all work in accordance with the contract documents and addendums within **one hundred eighty (180)** calendar days of the Notice to Proceed. Said contract documents are listed in the Table of Contents herein. All documents listed therein are by this reference made a part hereof.

The Contractor further agrees to pay, as liquidated damages, the sum of One thousand dollars (\$1,000.00) for each calendar day in excess of the completion date specified in the written Notice to Proceed in which this project remains incomplete.

The Owner agrees to pay the Contractor for the performance of the Contract, subject to additions and deductions, as provided in the City of Valdez Standard Specifications Section 10 Standard General Provisions of this of this Contract, and to make payments on account thereof as provided in the City of Valdez Standard Specifications Section 10 Standard General Provisions and City of Valdez City Code.



**City of Valdez**  
**Agreement Page 2 of 2**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

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IN WITNESS WHEREOF, the parties to this presence have executed this Contract in two (2) counterparts, each of which shall be deemed as original, in the year and day first mentioned above.

**Sherman Technologies, LLC**

**City of Valdez, Alaska, Authorized**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Jeremy O'Neil, Mayor

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title

**Attested:**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Sheri L. Pierce, MMC, City Clerk

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mailing Address

**Recommended:**

\_\_\_\_\_  
City, State, Zip Code

\_\_\_\_\_  
Mark Detter, City Manager

\_\_\_\_\_  
Federal I.D. or S.S.N.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Corporate Secretary

\_\_\_\_\_  
Nathan Duval, Capital Facilities Director

\_\_\_\_\_  
Date

**Approved as to Form:**

Brena, Bell & Walker, P.C.

Attest: \_\_\_\_\_

Corporate Secretary

\_\_\_\_\_  
Jon S. Wakeland

\_\_\_\_\_  
Date

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

UNITED STATES OF AMERICA )  
 )SS.  
STATE OF ALASKA )

(Title of Officer)

\_\_\_\_\_  
(State of Incorporation) Corporation, on behalf of said Corporation.

My Commission Expires: \_\_\_\_\_

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

UNITED STATES OF AMERICA )  
 )SS.  
STATE OF ALASKA )

I, or the firm, association of corporation of which I am a member, a bidder on the Contract to be awarded, by the City of Valdez, Alaska, for the construction of that certain construction project designated as:

Located at Valdez, in the State of Alaska, have not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with such Contract.

Subscribed and sworn to this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

My Commission Expires:\_\_\_\_\_



**City of Valdez  
Labor and Material Payment Bond**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

Know all men by these presents that:

(Insert full name and address or legal title of Contractor)

as Principal, hereinafter called Principal, and,

(Here insert full name and address or legal title of Surety)

as Surety, hereinafter called Surety, are held and firmly bound unto

**City of Valdez  
P.O. Box 307  
Valdez, Alaska 99686**

as Obligee, hereinafter called Owner, for the use and benefit of claimants as herein below defined, in the amount of

Dollars (\$\_\_\_\_\_),  
(Here insert a sum equal to the contract amount)

for the payment whereof Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

**WHEREAS,**

Principal has by written agreement dated \_\_\_\_\_, 2020, entered into a contract with Owner for

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

in accordance with Drawings and Specifications prepared by

**RSA ENGINEERING INC.  
670 W. Fireweed Lane, Suite 200  
Anchorage, AK 99503**

which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.





**City of Valdez**  
**Labor and Material Payment Bond**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if Principal shall promptly make payment to all claimants as hereinafter defined, for all labor and material used or reasonably required for use in the performance of the Contract, then this obligation shall be void; otherwise it shall remain in full force and effect, subject, however, to the following conditions:

1. A claimant is defined as one having a direct contract with the Principal or with a Subcontractor of the Principal for labor, material, or both, used or reasonably required for use in the performance of the Contract, labor and material being construed to include that part of water, gas, power, light, heat, oil, gasoline, telephone service or rental of equipment directly applicable to the Contract.

2. The above named Principal and Surety hereby jointly and severally agree with the Owner that every claimant as herein defined, who has not been paid in full before the expirations of a period of ninety (90) days after the date on which the last of such claimant's work or labor was done or performed or materials were furnished by such claimant, may sue on this bond for the use of such claimant, prosecute the suit to final judgment for such sum or sums as may be justly due claimant, and have execution thereon. The Owner shall not be liable for the payment of any costs or expenses of any such suit.

3. No suit or action shall be commenced hereunder by any claimant:

a) Unless claimant, other than one having a direct contract with the Principal, shall have given written notice to any two of the following: the Principal, the Owner, or the Surety above named, within ninety (90) days after such claimant did or performed the last of the work or labor, or furnished the last of the materials for which said claim is made, stating with substantial accuracy the amount claimed and the name of the party to whom the materials are

furnished, or for whom the work or labor was done or performed. Such notice shall be served by mailing the same by registered mail or certified mail, postage prepaid, in an envelope addressed to the Principal, Owner or Surety, at any place where an office is regularly maintained for the transaction of business. Or served in any manner in which legal process may be served in the state in which aforesaid project is located, save that such service need not be made by a public officer.

b) After the expiration of one (1) year following the date on which Principal ceased Work on said Contract, it being understood, however, that if any limitation embodied in this bond is prohibited by any law controlling the construction hereof such limitation shall be deemed to be amended so as to be equal to the minimum period of limitation permitted by such law.

c) Other than in a state court of competent jurisdiction in and for the county of other political subdivision of the state in which the Project, or any part thereof is situated, or in the United States District Court for the district in which the Project, or any part thereof, is situated, and not elsewhere.

4. The amount of this bond shall be reduced by and to the extent of any payment of payments made in good faith hereunder, inclusive of the payment by Surety or mechanic's liens which may be filed of record against said improvement, whether or not claim for the amount of such lien be presented under and against the bond

Signed and sealed this \_\_\_\_\_, day of \_\_\_\_\_, 2020

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Principal)

\_\_\_\_\_  
(Seal)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Surety)

\_\_\_\_\_  
(Seal)

\_\_\_\_\_  
(Title)



**City of Valdez  
Performance Bond**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

**KNOW ALL MEN BY THESE PRESENTS:** that

(Here insert full name and address or legal title of contractor)

as Principal, hereinafter called Contractor, and ,

(Here insert full name and address or legal title Surety)

as Surety, hereinafter called Surety, are held and firmly bound unto

**City of Valdez  
P.O. Box 307  
Valdez, AK 99686**

as Obligee, hereinafter called Owner, in the amount of

Dollars (\$) )

for the payment whereof Contractor and Surety bind themselves, their heirs, executor, administrators, successors and assigns, jointly and severally, firmly by these presents.

**WHEREAS,**

Contractor has by written agreement dated \_\_\_\_\_, 2020, entered into a contract with Owner for

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

in accordance with Drawings and Specifications prepared by

**RSA ENGINEERING INC.  
670 W. Fireweed Lane, Suite 200  
Anchorage, AK 99503**

which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.



**City of Valdez  
Performance Bond**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

Now, therefore the condition of this obligation is such that, if Contractor shall promptly and faithfully perform said Contract, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

The Surety hereby waives notice of any alteration or extension of time made by the Owner.

Whenever Contractor shall be, and declared by Owner to be in default under the Contract, the Owner having performed Owner's obligations thereunder, the Surety may promptly remedy the default, or shall promptly comply with one of the following:

1. Complete the Contract in accordance with its terms and conditions, or
2. Obtain a bid or bids for completing the Contract in accordance with its terms and conditions, and upon determination by Surety of the lowest responsible bidder, or, if the Owner elects, upon determination by the bidder, arrange for contract between such bidder and Owner, and make available as Work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety may be liable hereunder, the amount set forth in the first paragraph hereof. The term "balance of the contract price," as used in this paragraph, shall mean the total amount payable by Owner to contractor under the Contract and any amendments thereto, less the amount properly paid by Owner to Contractor.

Any suit under this bond must be instituted before the expiration of two (2) years from the date on which final payment under the Contract falls due.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the Owner named herein or the heirs, executors, administrators or successors of the Owner.

Signed and Sealed this \_\_\_\_ day of \_\_\_\_\_, 2020

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Principal)

\_\_\_\_\_  
(Seal)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Surety)

\_\_\_\_\_  
(Seal)

\_\_\_\_\_  
(Title)



**City of Valdez**  
**Contractor Certificate of Substantial Completion**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

CONTRACTOR: \_\_\_\_\_

This is to certify that I, \_\_\_\_\_, am a duly authorized official of the said CONTRACTOR working in the capacity of \_\_\_\_\_, and in my official capacity representing said CONTRACTOR do hereby certify as follows:

1. The work of the subject Contract above has been performed, and materials used and installed in accordance with and in conformity to, the Contract Drawings, Contract Specifications, City of Valdez Standard Specifications and Details.
2. The Contract work is now substantially complete in all parts and requirements.
3. I understand that neither the determination by the Engineer--Architect that the work is substantially complete nor the acceptance thereof by the Owner shall operate as a bar to claim against the Contractor under the terms of the guarantee provisions of the Contract Documents.
4. The work to which this Certificate applies has been properly inspected and that work is hereby declared to be substantially complete in accordance with the Contract Documents.
5. The date of Substantial Completion is the date upon which all guarantees and warranties begin.
6. The Owner accepts the Project or specified area as described under "REMARKS," of the Project as substantially complete and will assume full possession of the Project or specified area of the Project at \_\_\_\_\_ (time) on \_\_\_\_\_ day, \_\_\_\_\_, 202\_\_.

CONTRACTOR

CITY OF VALDEZ, OWNER

\_\_\_\_\_  
 (Signature)

\_\_\_\_\_  
 Capital Facilities Director

\_\_\_\_\_  
 (Title)

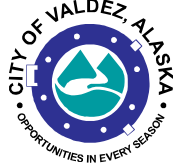
\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Ports & Harbor Director

\_\_\_\_\_  
 Date

REMARKS: \_\_\_\_\_



**City of Valdez**  
**Contract Release Page 1 of 2**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

The undersigned, \_\_\_\_\_  
 for itself, its successors in interest, assigns trustees, administrators, subcontractors, suppliers, and laborers do hereby release and forever discharge the CITY OF VALDEZ, ALASKA a municipal corporation, from all actions, causes of actions, suits, controversies, claims, damages and demands of every kind and nature, mature or to mature in the future, for and by reason of any matter, thing or claim arising out of the following Contract:

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

The undersigned also intends hereby to discharge the City of Valdez from all liability for any and all damages or injuries presently undiscovered or unanticipated. The undersigned's intention hereby is to waive any right it may subsequently have to set aside this release under the doctrine of Witt v. Watkins, 579 P.2d 1065 (Alaska 1978).

The undersigned further agrees to defend, indemnify and hold harmless the City of Valdez against any claims, liens, or causes of action arising under or by virtue of this Contract, including, but not limited to, any claim that the undersigned, any successor in interest, assignee, trustee, administrator, subcontractor, supplier or laborer of the undersigned or any other person might make or claim that he could possibly make against the City of Valdez.

The undersigned certifies that he has not assigned any amounts payable under this Contract to anyone.

The undersigned hereby acknowledges receipt of the amount of \$ \_\_\_\_\_  
 as full of final payment in consideration for all services, materials and labors rendered in connection with this Contract.

The undersigned hereby declares that the terms of this RELEASE have been completely read and are fully understood, and said terms are voluntarily accepted for the purpose of making a full and final release of any and all claims, disputed or otherwise, arising under or by virtue of this Contract.

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

---

COMPANY

SIGNATURE

---

TITLE

STATE OF ALASKA )  
 )ss.  
THIRD JUDICIAL DISTRICT )

THIS IS TO CERTIFY that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, Notary Public in and for the State of Alaska, personally appeared \_\_\_\_\_ of \_\_\_\_\_, known to me to be its \_\_\_\_\_ and acknowledged to me that he has read this foregoing RELEASE and knew contents thereof to be true and correct to the best of his knowledge and belief, and that he signed the same freely and voluntarily for the uses and purposes therein mentioned, and that he was duly authorized to execute the foregoing document according to the Bylaws or by Resolutions of said corporation.

WITNESS my hand and notarial seal this                      day of                      , 20                      .

Notary Public in and for Alaska  
My Commission expires:



**City of Valdez  
Special Provisions**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

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## City of Valdez Special Provisions

### Project: Port Security Cameras Project Number 19-350-1818 / Contract Number: 1555

#### SP 01 General Statement

The Special Provisions set forth conditions and requirements unique to this Project and are supplemental to, and supersede, the City of Valdez “Standard Specifications and Standard Details.”

#### SP 02 Scope of Work

##### **Base Bid**

The Scope of Work of the Base Bid of this Contract shall include providing all labor, materials, tools, equipment, transportation, supervision and facilities necessary to:

Bid Schedule A. VCT - base bid is a price that includes, finding, bring, connecting and converting if needed 120V power, supplying and installing materials and equipment needed to install for High-resolution cameras at the Container Terminal. When available, newer make or models equipment will trump plan sheet specifications. This newer equipment specifications will be submitted in a timely manner to the engineer for approval. Price includes landing all camera cabling from each camera fiber cassette through existing and contractor installed conduit to the demarcation point in the R.E. Staite building. Copper Valley Telecom (CVT) network will connect city and contractor supplied equipment and cabling located in this building’s mechanical room. Per plan view all conduits stubbed near the R.E. Staite building, for carrying cabling to be located on the exterior of this building prior to entering this building and will be within 4” inches of each other.

Bid Schedule B. Kelsey Dock – Base bid is to complete already anticipated camera system with most (not all) conduits and rack in place. This price will include supplying and installing materials, equipment and equipment needed to install High-resolution cameras. When available, newer make or models equipment will trump plan sheet specifications. If newer equipment is available then specifications will be submitted in a timely manner to the engineer for approval. Price includes landing all camera cabling from each camera fiber cassette through existing and contractor installed conduit to points inside the Kelsey Plaza building.

For both locations contractor will extend new conduit as needed and use existing conduit as supplied. New conduit be below and above ground/grade, inside structures, and will be sleeved and braced/strapped as required.

Contractors are directed to review the attached drawings and specification titled “CITY of VALDEZ - Valdez Container Terminal and Kelsey Dock Security Upgrades” for a more thorough description of scope of work.





### **Division of Bid Schedules**

The City reserves the right to divide the bid schedule to more than one contractor if it is in the best interest of the City.

### **SP 03 Time of Completion**

All work shall be completed in accordance with the Contract Documents within 180 calendar days of the date of the written Notice to Proceed.

Liquidated damages will be assessed in the sum of one thousand dollars (\$1,000) for each calendar day after the completion date during which the Project remains incomplete.

Substantial Completion: Substantial Completion shall be defined as the stage in the progress of the work when the work is sufficiently complete in accordance with the Contract Documents so the Owner (City) can occupy or use the structure or that which is the subject of the contract, for its intended use.

### **SP 04 Special Site Conditions**

The Valdez Container Terminal (VCT) is a federally regulated facility with restricted site access and has strict security procedures that must be adhered to at all times. This includes the Transportation Security Administration's Transportation Worker Identification Credential (TWIC) program for accessing maritime facilities. All Workers must have a TWIC to work onsite or be escorted in accordance with federal policy. All workers will be required to come into the Ports and Harbor office to register their TWIC and go through a verbal briefing on "Knowledge Requirements" to be on the container terminal.

**KELSEY DOCK** - At the Kelsey Dock there will be 22 ports of call between May and September; three in May, five in June, six in July, five in August and three in September, with the potential of three additional Cruise Ships. No work is to be performed when a Cruise Ship is in port.

**VCT** - The VCT will remain in operation throughout the construction project. The VCT must have adequate power throughout the project to support existing operations, including lighting throughout the facility, other powered buildings and structures, and the security gate apparatus. No power outages longer than eight hours will be approved, and the City reserves the right to deny permission for any power outages. During any approved power outage, the contractor may be required to provide temporary power to support any affected equipment or infrastructure.

Any power outages that violate the conditions described above will be subject to a penalty of \$500.00 per day and occurrence.

Only one street and adjacent storage container isle may be obstructed at a time during the work. Disruption to the construction schedule may occur if and when any military operation takes place that requires limited or no access to the VCT. The schedule will be adjusted during such occurrence.



**BOTH SITES** – This project will take place during migratory bird nesting windows. The contractor will be responsible for applying for the Department of Fish and Game permit to take, relocate, haze, or destroy BIRDS OR THEIR EGGS OR NESTS, MAMMALS AND REPTILES for PUBLIC SAFETY PURPOSES. The contractor should familiarize themselves with the regulations surrounding these conditions. Areas of known bird activity include, but are not limited to, the VCT causeway and Kelsey Dock bull rail and structure. Some work may not be able to take place during specific times during the nesting windows.

All utility locates are the responsibility of the Contractor. The contractor is responsible to locate all underground utilities prior to digging.

Dewatering is not anticipated during the project; however, the removal of water from the vaults is incidental to the project and will be at the contractor's expense.

**GENERAL** - The Contractor will be responsible for the disposal of all refuse and debris generated by the project. The City has, on a limited 'first come first served' basis, dumpsters for use free of charge on City projects if available.

Dump fees will be waived. The Contractor will be responsible for hauling demolished materials and construction waste out to the City Baler facility on South Sawmill Drive. The Baler is located approximately 5 miles out of town. Please contact the Baler ahead of time to make arrangements for the disposal of such materials. The Baler's number is 907-835-2356. The project name or contract number will be required on all Baler disposal forms and when calling to reserve or empty dumpsters.

Local building permit fees are waived. The Contractor will be responsible for obtaining local building permits before the NTP is issued. The Contractor will need to call the City Building Department at 907-834-3401.

Staging area will be approved by the City for City properties adjacent to the worksite.

The Contractor will be responsible for moving furniture and other items necessary to complete the work.

The Contractor is responsible for setting up detours or barricades if their work is in a public area and will interfere with normal traffic flow.

## **SP 05 Hazardous Waste Generation**

Every effort to minimize or eliminate the generations of hazardous waste shall be used by the Contractor in the performance of the work of this Contract. Unless there is no substitute, no hazardous material shall be used in the performance of the work of this Contract.



## **SP 06 Coordination and Schedule**

The Contractor shall, within ten (10) working days of the date of the Notice to Proceed, submit to the Engineer a schedule as required in Section 10.5, Control of Work, Article 5.3. The schedule shall be updated every week. An updated schedule shall be submitted with each of the Contractor's Periodic Payment Requests. Failure to provide an updated schedule will be cause to withhold partial payment.

The following dates will require work stoppage by the contractor:

**KELSEY DOCK** – Cruise Ships will be in port on the following days: May 13, 27, 31, June 10, 13, 17, 21, 24, July 3, 7, 8, 22, 23, 27, August 4, 5, 12, 16, 19, September 2, 4, and 16, with the potential of three additional Cruise Ships. No work is to be performed when a Cruise Ship is in port.

**VCT** - Military ammunition moves on the VCT will typically halt work for less than 10 calendar days. The dates of ammunition moves are unknown at this time and beyond control of the City. Dates typically range from mid-March through the month of April and again in the fall, mid-September to mid-October. The contractor will be notified at least seven days in advance.

## **SP 07 Site Preservation, Restoration, Cleanup and Environmental Reporting**

The Contractor shall be solely responsible for damage to public or private property caused by construction operations. The Contractor shall take all precautions necessary to control dust. The Contractor shall notify the City of any claims of damage, and shall clean and restore any property so damaged at the sole expense of the Contractor. All spills or releases of any hazardous substance shall be reported to the appropriate governmental agency as well as notice to the City. Contractor shall be responsible for all associated cleanup costs and fines.

Throughout the course of the project, the contractor shall keep the premises clean and orderly. Upon completion of the work, repair all damage caused by equipment and leave the project free of rubbish and excess materials of any kind.

## **SP 08 Permits**

The Contractor shall obtain all licenses and permits that are required to do the work. A Building Permit will be required but there will be no charge.

## **SP 09 Order of Award of Alternative Bids**

Additive Alternate and/or Deductive Alternative Bids will be awarded, if any are awarded, in any order determined to be the most advantageous combination by the owner.



## **SP 10 Payment**

Payments shall be in accordance with Section 10.07, Measurement and Payment of the CVSS. All invoices for payment must be submitted on a City of Valdez *Periodic Payment Request Form*. An electronic copy of this form (Excel Spreadsheet) will be made available for the Contractor's use.

Disbursement of money to a person, firm or corporation will be made only after all the various receivable accounts of the general government and any municipal utility or enterprise have been reviewed for outstanding balances owed, and the disbursement will be reduced by setting off the amount of any delinquent indebtedness due the city from such person, firm or corporation.

All contracts to which the city is a party which will or may involve the disbursement of city funds shall contain the following clause, or its substantial equivalent: "Disbursement of money by the City of Valdez hereunder shall subject to set-off pursuant to the provisions of the Valdez City Code." Such contracts include, but are not limited to, oral contracts, employment contracts, construction contracts, purchasing contracts and contracts of any municipal utility or enterprise, including customer's deposits.

## **SP 11 References to City of Valdez Standard Specifications (CVSS)**

The City of Valdez Standard Specifications & Standard Details, Streets-Drainage-Utilities-Parks, dated April 2003, hereafter referred to as CVSS, are incorporated in and become a part of the Contract Documents for the work, The Standard Specifications are available for purchase from the Engineer's Office of the City of Valdez, P.O. Box 307, Valdez, Alaska 99686. All work under this Contract shall comply with the latest edition and addenda to all applicable codes, ordinances, and standards.

It shall be the responsibility of the Bidder to prepare his bid so all materials and/or different arrangements of connections or fittings shall harmoniously conform with the intent of the Contract Drawings, CVSS, and the Special Provisions.

## **SP 12 Construction Specifications**

The Specifications for construction of the work of this Project are incorporated into the following pages and on the attached drawing titled "The Kelsey Dock Security Upgrades and the Valdez Container Terminal Security Upgrades". These drawings are by reference included herein.

## **SP 13 Substitute Materials**

The use of manufactures whether they are listed or not must be submitted for approval no later than February 27, 2020, which is seven (7) days prior to the due date for bids.

## **SP 14 Schedule of Values**

Contractor shall submit a Schedule of Values within ten (10) days of notice-to-proceed.



**City of Valdez**  
**Modifications and Additions to the Standard Specifications**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

Division 10                      Standard General Provisions

Article 7.3 Payment for Time and Material

Replace the 'Allowances' section with the following:

On self-performed work, in addition to the direct costs of labor and material incurred by the Contractor, the Contractor shall be entitled to an allowance/markup of ten percent (10%) of the direct cost of work for profit and overhead. On subcontracted work, Contractor shall be allowed a five percent (5%) allowance/markup of the Subcontractor's direct cost. These percentages allowances are inclusive of any management time required to prepare and process the change order. This allowance does not apply to owned or rented equipment.

If work performed by a Subcontractor, the Subcontractor actually performing the Work shall be entitled to those allowances for overhead and profit listed above plus an additional five percent (5%) for management and supervision of the additional work. Each subsequent higher tiered Subcontractor or Contractor shall be allowed no more than an additional five percent (5%) of the subcontractor's direct costs. In no case shall total cumulative markup on direct costs exceed thirty percent (30%).

If lower markups are established via bid forms or negotiation, the lower markups shall apply to change orders.

The allowance made in accordance with the terms outlined above will be understood to be complete reimbursement and compensation for all project office and office staff, general office overhead, use of tools, and small equipment, overhead expenses, bond cost, insurance premiums, profits, indirect costs, delays impacts on the rest of the Work an losses of all kinds and other items of cost not specifically designated, No other reimbursement compensation or payment will be made for time and material work.

Any allowance made by the Contractor to a Subcontractor, other than specified herein, shall be at the expense of the Contractor.



#### Article 7.5 Progress Payments

Add the following:

Any request for payments for work accomplished within the calendar fiscal year (January 1<sup>st</sup> to December 31<sup>st</sup>) must be received by the city no later than January 31<sup>st</sup> of the following year. Failure to provide a request for payment by Jan. 31<sup>st</sup> for work accomplished the previous year will delay payment. Failure to provide a request for payment by January 31<sup>st</sup> for work accomplished the previous year will be subject to a penalty. Penalty may be assessed at a minimum of \$1000 and up to 5% of the invoice not to exceed \$10,000.

#### Article 7.7 Final Payments

Add the following:

Any request for final payment for work accomplished within the calendar fiscal year (January 1<sup>st</sup> to December 31<sup>st</sup>) must be received by the city no later than January 31<sup>st</sup> of the following year. Failure to provide a request for final payment by January 31<sup>st</sup> for work accomplished the previous year will delay payment. Failure to provide a request for payment by January 31<sup>st</sup> for work accomplished the previous year will be subject to a penalty. Penalty may be assessed at a minimum of \$1000 and up to 5% of the invoice not to exceed \$10,000.



**City of Valdez**  
**Contract Provisions Required for Federal Grant Funds**  
**under Appendix II to CFR Title 2, Subtitle A, Chapter II, Part 200**

**Project: Port Security Cameras**  
**Project Number 19-350-1818 / Contract Number: 1555**

**Equal Opportunity clause under 41 CFR § 60-1.4(b)**

During the performance of this contract, the contractor agrees as follows:

(1) The contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, gender identity, or national origin. The contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, sexual orientation, gender identity, or national origin. Such action shall include, but not be limited to the following: Employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided setting forth the provisions of this nondiscrimination clause.

(2) The contractor will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, sexual orientation, gender identity, or national origin.

(3) The contractor will not discharge or in any other manner discriminate against any employee or applicant for employment because such employee or applicant has inquired about, discussed, or disclosed the compensation of the employee or applicant or another employee or applicant. This provision shall not apply to instances in which an employee who has access to the compensation information of other employees or applicants as a part of such employee's essential job functions discloses the compensation of such other employees or applicants to individuals who do not otherwise have access to such information, unless such disclosure is in response to a formal complaint or charge, in furtherance of an investigation, proceeding, hearing, or action, including an investigation conducted by the employer, or is consistent with the contractor's legal duty to furnish information.

(4) The contractor will send to each labor union or representative of workers with which he has a collective bargaining agreement or other contract or understanding, a notice to be provided advising the said labor union or workers' representatives of the contractor's commitments under this section, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.

(5) The contractor will comply with all provisions of Executive Order 11246 of September 24, 1965, and of the rules, regulations, and relevant orders of the Secretary of Labor.

(6) The contractor will furnish all information and reports required by Executive Order 11246 of September 24, 1965, and by rules, regulations, and orders of the Secretary of Labor, or pursuant thereto, and will





permit access to his books, records, and accounts by the administering agency and the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations, and orders.

(7) In the event of the contractor's noncompliance with the nondiscrimination clauses of this contract or with any of the said rules, regulations, or orders, this contract may be canceled, terminated, or suspended in whole or in part and the contractor may be declared ineligible for further Government contracts or federally assisted construction contracts in accordance with procedures authorized in Executive Order 11246 of September 24, 1965, and such other sanctions may be imposed and remedies invoked as provided in Executive Order 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor, or as otherwise provided by law.

(8) The contractor will include the portion of the sentence immediately preceding paragraph (1) and the provisions of paragraphs (1) through (8) in every subcontract or purchase order unless exempted by rules, regulations, or orders of the Secretary of Labor issued pursuant to section 204 of Executive Order 11246 of September 24, 1965, so that such provisions will be binding upon each subcontractor or vendor. The contractor will take such action with respect to any subcontract or purchase order as the administering agency may direct as a means of enforcing such provisions, including sanctions for noncompliance:

Provided, however, that in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction by the administering agency, the contractor may request the United States to enter into such litigation to protect the interests of the United States.

### **Provisions for Davis-Bacon Act and Related Acts under 29 CFR § 5.5**

(1) Minimum wages.

(i) All laborers and mechanics employed or working upon the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR part 3), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of paragraph (a)(1)(iv) of this section; also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period. Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in § 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, that the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under paragraph (a)(1)(ii) of this section) and the Davis-Bacon





poster (WH-1321) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.

(ii)

(A) The contracting officer shall require that any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. The contracting officer shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:

(1) The work to be performed by the classification requested is not performed by a classification in the wage determination; and

(2) The classification is utilized in the area by the construction industry; and

(3) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

(B) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and the contracting officer agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by the contracting officer to the Administrator of the Wage and Hour Division, U.S. Department of Labor, Washington, DC 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.

(C) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and the contracting officer do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), the contracting officer shall refer the questions, including the views of all interested parties and the recommendation of the contracting officer, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise the contracting officer or will notify the contracting officer within the 30-day period that additional time is necessary.

(D) The wage rate (including fringe benefits where appropriate) determined pursuant to paragraphs (a)(1)(ii) (B) or (C) of this section, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

(iii) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

(iv) If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program, Provided, that the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

(2) Withholding. The City of Valdez shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractor under this contract or any other Federal contract with the same prime contractor, or any other federally-assisted



contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor, so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees, and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee, or helper, employed or working on the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), all or part of the wages required by the contract, the (Agency) may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased.

(3) Payrolls and basic records.

(i) Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work (or under the United States Housing Act of 1937, or under the Housing Act of 1949, in the construction or development of the project). Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5(a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

(ii)

(A) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to FEMA if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit the payrolls to the applicant, sponsor, or owner, as the case may be, for transmission to the FEMA. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i), except that full social security numbers and home addresses shall not be included on weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee (e.g., the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH-347 is available for this purpose from the Wage and Hour Division Web site at <http://www.dol.gov/esa/whd/forms/wh347instr.htm> or its successor site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and current address of each covered worker, and shall provide them upon request to FEMA if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit them to the applicant, sponsor, or owner, as the case may be, for transmission to FEMA, the contractor, or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this section for



a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its own records, without weekly submission to the sponsoring government agency (or the applicant, sponsor, or owner).

(B) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

(1) That the payroll for the payroll period contains the information required to be provided under § 5.5

(a)(3)(ii) of Regulations, 29 CFR part 5, the appropriate information is being maintained under § 5.5 (a)(3)(i) of Regulations, 29 CFR part 5, and that such information is correct and complete;

(2) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in Regulations, 29 CFR part 3;

(3) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

(C) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by paragraph (a)(3)(ii)(B) of this section.

(D) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under section 1001 of title 18 and section 231 of title 31 of the United States Code.

(iii) The contractor or subcontractor shall make the records required under paragraph (a)(3)(i) of this section available for inspection, copying, or transcription by authorized representatives of the FEMA or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, the Federal agency may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

#### (4) Apprentices and trainees -

(i) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage



rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(ii) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(iii) Equal employment opportunity. The utilization of apprentices, trainees and journeymen under this part shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR part 30.

(5) Compliance with Copeland Act requirements. The contractor shall comply with the requirements of 29 CFR part 3, which are incorporated by reference in this contract.

(6) Subcontracts. The contractor or subcontractor shall insert in any subcontracts the clauses contained in 29 CFR 5.5(a)(1) through (10) and such other clauses as FEMA may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The



prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in 29 CFR 5.5.

(7) Contract termination: debarment. A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract, and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

(8) Compliance with Davis-Bacon and Related Act requirements. All rulings and interpretations of the Davis-Bacon and Related Acts contained in 29 CFR parts 1, 3, and 5 are herein incorporated by reference in this contract.

(9) Disputes concerning labor standards. Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and the contracting agency, the U.S. Department of Labor, or the employees or their representatives.

(10) Certification of eligibility.

(i) By entering into this contract, the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

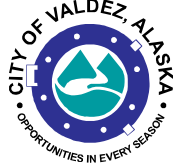
(ii) No part of this contract shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(iii) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001.

### **Provisions for Contract Work Hours and Safety Standards Act under 29 CFR § 5.5**

(1) Overtime requirements. No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of forty hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of forty hours in such workweek.

(2) Violation; liability for unpaid wages; liquidated damages. In the event of any violation of the clause set forth in paragraph (b)(1) of this section the contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in paragraph (b)(1) of this section, in the sum of \$27 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of forty hours without payment of the overtime wages required by the clause set forth in paragraph (b)(1) of this section.



(3) Withholding for unpaid wages and liquidated damages. The City of Valdez shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contractor, or any other federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by the same prime contractor, such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in paragraph (b)(2) of this section.

(4) Subcontracts. The contractor or subcontractor shall insert in any subcontracts the clauses set forth in paragraph (b)(1) through (4) of this section and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in paragraphs (b)(1) through (4) of this section.

#### **Provision for Byrd Anti-Lobbying Amendment (31 U.S.C. 1352)**

Contractors that apply or bid for an award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.





**City of Valdez  
Minimum Prevailing Wage Rates**

**Project: Port Security Cameras  
Project Number 19-350-1818 / Contract Number: 1555**

Minimum Prevailing Wage Rates and Title 36 Public Contracts Follows  
See attached Links:

<http://labor.state.ak.us/lss/pamp600.htm>  
<http://labor.alaska.gov/lss/forms/Pam400.pdf>

Federal Davis-Bacon Wage Determination document – See Link:

<https://beta.sam.gov/wage-determination/AK20200001/0#document>

In accordance with the requirements of AS 36.05.070 and AS 36.05.080, the following provisions are included where applicable:

- (1) The Contractor or subcontractors of the Contractor shall pay all employees unconditionally and not less than once a week;
- (2) wages may not be less than those stated in the advertised specifications, regardless of the contractual relationship between the Contractor or subcontractors and laborers, mechanics, or field surveyors;
- (3) the scale of wages to be paid shall be posted by the Contractor in a prominent and easily accessible place at the site of the work;
- (4) Owner shall withhold so much of the accrued payments as is necessary to pay to laborers, mechanics, or field surveyors employed by the Contractor or subcontractors the difference between
  - (A) the rates of wages required by the contract to be paid laborers, mechanics, or field surveyors on the work; and
  - (B) the rates of wages in fact received by laborers, mechanics, or field surveyors.
- (5) If it is found that a laborer, mechanic, or field surveyor employed by the Contractor or subcontractor has been or is being paid a rate of wages less than the rate of wages required by the contract to be paid, the Owner may, by written notice to the Contractor, terminate the Contractor's right to proceed with the work or the part of the work for which there is a failure to pay the required wages and to prosecute the work to completion by contract or otherwise, and the Contractor and the Contractor's sureties are liable to Owner for excess costs for completing the work.

CONSTRUCTION DOCUMENTS

VALDEZ CONTAINER TERMINAL AND KELSEY DOCK  
SECURITY UPGRADES  
FOR THE  
**CITY OF VALDEZ**

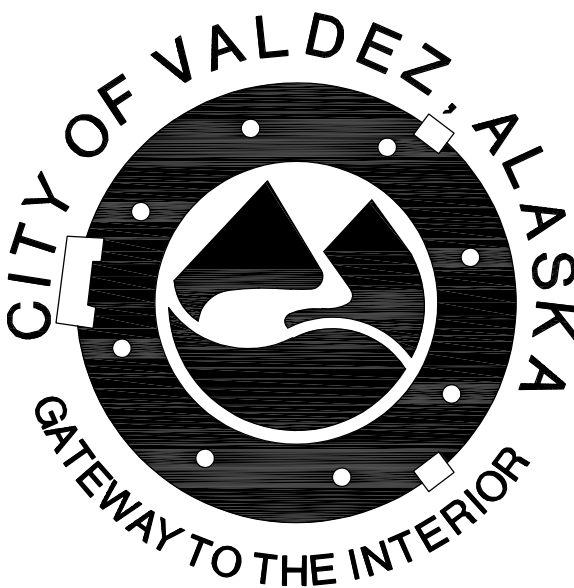
PREPARED BY:

RSA

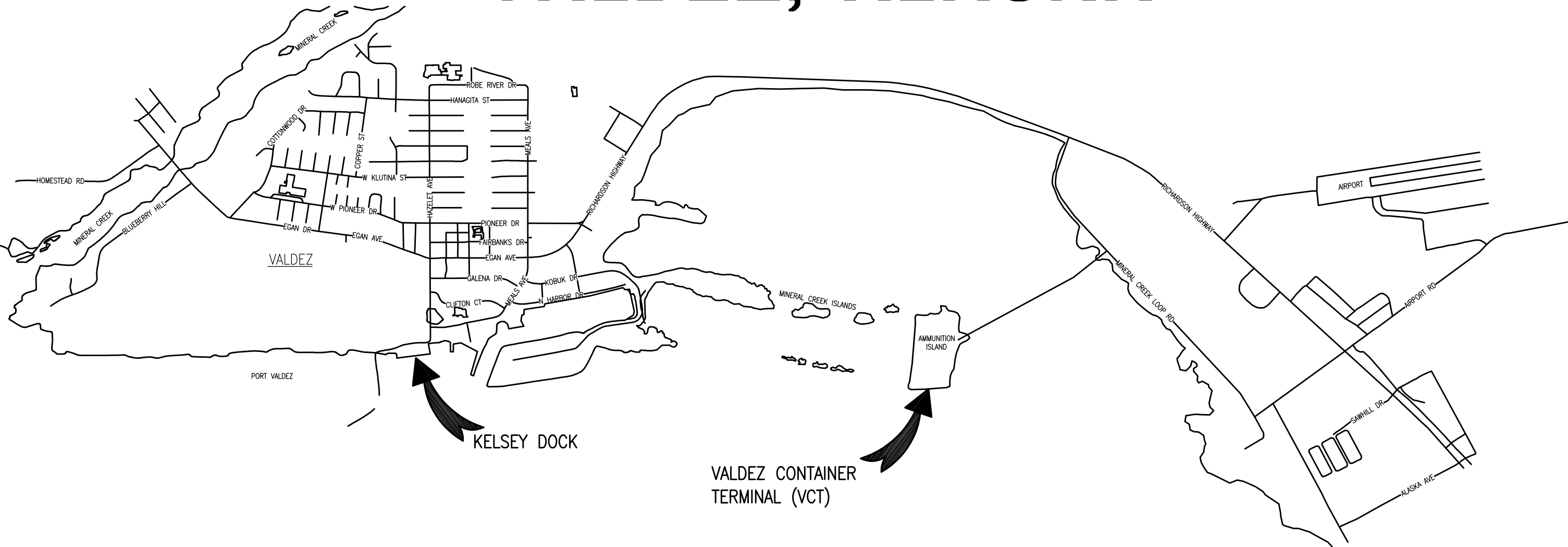
Engineering, Inc.

MECHANICAL AND ELECTRICAL CONSULTING ENGINEERS

670 W. Fireweed Lane  
Anchorage, AK 99503  
Phone (907) 276-0521  
Fax (907) 276-1751  
CORPORATION NO.: AECC542



**VALDEZ, ALASKA**



INDEX TO DRAWINGS:

**ELECTRICAL**

- E0.1 ELECTRICAL LEGEND AND SPECIFICATIONS
- E0.2 ELECTRICAL DETAILS
- E0.3 IP VIDEO SCHEDULE AND RISER DIAGRAMS
- E1.1 VCT SITE PLAN
- E1.2 VCT TRESTLE SITE PLAN
- E2.1 KELSEY DOCK SITE PLAN

**SUMMARY OF WORK:**

INSTALLATION AND INFRASTRUCTURE FOR HIGH-RESOLUTION CAMERAS AT THE VALDEZ CONTAINER TERMINAL (VCT) AND KELSEY DOCK. CONTRACTOR TO PROVIDE CONDUIT, CABLING, CAMERAS, LICENSES, AND REQUIRED MOUNTING HARDWARE. CITY OF VALDEZ TO PROVIDE SERVER STORAGE AND NETWORK SWITCHES. CAMERAS WILL BE CONNECTED TO EXISTING CITY VIDEO SYSTEM.



ELECTRICAL SPECIFICATIONS

26 05 00 – COMMON WORK RESULTS FOR ELECTRICAL

- A. SCOPE OF WORK: FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT FOR A COMPLETE AND WORKABLE ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS.
- B. STANDARDS, CODES AND REGULATIONS: COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING CODE, AND INTERNATIONAL FIRE CODE INCLUDING ALL STATE AND LOCAL AMENDMENTS TO THESE CODES. COMPLY WITH THE LATEST PUBLISHED VERSION OF THE NECA STANDARD OF INSTALLATION.
- C. DRAWINGS: THE DRAWINGS ARE DIAGRAMMATIC, NOT NECESSARILY SHOWING ALL OFFSETS OR EXACT LOCATIONS OF FIXTURES, EQUIPMENT, ETC. UNLESS SPECIFICALLY DIMENSIONED. REVIEW THE DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OTHER CRAFTS BUT INSTALLED IN ACCORDANCE WITH THIS SECTION. BRING QUESTIONABLE OR OBSCURE ITEMS, APPARENT CONFLICTS BETWEEN PLANS AND SPECIFICATIONS, GOVERNING CODES OR UTILITIES REGULATIONS TO THE ATTENTION OF THE OWNER. CODES, ORDINANCES, REGULATIONS, MANUFACTURER’S INSTRUCTIONS OR STANDARDS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH THE DRAWINGS AND SPECIFICATIONS.
- D. RECORD DRAWINGS: MARK UP A CLEAN SET OF DRAWINGS AS THE WORK PROGRESSES TO SHOW THE DIMENSIONED LOCATION AND ROUTING OF ALL ELECTRICAL WORK WHICH WILL BECOME PERMANENTLY CONCEALED. SHOW ROUTING OF WORK IN PERMANENTLY CONCEALED BLIND SPACES WITHIN THE BUILDING. SHOW COMPLETE ROUTING AND SIZING OF ANY SIGNIFICANT REVISIONS TO THE SYSTEMS SHOWN.
- E. WORKMANSHIP: INSTALLATION OF ALL WORK SHALL BE MADE SO THAT ITS SEVERAL COMPONENT PARTS SHALL FUNCTION AS A WORKABLE SYSTEM COMPLETE WITH ALL ACCESSORIES NECESSARY FOR ITS OPERATION. ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER’S RECOMMENDATIONS, INSTRUCTIONS AND/OR INSTALLATION DRAWINGS AND IN ACCORDANCE WITH NECA STANDARDS. MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM WITH APPLICABLE INDUSTRY STANDARDS, NEMA STANDARDS AND UNDERWRITERS LABORATORIES STANDARDS WHERE APPLICABLE.
- F. SUBMITTALS: PROVIDE MATERIAL AND EQUIPMENT SUBMITTALS CONTAINING A COMPLETE LISTING OF MATERIAL AND EQUIPMENT SHOWN ON THE DRAWINGS. INCLUDE CATALOG NUMBERS, WIRING DIAGRAMS, ROUGH-IN DIMENSIONS AND PERFORMANCE DATA FOR ALL MATERIAL AND EQUIPMENT. SUBMITTALS SHALL BE IN ELECTRONIC .PDF FORMAT, SEPARATE FROM WORK FURNISHED UNDER OTHER DIVISIONS. INDEX AND CLEARLY IDENTIFY ALL MATERIAL AND EQUIPMENT BY ITEM, NAME OR DESIGNATION USED ON THE DRAWINGS. SUBMITTAL REVIEW IS FOR GENERAL DESIGN AND ARRANGEMENT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE SUBMITTALS ARE NOT CHECKED FOR QUANTITY, DIMENSION, OR FOR PROPER OPERATION. WHERE DEVIATIONS OF A SUBSTITUTE PRODUCT OR SYSTEM PERFORMANCE HAVE NOT BEEN SPECIFICALLY NOTED IN THE SUBMITTAL BY THE CONTRACTOR, PROVISIONS OF A COMPLETE AND SATISFACTORY WORKING INSTALLATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- G. OPERATION AND MAINTENANCE MANUALS: PROVIDE OPERATION AND MAINTENANCE MANUALS FOR TRAINING OF THE OWNER’S PERSONNEL. PROVIDE INSTRUCTIONS AND A SCHEDULE OF PREVENTIVE MAINTENANCE IN TABULAR FORM FOR ALL ROUTINE CLEANING, INSPECTION AND LUBRICATION WITH RECOMMENDED LUBRICANTS. PROVIDE INSTRUCTIONS FOR MINOR REPAIR OR ADJUSTMENTS REQUIRED FOR PREVENTIVE MAINTENANCE ROUTINES. PROVIDE MANUFACTURER’S DESCRIPTIVE LITERATURE INCLUDING APPROVED SHOP DRAWINGS COVERING DEVICES USED IN ANY CONTRACTOR–PROVIDED EQUIPMENT OR SYSTEMS WITH ILLUSTRATION, EXPLODED VIEWS, ETC.
- H. WARRANTY: THE CONTRACTOR SHALL GUARANTEE ALL WORK EXECUTED UNDER THIS CONTRACT TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM BENEFICIAL OCCUPANCY. ANY FAULTY MATERIALS OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER DURING THE GUARANTEE PERIOD.
- I. PERMITS: SECURE AND PAY FOR ALL FEES, PERMITS, ETC. REQUIRED BY LOCAL AND STATE AGENCIES.
- J. REFERENCE SYMBOLS: THE ELECTRICAL “LEGEND” ON THE DRAWINGS IS A STANDARDIZED VERSION, AND ALL SYMBOLS SHOWN MAY NOT BE USED. USE THE “LEGEND” AS A REFERENCE FOR THE SYMBOLS USED ON THE DRAWINGS.

26 05 19 – WIRE AND CABLE

- A. SUBMITTALS: NONE REQUIRED FOR THIS SECTION.
- B. MATERIALS:
1. ALL CONDUCTORS SHALL BE COPPER TYPE XHHW INSULATION. MINIMUM BRANCH CIRCUIT CONDUCTOR SIZE SHALL BE #12 AWG. MINIMUM CONTROL CIRCUIT CONDUCTOR SIZE SHALL BE #18 AWG.
- C. INSTALLATION:
1. COLOR CODE WIRES BY LINE OR PHASE. COLOR CODE THE 120/208V CONDUCTORS BLACK, RED, BLUE, AND WHITE.
  2. DO NOT SHARE NEUTRAL CONDUCTORS. PROVIDE A DEDICATED NEUTRAL CONDUCTOR FOR EACH BRANCH CIRCUIT THAT REQUIRES A NEUTRAL.
  3. USE PROPERLY SIZED INSULATED SPRING WIRE CONNECTORS WITH PLASTIC CAPS FOR ALL CONDUCTORS #8 AWG AND SMALLER.

26 05 26 – GROUNDING AND BONDING

- A. SUBMITTALS: NONE REQUIRED FOR THIS SECTION.
- B. INSTALLATION:
1. PROVIDE A SEPARATE, INSULATED EQUIPMENT GROUNDING CONDUCTOR IN ALL NEW BRANCH CIRCUITS AND FEEDERS. TERMINATE EACH END ON A GROUNDING LUG, BUS, OR BUSHING.
  2. BOND TOGETHER EXPOSED NON–CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT, METAL RACEWAY SYSTEMS, GROUNDING CONDUCTOR IN RACEWAYS AND CABLES.

26 05 33 – RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS

- A. SUBMITTALS: NONE REQUIRED FOR THIS SECTION.
- B. MATERIALS:
1. RIGID STEEL CONDUIT: ANSI C80.1. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; THREADED TYPE WITH INSULATED THROAT BUSHINGS, MATERIAL TO MATCH CONDUIT.

2. INTERMEDIATE METAL CONDUIT (IMC): GALVANIZED STEEL. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; USE FITTINGS AND CONDUIT BODIES SPECIFIED ABOVE FOR RIGID STEEL CONDUIT.
  3. LIQUIDTIGHT FLEXIBLE CONDUIT: FLEXIBLE METAL CONDUIT WITH PVC JACKET. FITTINGS AND CONDUIT BODIES: ANSI/NEMA FB 1; STEEL OR MALLEABLE IRON WITH INSULATED THROAT BUSHINGS. DIE CAST FITTINGS ARE NOT ACCEPTABLE.
  4. RIGID NONMETALLIC CONDUIT: NEMA TC 2; SCHEDULE 40 PVC, RATED FOR 90° C CABLE.
  5. PROVIDE CAST ALUMINUM OR FERALLOY TYPE BOXES WITH GASKETED COVER, THREADED HUBS AND NEMA 3R RATING FOR USE IN EXTERIOR LOCATIONS.
  6. POLYMER CONCRETE JUNCTION BOXES FOR UNDERGROUND INSTALLATIONS: POLYMER CONCRETE CONSISTING OF SAND AND AGGREGATE BOUND TOGETHER WITH A POLYMER RESIN. INTERNAL REINFORCEMENT SHALL BE PROVIDED BY MEANS OF STEEL, FIBERGLASS OR A COMBINATION OF THE TWO. THE INSTALLED ENCLOSURE SHALL BE RATED FOR A MINIMUM TEST LOAD OF 7500 POUNDS DISTRIBUTED OVER A 10 INCH BY 10 INCH AREA AND USED IN OCCASIONAL, NON–DELIBERATE VEHICULAR TRAFFIC OR PEDESTRIAN TRAFFIC APPLICATION. ALL HARDWARE SHALL BE STAINLESS STEEL.
- C. INSTALLATION:
1. INSTALL CONDUIT FOR ALL SYSTEMS UNLESS OTHERWISE NOTED, 1/2 INCH MINIMUM SIZE, EXCEPT CONDUIT FOR SPECIAL SYSTEMS SHALL BE 1” MINIMUM. IN EXPOSED OUTDOOR LOCATIONS, SHALL BE RIGID STEEL CONDUIT OR INTERMEDIATE METAL CONDUIT. BELOW BELOW GRADE SHALL BE RIGID NON–METALLIC CONDUIT.
  2. EXPOSED DRY INTERIOR LOCATIONS SHALL BE RIGID STEEL CONDUIT OR INTERMEDIATE METAL CONDUIT.
  3. PAINT ALL EXPOSED CONDUIT TO MATCH SURFACE TO WHICH IT IS ATTACHED OR CROSSES. CLEAN GREASY OR DIRTY CONDUIT PRIOR TO PAINTING IN ACCORDANCE WITH PAINT MANUFACTURER’S INSTRUCTIONS.
  4. ALL CONDUIT FOR THE TELECOMMUNICATIONS DISTRIBUTION SYSTEM SHALL BE INSTALLED WITH NO MORE THAN THREE 90–DEGREE BENDS BETWEEN PULLBOXES. PULL BOXES SHALL NOT BE USED IN LIEU OF CONDUIT BENDS. CONDULETS (LB FITTINGS) SHALL NOT BE INSTALLED IN ANY TELECOMMUNICATIONS RACEWAY.
  5. PROVIDE OUTLET BOXES AS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS, DEVICE INSTALLATION AND CODE COMPLIANCE.
  6. SUPPORT BOXES INDEPENDENTLY OF CONDUIT.
  7. COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF OUTLETS MOUNTED ABOVE COUNTERS, BENCHES AND BACKSPASHES.

26 05 53 – IDENTIFICATION FOR ELECTRICAL SYSTEMS

- A. SUBMITTALS: NONE REQUIRED FOR THIS SECTION.
- B. MATERIALS:
1. TAPE LABELS: ADHESIVE TAPE LABELS, WITH 3/16 INCH BOLD BLACK LETTERS ON CLEAR BACKGROUND MADE USING DYMO RHINO SERIES OR EQUAL LABEL PRINTER.
  2. WIRE AND CABLE MARKERS: CLOTH MARKERS, SPLIT SLEEVE OR TUBING TYPE.
- C. INSTALLATION:
1. CONDUITS: MARK ALL CONDUITS ENTERING OR LEAVING PANELBOARDS WITH INDELIBLE BLACK MAGIC MARKER WITH THE CIRCUIT NUMBERS OF THE CIRCUITS CONTAINED INSIDE. LABEL FEEDER CONDUITS AND SPARE CONDUITS AT EACH END WITH SOURCE AND TERMINATION POINT.
  2. JUNCTION BOXES: MARK ALL CIRCUIT NUMBERS OF WIRING ON ALL JUNCTION BOXES WITH SHEET STEEL COVERS. MARK WITH INDELIBLE BLACK MARKER. ON EXPOSED JUNCTION BOXES IN PUBLIC AREAS, MARK ON INSIDE OF COVER. MARK ALL FIRE ALARM SYSTEM JUNCTION BOXES WITH SHEET STEEL COVERS WITH “FA.” MARK WITH INDELIBLE RED MARKER. MARK ALL OTHER SPECIAL SYSTEM JUNCTION BOXES WITH SHEET STEEL COVERS.
  3. WIRE IDENTIFICATION: PROVIDE WIRE MARKERS ON EACH CONDUCTOR IN PANELBOARD GUTTERS, PULL BOXES, OUTLET AND JUNCTION BOXES, AND AT LOAD CONNECTION. MARKERS SHALL BE LOCATED WITHIN ONE INCH OF EACH CABLE END, EXCEPT AT PANELBOARDS, WHERE MARKERS FOR BRANCH CIRCUIT CONDUCTORS SHALL BE VISIBLE WITHOUT REMOVING PANEL DEADFRONT.
  4. DEVICE PLATES: LABEL EACH RECEPTACLE DEVICE PLATE OR POINT OF CONNECTION DENOTING THE PANELBOARD NAME AND CIRCUIT NUMBER. INSTALL LABEL ON THE TOP OF EACH PLATE.

26 24 16 – PANELBOARDS

- A. SUBMITTALS: SUBMIT PRODUCT DATA FOR APPROVAL.
- B. MATERIAL:
1. MANUFACTURERS: MATCH EXISTING.
  2. NEW BREAKERS IN EXISTING PANELS: NEMA AB 1; UL LISTED FOR USE IN THE PANEL, AMPERE RATING AND NUMBER OF POLES AS INDICATED ON PLANS. AIC RATING SHALL MATCH THE LOWEST RATED DEVICE IN THE PANEL.
- C. INSTALLATION:
1. INSTALL NEW BREAKER(S) IN EXISTING PANEL(S) AND TEST FOR PROPER OPERATION. UPDATE CIRCUIT DIRECTORY TO REFLECT ALL CHANGES.

27 10 00 – STRUCTURED CABLING

- A. SUMMARY: THIS SECTION INCLUDES REQUIREMENTS FOR THE DESIGN AND INSTALLATION OF A TELECOMMUNICATIONS CABLING SYSTEM INCLUDING COMMUNICATIONS CABLE, EQUIPMENT RACKS, ETC. AS REQUIRED FOR A COMPLETE AND FUNCTIONAL TELECOMMUNICATIONS CABLING SYSTEM. QUALITY ASSURANCE: ALL PRODUCTS SHALL BE OF ONE MANUFACTURER’S STRUCTURED CABLING SYSTEM. THE MANUFACTURER SHALL BE A COMPANY SPECIALIZING IN MANUFACTURING THE PRODUCTS SPECIFIED WITH A MINIMUM 5 YEARS DOCUMENTED EXPERIENCE. THE INSTALLER SHALL BE A COMPANY SPECIALIZING IN PERFORMING THIS TYPE OF WORK WITH A MINIMUM 3 YEARS DOCUMENTED EXPERIENCE AND MANUFACTURER’S CERTIFICATION TO INSTALL THE PRODUCT. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS: TIA/EIA 568–B.1–3, TIA/EIA 569\_A, AND TIA/EIA 607.
- B. SUBMITTALS: SUBMIT PRODUCT DATA AND DETAILED SHOP DRAWINGS FOR APPROVAL.

C. MATERIALS:

1. ALL MATERIALS SHALL BE LATEST AVAILABLE PRODUCT AT TIME OF SUBMITTALS.
  2. WALL CABINET: CHATSWORTH #11900–736 OR APPROVED EQUAL, 36–INCH HIGH, 24–INCH DEEP, THREE–PART SWING OUT DOOR WITH FRONT AND REAR ACCESS, 19 RACK–MOUNT UNITS OF USABLE SPACE, CLEAR FINISH, VERTICAL CABLE MANAGEMENT ON HINGE SIDE OF RACK, AND LOW–DECIBEL DUAL–FAN WITH FILTER. THE WALL CABINET SHALL BE CAPABLE OF SUPPORTING 150 POUNDS AND SHALL OPEN TO 180 DEGREES. PROVIDE WITH CHATSWORTH #RACK–MOUNTED GROUNDING KIT (MOUNTED ON THE EQUIPMENT RACK), AND ONE TRIPP–LITE # ISOBAR12–20ULTRA OR APPROVED EQUAL RACK–MOUNTED SURGE PROTECTIVE OUTLET STRIP MOUNTED AT BASE OF RACK.
  3. UTP TELECOMMUNICATION CABLE: PLENUM–RATED CL2P, CATEGORY 6, 4 PAIR, 24 AWG, SOLID COPPER CONDUCTOR TELECOMMUNICATIONS CABLE. SUPERIOR ESSEX “DATAGAIN” CMP OR APPROVED EQUAL.
  4. UTP TELECOMMUNICATIONS JACK: RJ–45, CATEGORY 6, T568A/B, 8P8C, SINGLE, WHITE FINISH, TELECOMMUNICATIONS JACK WITH FLUSH EXIT WITH SINGLE–GANG FACEPLATES WITH FINISH TO MATCH JACK. ORTRONICS “TRACJACK CLARITY 6” #OR–TJ600 OR APPROVED EQUAL.
  5. FIBER OPTIC CABLE: ALL SINGLE–MODE FIBER OPTIC CABLES SHALL BE UL LISTED, LOOSE TUBE, WATER BLOCKING, DRY CORE. SUPERIOR ESSEX #11012KT01 OR EQUAL.
  6. CABLE SUPPORT: ALL CABLES NOT INSTALLED IN CONDUIT SHALL BE SUPPORTED USING J–HOOKS, CADDY CABLECAT SERIES OR APPROVED EQUAL, WITH A MINIMUM J–HOOK SIZE EQUIVALENT TO CADDY #CAT32 OR APPROVED EQUAL. SIZE ALL J–HOOKS TO SUPPORT THE QUANTITY OF CABLES INSTALLED, PLUS A MINIMUM OF 25% SPARE CAPACITY. FIBER OPTIC CABLES SHALL BE ROUTED IN 1” INNERDUCT THAT IS SUPPORTED ON A SEPARATE J–HOOK ABOVE THE J–HOOK SUPPORTING THE COPPER CABLES.
  7. FIBER CONNECTORS: ALL FIBERS SHALL BE FIELD INSTALLABLE WITH DUPLEX LC TYPE CONNECTORS WITH CERAMIC FERRULE. ORTRONICS “OPTIMO” #205KAS9GA–09 OR APPROVED EQUAL.
  8. FIBER CONNECTOR PANELS: ALL FIBER CONNECTOR PANELS SHALL BE FIELD INSTALLABLE WITH DUPLEX LC FIBER ADAPTERS WITH CERAMIC SLEEVE AND FIBER DESIGNATION STRIP. (12 FIBERS)ORTRONICS #OR–OFF–LCD12AC OR APPROVED EQUAL. (24 FIBERS)ORTRONICS #OR–OFF–LC0244C OR APPROVED EQUAL.
  9. FIBER CONNECTOR HOUSINGS: SINGLE–DRAWER HOUSING WITH SPACE FOR HORIZONTALLY MOUNTED CONNECTOR PANELS. HOUSING SHALL HAVE A SLIDE–OUT DRAWER WITH LABEL SHEET, SMOKED SHATTERPROOF POLYCARBONATE DOOR WITH LATCH, AND DEEP FRONT SHELF AREA TO PROVIDE ADEQUATE RELIEF FOR CABLES. ORTRONICS #OR–FC02U–P OR APPROVED EQUAL HOUSING WITH CAPACITY FOR UP TO 60 LC FIBERS.
  10. FIBER PATCH CORDS: SINGLE MODE FIBER OPTIC PATCH CORDS SHALL BE UL LISTED, 1–METER FIBER CORDS WITH FLAME–RESISTANT PVC OUTER JACKET. CABLES SHALL HAVE DUPLEX LC TYPE CONNECTORS WITH CERAMIC FERRULE. PATCH CORDS SHALL BE FACTORY TERMINATED AND TESTED TO 10 Gb/s DATA RATES. ORTRONICS #OR–P1DC2IRSZS001M OR APPROVED EQUAL.
  11. MEDIA CONVERTER: ETHERNET TO SFP, 4–PORT POE GIGABIT ETHERNET, OPERATING TEMPERATURE TO –40°C. IFC #MC352–4P–2S OR APPROVED EQUAL. PROVIDE WITH TRANSCEIVERS AND POWER SUPPLY.
  12. FIELD CASSETTE FOR FIBER: 12 FIBER, LC DUPLEX, OS2. LEGRAND #M4LCD12–09S1A1 OR APPROVED EQUAL.
- D. INSTALLATION:
1. STORE A MAXIMUM OF 12 INCHES OF SLACK CABLE AT EACH CAMERA AND A MINIMUM OF 10 FEET OF SLACK CABLE AT EACH RACK. CABLE JACKET SHALL BE MAINTAINED TO WITHIN .5 INCH OF JACK AND TWISTS SHALL BE MAINTAINED TO WITHIN .25 INCH OF TERMINATION POINT. COMPLY WITH CABLE MANUFACTURERS MAXIMUM PULLING TENSION AND MINIMUM BEND RADIUS REQUIREMENTS. DO NOT STRETCH, STRESS, TIGHTLY COIL, BEND OR CRIMP CABLES. PERFORM END–TO–END TESTS OF EACH CABLE AFTER INSTALLATION AND TERMINATION TO SHOW COMPLIANCE WITH ANSI/TIA/EIA REQUIREMENTS.
  2. EACH UTP CABLE SHALL BE TESTED FOR COMPLIANCE WITH TIA/EIA 568–B.1 AND TIA/EIA 568B.2 CATEGORY 6 STANDARDS AFTER INSTALLATION USING A FLUKE #DTX OR APPROVED EQUAL TESTER. EACH FIBER OPTIC CABLE SHALL BE INITIALLY TESTED WITH A LIGHT SOURCE AND POWER METER, PER TIA/EIA–526–14A. MEASURED RESULTS SHALL BE PLUS/MINUS 1DB OF SUBMITTED LOSS BUDGET CALCULATIONS. PROVIDE TEST RESULTS FOR ALL TESTS NOTED ABOVE IN THE FORM OF PRINTOUTS FROM THE TEST EQUIPMENT AND PROVIDE AN ELECTRONIC COPY OF THE TEST DATA FOR EACH CABLE. WHERE ANY PORTION OF THE SYSTEM DOES NOT MEET THE SPECIFICATIONS, THE CONTRACTOR SHALL CORRECT THE DEVIATION AND REPEAT ANY APPLICABLE TESTING AT NO ADDITIONAL COST TO THE OWNER. ACCEPTANCE OF THE TELECOMMUNICATIONS SYSTEM SHALL BE BASED ON THE RESULTS OF THE ABOVE TESTS, FUNCTIONALITY, AND THE RECEIPT OF DOCUMENTATION.
  3. ALL FIBER OPTIC CABLES SHALL BE RUN CONTINUOUS WITH NO SPLICES.
  4. ALL FIBER OPTIC CABLES SHALL BE TERMINATED AT EACH END OF THEIR RESPECTIVE CONNECTORS.
  5. INITIALLY TEST EACH FIBER OPTIC CABLE WITH A LIGHT SOURCE AND POWER METER, UTILIZING MEET MEET THE REQUIREMENTS OF TIA/EIA–526–7. MEASURED RESULTS SHALL BE PLUS/MINUS 1DB OF SUBMITTED LOSS BUDGET CALCULATIONS. IF LOSS FIGURES ARE OUTSIDE THIS RANGE, TEST CABLE WITH AN OPTICAL TIME DOMAIN REFLECTOMETER (OTDR) IN ACCORDANCE WITH TIA/EIA 455–61 TO DETERMINE THE CAUSE OF VARIATION. IMPROPER TERMINATIONS SHALL BE RE–DONE AND DAMAGED CABLE SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. THE MAXIMUM ACCEPTABLE SIGNAL LOSS THROUGH THE ENTIRE FIBER PATH, INCLUDING CABLE, COUPLINGS, AND JUMPERS SHALL NOT EXCEED TIA/EIA 568–B.3 STANDARDS.



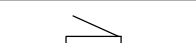




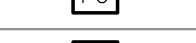
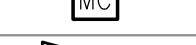
28 23 00 – VIDEO SURVEILLANCE

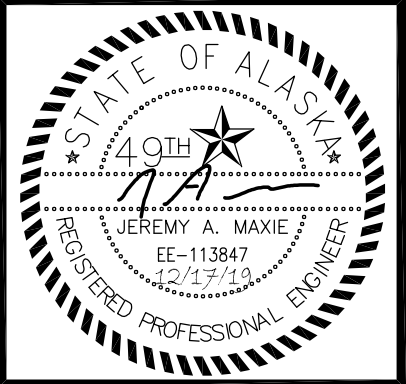
- A. SUMMARY: THIS SECTION INCLUDES A NEW VIDEO SURVEILLANCE SYSTEM IN THE FACILITY COMPLETE WITH EXTERIOR IP CAMERAS. .

- B. SUBMITTALS: SUBMIT PRODUCT DATA AND DETAILED SHOP DRAWINGS FOR APPROVAL.

C. MATERIALS:

1. ALL MATERIALS SHALL BE LATEST AVAILABLE PRODUCT AT TIME OF SUBMITTALS.
  2. TYPE ‘A’: EXTERIOR IP FIXED PENDANT DOME CAMERA, AVIGILON #2.0C–H4A–DP1–B OR APPROVED EQUAL 2.0 MEGAPIXEL, IP COLOR CAMERA.
  3. TYPE ‘B’: EXTERIOR IP FIXED PENDANT DOME CAMERA, AVIGILON #8L–HAPRO–B OR APPROVED EQUAL 8.0 MEGAPIXEL, IP COLOR CAMERA.
  4. TYPE ‘C’: EXTERIOR IP PAN–TILT–ZOOM DOME CAMERA: AVIGILON #2.0C–H4PTZ–DP30 OR APPROVED EQUAL 2.0 MEGAPIXEL, IP COLOR CAMERA.
  5. GENERAL HARDWARE AND MOUNTS: AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
  6. TYPE ‘D’: EXTERIOR IP 360° PENDANT DOME CAMERA: AVIGILON #12C–H4A–4MH–360 OR APPROVED EQUAL 4 SENSOR, 3.0 MEGAPIXEL, IP COLOR CAMERA.
  7. GENERAL HARDWARE AND MOUNTS: AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
  8. WIRE AND CABLE: PER SECTION 27 10 00 EXCEPT WITH GREEN JACKET.
  9. SERVER, NETWORK SWITCH, WORKSTATIONS: OWNER FURNISHED AND CONTRACTOR INSTALLED.
  10. VIDEO MANAGEMENT SYSTEM: CITY OF VALDEZ AVIGILON SYSTEM. CONTRACTOR SHALL PROVIDE NEW LICENSES FOR ALL NEW CAMERAS.
- D. INSTALLATION:
1. INSTALL AND TEST WIRING PER SECTION 27 10 00.
  2. NO WIRING OTHER THAN THAT DIRECTLY ASSOCIATED WITH THE VIDEO SURVEILLANCE SYSTEM SHALL BE PERMITTED IN VIDEO SURVEILLANCE SYSTEM CONDUITS AND PATHWAYS.
  3. COORDINATE ALL FINAL CAMERA LOCATIONS WITH OWNER’S REPRESENTATIVE PRIOR TO ROUGH–IN AND AVOID CONFLICTS WITH EXISTING EQUIPMENT AND OBJECTS THAT MAY OBSTRUCT THE FIELD OF VIEW OR, IN THE CASE OF LIGHT FIXTURES, MAY AFFECT THE CAMERA PERFORMANCE AND QUALITY OF THE VIDEO IMAGE.
  4. ANY CAMERA THAT IS LOCATED SO THAT CAMERA PERFORMANCE OR FIELD OF VIEW IS ADVERSELY AFFECTED SHALL BE RELOCATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  5. LABEL ALL VIDEO SURVEILLANCE SYSTEM JUNCTION BOXES. FOR JUNCTION BOXES ABOVE CEILINGS, MARK THE BOX COVER WITH “IP VIDEO” USING PERMANENT BLACK MARKER. FOR JUNCTION BOXES IN FINISHED AREAS, MARK THE INSIDE OF THE COVER.
  6. FIXED CAMERAS: THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO OBTAIN THE DESIRED FIELD OF VIEW FOR EACH NEW CAMERA. THIS INCLUDES, BUT IS NOT LIMITED TO, ADJUSTING CAMERA AIMING POINT, WHITE BALANCE, BACKLIGHT COMPENSATION, AGC, IRIS CONTROL, VIEWING ANGLE, AND ADJUSTING VARI–FOCAL LENSES.
  7. INSTALL AND TEST IN ACCORDANCE WITH THE MANUFACTURER’S RECOMMENDATIONS

LEGEND	
	CONDUIT
	JUNCTION BOX
	EXISTING PANEL
	IP VIDEO CAMERA (POLE MOUNTED)
	PAN–TILT–ZOOM IP VIDEO CAMERA (POLE MOUNTED)
	360° IP VIDEO CAMERA (POLE OR CANOPY MOUNTED)
	FIBER CASSETTE
	PoE MEDIA CONVERTER
	NOTE TAG (No. INDICATES NOTE)
AFG	ABOVE FINISHED GRADE
C	CONDUIT
CO	CONDUIT ONLY
COV	CITY OF VALDEZ
CVT	COPPER VALLEY TELECOM
E	DENOTES EXISTING ITEM
GRSC	GALVANIZED RIGID STEEL CONDUIT
NEC	NATIONAL ELECTRICAL CODE
NTS	NOT TO SCALE
OFOI	OWNER FURNISHED, OWNER INSTALLED
R	DENOTES EXISTING ITEM THAT HAS BEEN RELOCATED
TTB	TELEPHONE TERMINAL BACKBOARD
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF



RISA

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VALDEZ CONTAINER TERMINAL & KELSEY DOCK SECURITY UPGRADES

CITY OF VALDEZ  
P.O. BOX 307  
VALDEZ, AK 99686

REVISIONS:

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DRAWN BY:	FWS
CHECKED BY:	JAM,RLW
DATE:	12/17/2019
JOB NUMBER:	L9040
DWG FILE:	L9040 - ESeries

DRAWING TITLE:  
ELECTRICAL LEGEND AND SPECIFICATIONS

SHEET:  
E0.1



CITY OF VALDEZ  
P.O. BOX 307  
VALDEZ, AK 99686

DRAWN BY: FWS  
CHECKED BY: JAM,RLW  
DATE: 12/17/2019  
JOB NUMBER: L9040  
DWG FILE: L9040 - ESeries

DRAWING TITLE:  
ELECTRICAL DETAILS

SHEET:  
E0.2



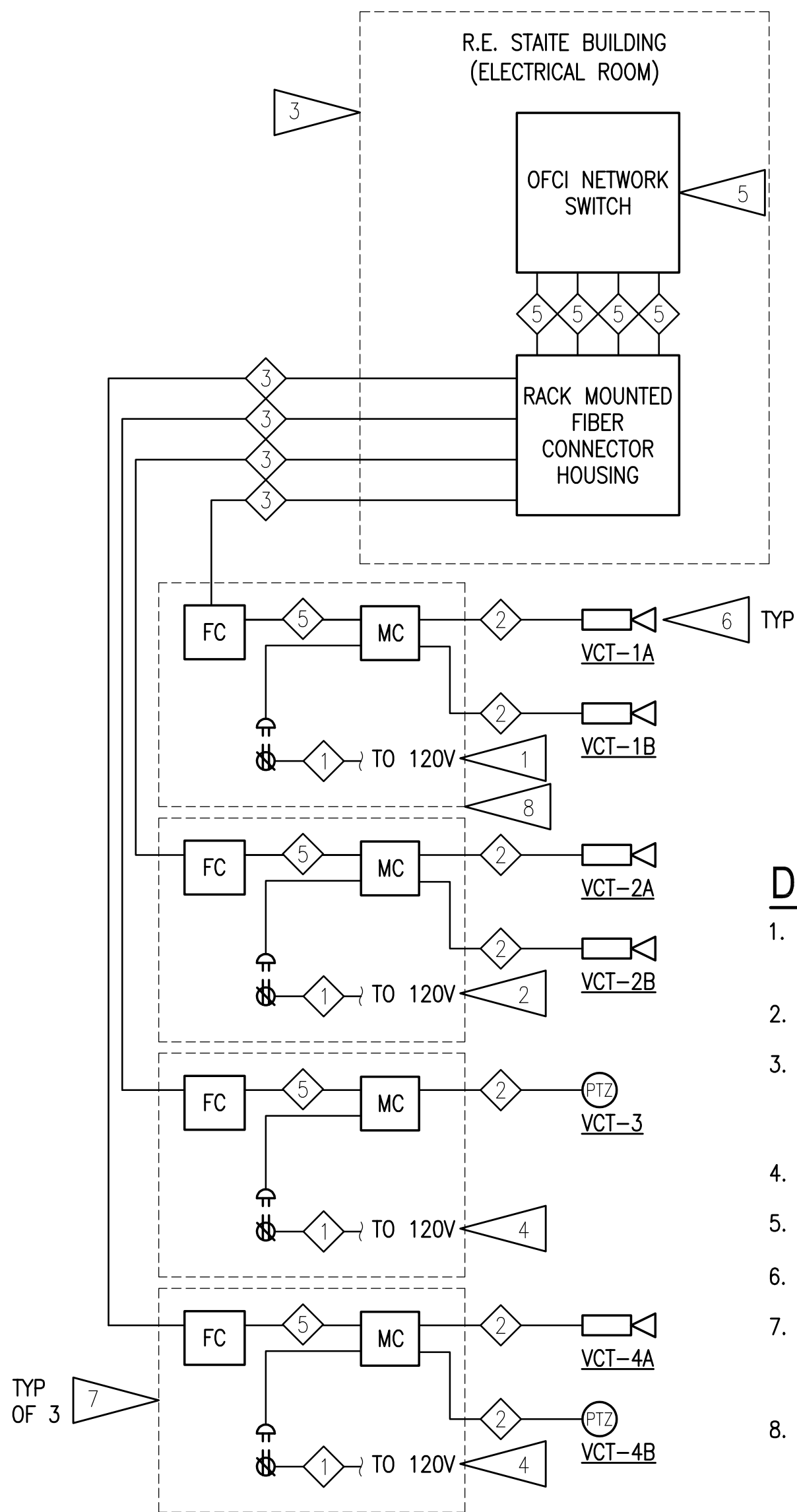
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## IP VIDEO SYSTEM CABLE SCHEDULE

CABLE NUMBER	DESCRIPTION
1	3#10AWG LINE VOLTAGE CONDUCTORS
2	CAMERA FIELD PATCH CORD, CAT 6 UTP, LENGTH AS REQUIRED. EXTERIOR RATED 2#14AWG FOR LOW-VOLTAGE POWER
3	12-STRAND INDOOR/OUTDOOR RATED FIBER OPTIC CABLE
4	CAMERA PoE CABLES, CAT 6 UTP
5	2-STRAND INDOOR/OUTDOOR FIBER PATCH CORD
6	NETWORK PATCH CABLE, CAT 6 UTP

## IP SYSTEM CAMERA SCHEDULE

CAMERA DESIGNATION	CAMERA LOCATION (SEE PLANS)	INTENDED COVERAGE AREA	CAMERA TYPE (SEE SPECS)
VCT-1A	CONTAINER TERMINAL ACCESS GATE	LICENCE PLATE AND FACIAL RECOGNITION OF TRAFFIC ENTERING CONTAINER TERMINAL	TYPE 'A'
VCT-1B	CONTAINER TERMINAL ACCESS GATE	LICENCE PLATE AND FACIAL RECOGNITION OF TRAFFIC EXITING CONTAINER TERMINAL	TYPE 'A'
VCT-2A	CONTAINER TERMINAL WEIGH STATION	GENERAL COVERAGE OF TRAFFIC ENTERING/LEAVING THE CONTAINER TERMINAL	TYPE 'A'
VCT-2B	CONTAINER TERMINAL WEIGH STATION	GENERAL COVERAGE OF ACTIVITY AT WEIGH STATION	TYPE 'A'
VCT-3	ELECTRICAL BUILDING	GENERAL COVERAGE OF CONTAINER AREA PTZ COVERAGE ON AUTOMATED PAN OF VCT	TYPE 'C'
VCT-4A	MAINTENANCE BUILDING	GENERAL COVERAGE OF ACTIVITY ON PIER STATIC COVERAGE HIGH PRIORITY ACTIVITY	TYPE 'B'
VCT-4B	MAINTENANCE BUILDING	GENERAL COVERAGE OF ACTIVITY ON PIER PTZ COVERAGE ON AUTOMATED PAN OF PEIR	TYPE 'C'
KD-1	KELSEY DOCK LIGHT POLE AT WEST DOCK ENTRANCE	GENERAL COVERAGE OF TRAFFIC AROUND WEST ENTRANCE OF DOCK	TYPE 'D'
KD-2	KELSEY DOCK INTERPRETIVE CENTER	GENERAL COVERAGE OF TRAFFIC AROUND INTERPRETIVE CENTER AND MIDDLE DOCK ENTRANCE.	TYPE 'D'
KD-3A	KELSEY DOCK LIGHT POLE AT EAST DOCK ENTRANCE	PAN-TILT-ZOOM WITH RETURN TO VIEW SETTING LOOKING DOWN DOCK	TYPE 'C'
KD-3B	KELSEY DOCK LIGHT POLE AT EAST DOCK ENTRANCE	GENERAL COVERAGE OF TRAFFIC THROUGH EAST ENTRANCE.	TYPE 'A'

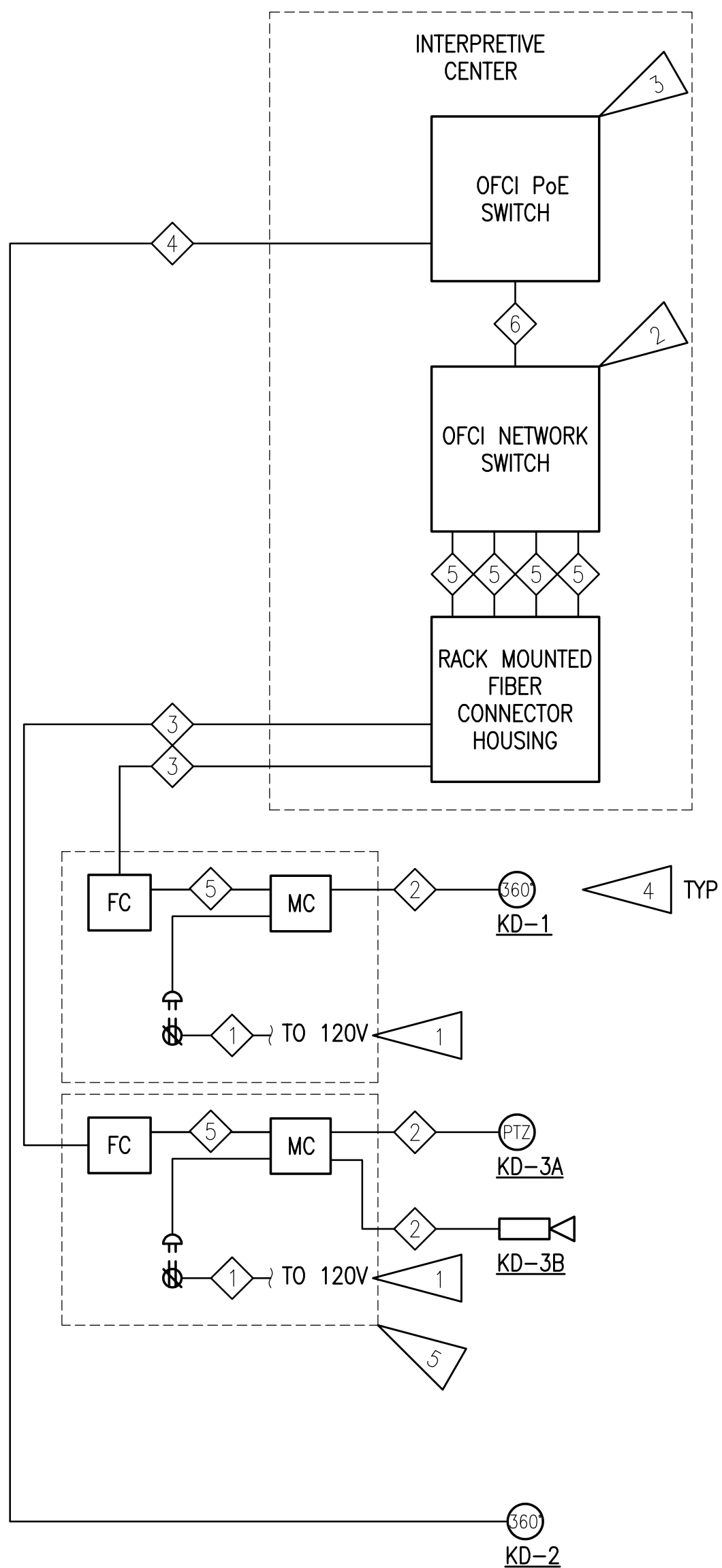


### DETAIL NOTES:

- PROVIDE 120V POWER FROM MINI-POWER ZONE NEAR VCT TRESTLE GATE. SEE 2/E1.2.
- PROVIDE 120V POWER FROM SCALE BUILDING. SEE 1/E1.1.
- PROVIDE WALL-MOUNTED TELECOM CABINET AND INSTALL IN ELECTRICAL ROOM. PROVIDE 120V RECEPTACLE CIRCUIT FOR SURGE PROTECTION AND CONNECT TO AVAILABLE SPARE BREAKER IN NEARBY 120/208V PANEL IN ELECTRICAL ROOM.
- PROVIDE 120V POWER FROM MAINTENANCE BUILDING. SEE 1/E1.1.
- NEW OWNER-FURNISHED, CONTRACTOR-INSTALLED FIBER SWITCH.
- SEE 1/E1.1 AND 1/E1.2 FOR LOCATION.
- PROVIDE LOCKABLE ENCLOSURE TO HOUSE FIBER CASSETTE, MEDIA CONVERTER AND RECEPTACLE. COORDINATE WITH COV PROJECT MANAGER TO FIELD LOCATE ENCLOSURE IN BUILDING.
- PROVIDE LOCKABLE NEMA 3R STAINLESS STEEL BOX TO HOUSE FIBER CASSETTE, MEDIA CONVERTER, AND RECEPTACLE. SECURE TO EXISTING LIGHT POLE. SEE 1/E1.2 FOR POLE LOCATION.

## 1 VCT IP VIDEO ONE-LINE DIAGRAM

NO SCALE



### DETAIL NOTES:

- CONNECT TO AVAILABLE SPARE CIRCUIT IN VISITOR CENTER. A SINGLE CIRCUIT MAY BE USED FOR CAMERAS FOR BOTH CAMERA LOCATIONS. PROVIDE 3#10 AWG WIRE IN EXISTING CONDUIT.
- NEW OWNER-FURNISHED, CONTRACTOR-INSTALLED FIBER SWITCH. MOUNT IN EXISTING TELECOM RACK. SEE 1/E2.1 FOR APPROXIMATE LOCATION.
- NEW OWNER-FURNISHED, CONTRACTOR-INSTALLED POE SWITCH. MOUNT IN EXISTING TELECOM RACK. SEE 1/E2.1 FOR APPROXIMATE LOCATION.
- SEE 1/E2.1 FOR LOCATION.
- PROVIDE LOCKABLE NEMA 3R STAINLESS STEEL BOX TO HOUSE FIBER CASSETTE, MEDIA CONVERTER, AND RECEPTACLE. SECURE TO EXISTING LIGHT POLE. SEE 1/E2.1 FOR POLE LOCATION.

## 2 KELSEY DOCK IP VIDEO ONE-LINE DIAGRAM

NO SCALE



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**VALDEZ CONTAINER TERMINAL &  
KELSEY DOCK SECURITY UPGRADES**

CITY OF VALDEZ  
P.O. BOX 307  
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REVISIONS:

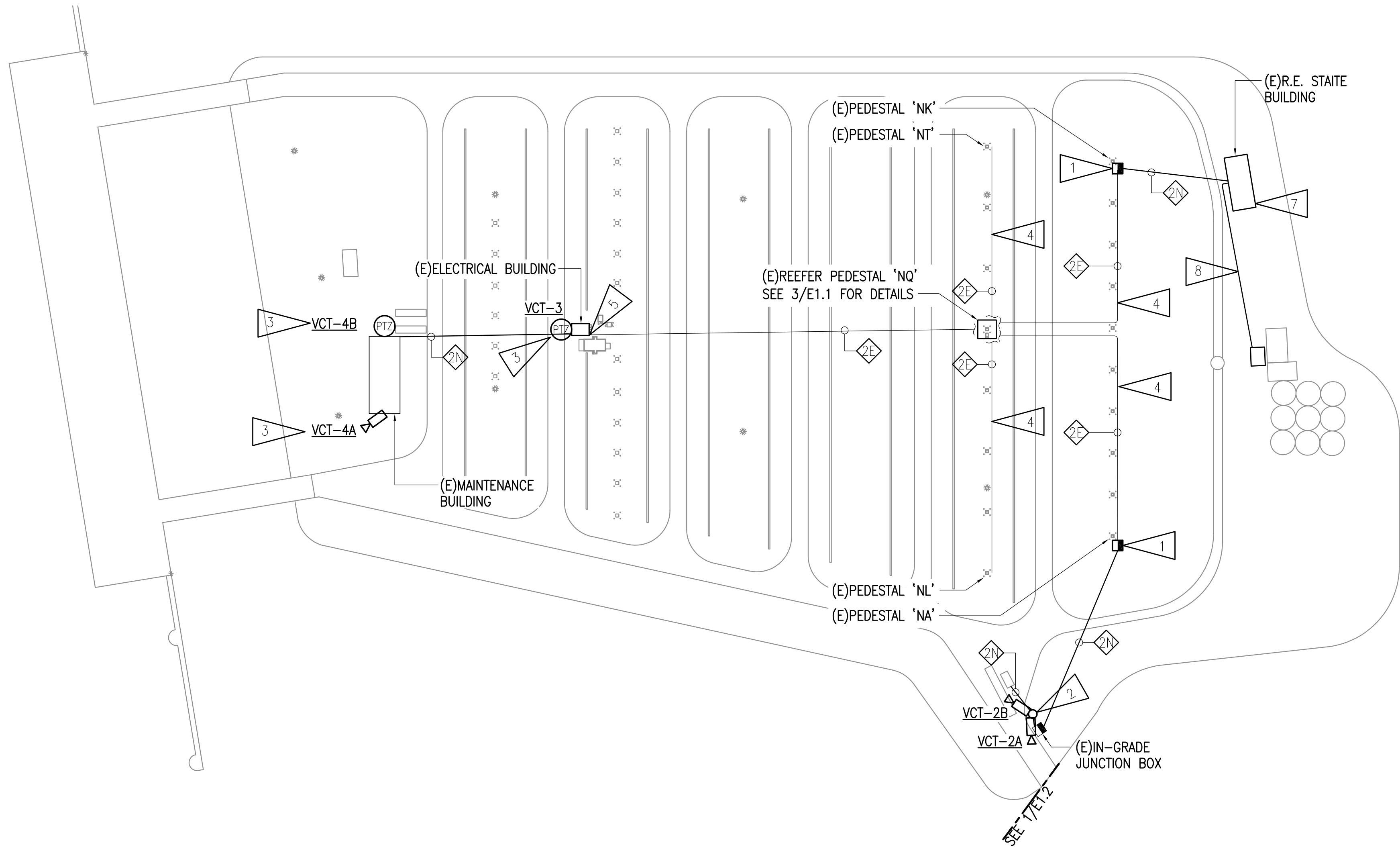
DRAWN BY: FWS  
CHECKED BY: JAM,RLW  
DATE: 12/17/2019  
JOB NUMBER: L9040  
DWG FILE: L9040 - ESeries

DRAWING TITLE:  
IP VIDEO SCHEDULE AND  
RISER DIAGRAMS

SHEET:

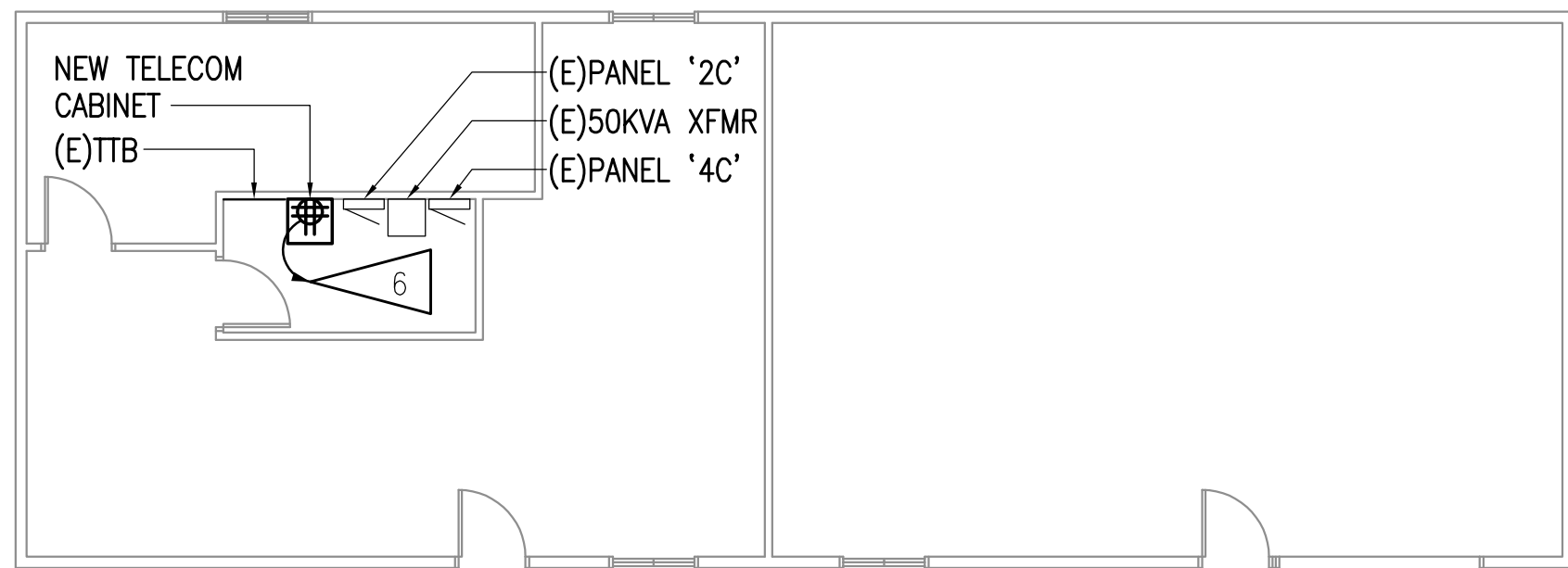
E0.3

0"  
1"  
2"  
3"

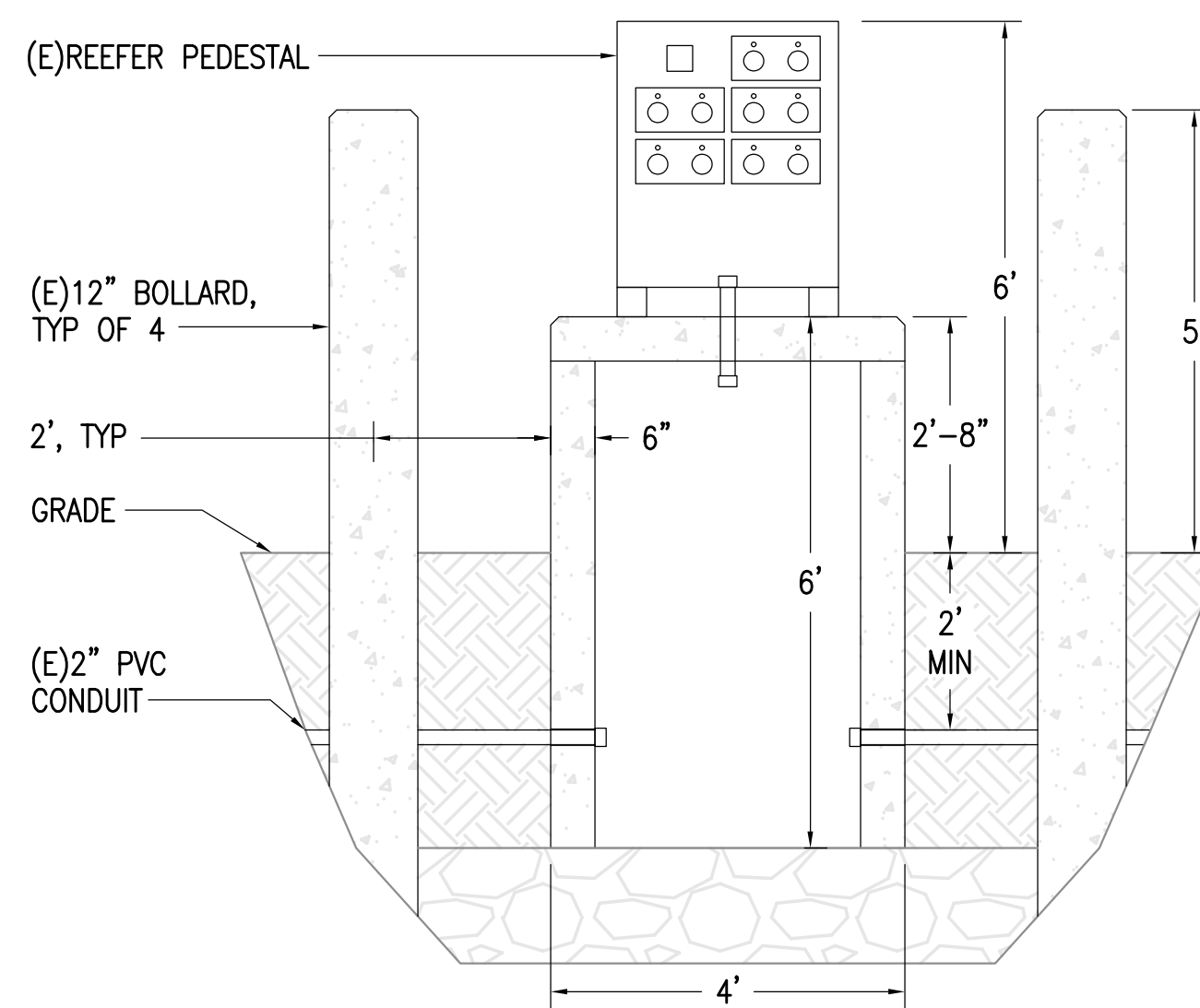


1 VCT SITE PLAN  
1" = 100'-0"

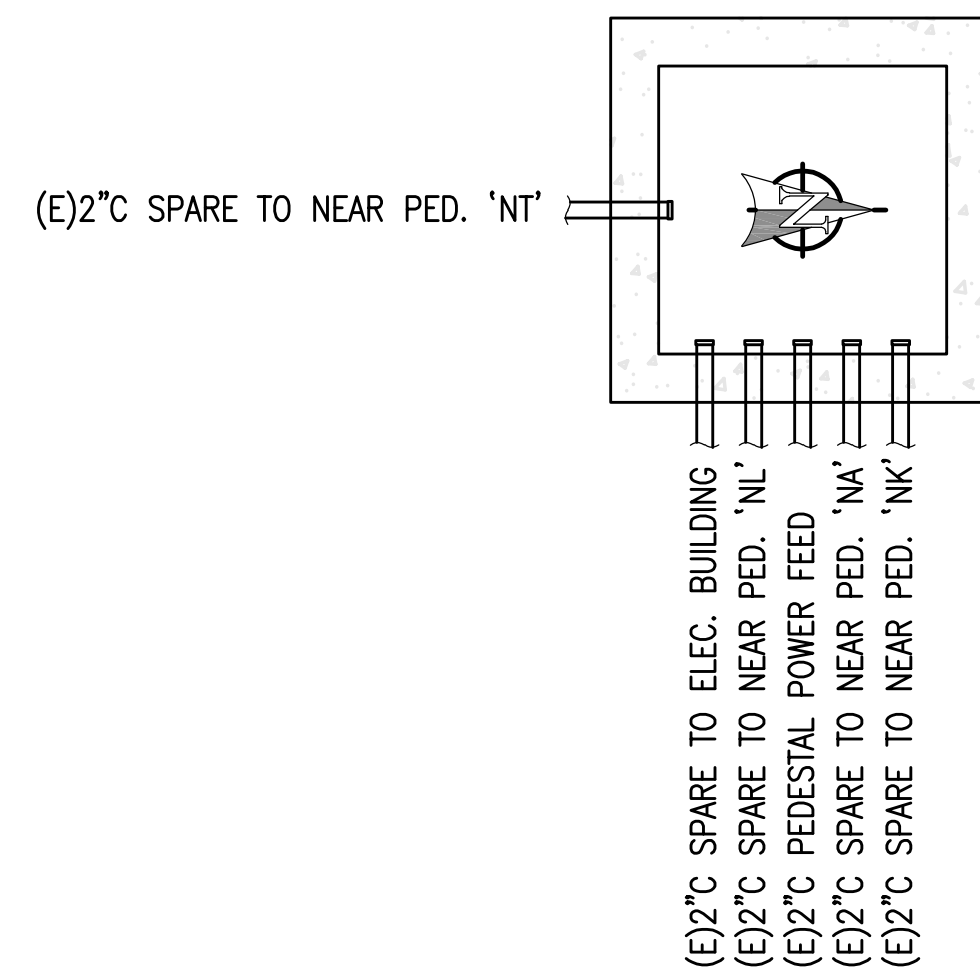
2 R.E. STAITE BUILDING  
NOT TO SCALE



3 EXISTING REEFER PEDESTAL VAULT 'NQ'  
NOT TO SCALE



ELEVATION



PLAN VIEW

## CONDUIT SCHEDULE

- 2N NEW 2" PVC SCH. 40
- 2E EXISTING 2" PVC SCH. 40

## GENERAL NOTES:

- A. SEE 1/E0.3 FOR VIDEO ONE-LINE DIAGRAM AND ADDITIONAL DETAIL.

## SHEET NOTES:

1. NEW IN-GRADE JUNCTION BOX FOR EXTENDING EXISTING 2" PVC.
2. PROVIDE NEW 25' LIGHT POLE FOR CAMERAS. MOUNT CAMERAS +15' AFG. NO LIGHT FIXTURE SHALL BE INSTALLED AT THIS TIME. LITHONIA #RSS-25-5B-VD-IC-DBXD OR APPROVED EQUAL.
3. CAMERA SHALL BE MOUNTED 10' ABOVE ROOF LINE. PROVIDE 4" MAST, ANCHORED IN AT LEAST (2) LOCATIONS TO THE BUILDING WITH MINIMUM 3' SPACING. ROUTE CABLING THROUGH BUILDING TO NEW TRENCH ROUTE.
4. EXISTING 2" CONDUIT ARE STUBBED INTO REEFER PEDESTAL 'NQ' ONLY AND ARE RAN CONTINUOUSLY FROM PED. 'NQ' TO THEIR STUB UP LOCATIONS.
5. EXISTING 2" PVC CONDUIT STUBBED UP ABOVE GRADE AT ELECTRICAL BUILDING. EXTEND INTO ELECTRICAL BUILDING AND SEAL PENETRATION.
6. CONNECT TO AVAILABLE SPARE BREAKER IN PANEL 2C.
7. LOCATE NEW TELECOM CABINET IN ELECTRICAL ROOM. PROVIDE 120V POWER FROM SPARE CIRCUIT IN PANEL 2C. SEE 2/E1.1 FOR BUILDING FLOOR PLAN.
8. CONDUIT, CABLING AND TRENCHING OF CVT UTILITIES TO BE PROVIDED BY CVT. COORDINATE WITH CVT AND PROVIDE 2"C PATHWAY WAY FROM UTILITY ENTRANCE IN R.E. STAITE BUILDING TO TELECOM LOCATION.



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**Engineering, Inc.**  
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Anchorage, AK 99503  
Phone (907) 276-0521  
Corporate No.: AECC542

**VALDEZ CONTAINER TERMINAL &  
KELSEY DOCK SECURITY UPGRADES**

CITY OF VALDEZ  
P.O. BOX 307  
VALDEZ, AK 99686

REVISIONS:

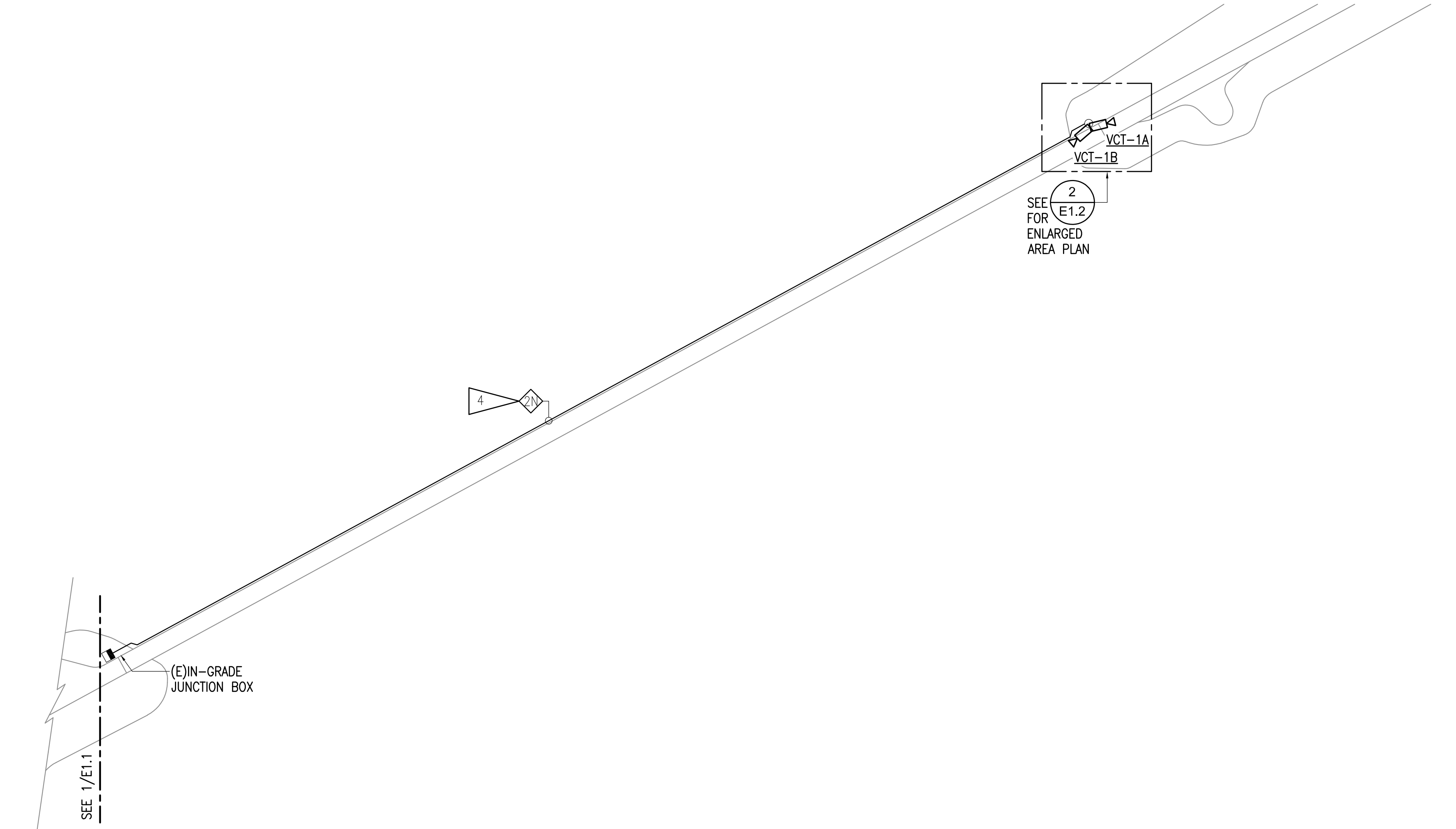
DRAWN BY: FWS  
CHECKED BY: JAM,RLW  
DATE: 12/17/2019  
JOB NUMBER: L9040  
DWG FILE: L9040 - ESeries

DRAWING TITLE:  
VCT SITE PLAN  
(ALTERNATE)

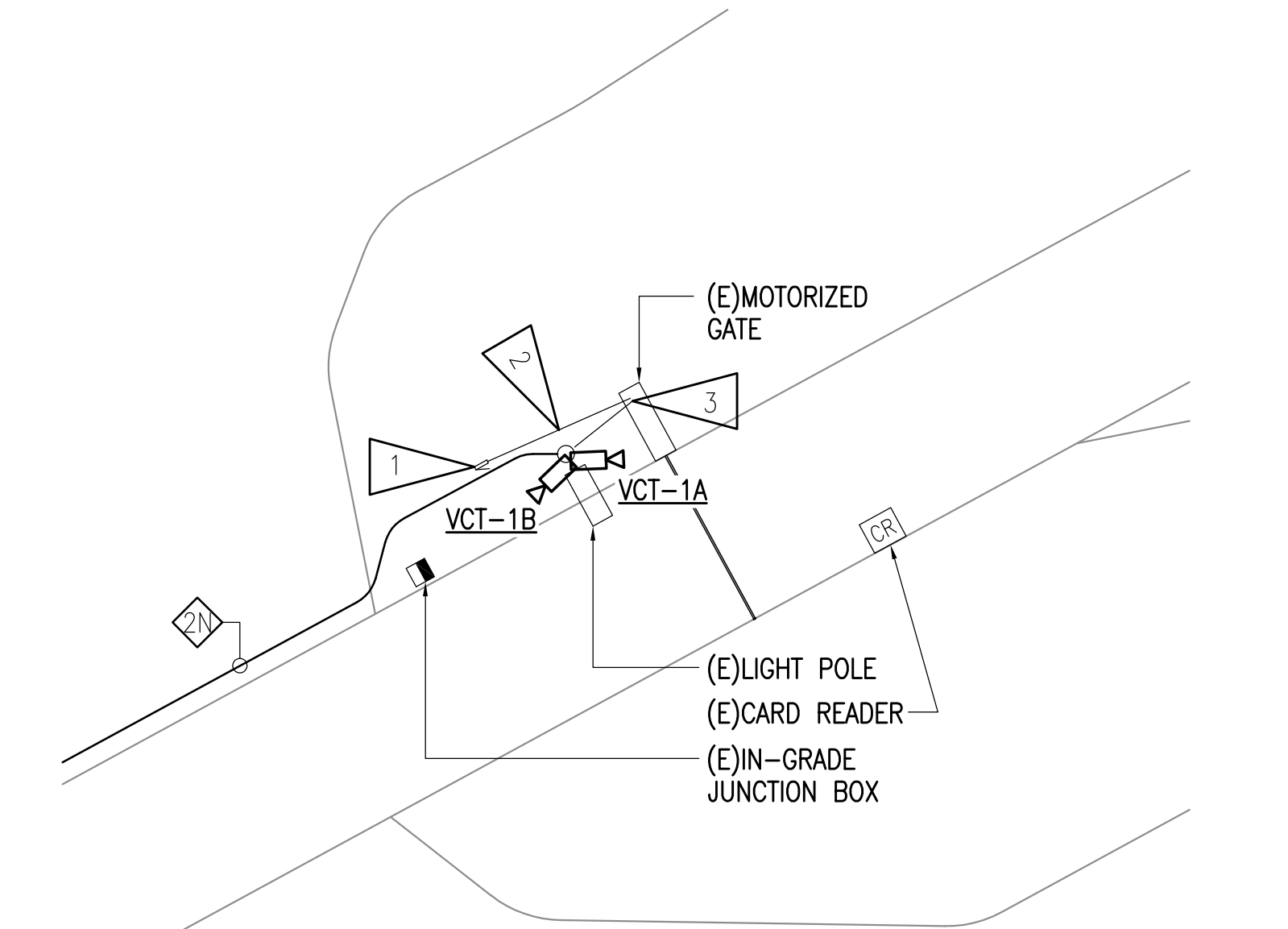
SHEET:

E1.1

0"  
1"  
2"  
3"




**1** VCT TRESTLE PLAN  
1" = 100'-0"



**2** VCT TRESTLE GATE ENLARGED PLAN  
1" = 20'-0"

## CONDUIT SCHEDULE

 NEW 2" PVC SCH. 40

## GENERAL NOTES:

A. SEE E1.1 FOR GENERAL NOTES.

## SHEET NOTES:

1. INSTALL NEW 20A, 1P, CIRCUIT BREAKER IN SPACE AVAILABLE IN THE EXISTING MINI-POWER ZONE. THE EXISTING PANEL IS A EATON TYPE P48G11S10S6CUB, 120/240V, 1Ø, 3W, WITH A 40A MAIN BREAKER AND 50A SECONDARY BREAKER. THE NEW CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH AND LISTED FOR USE IN THE EXISTING PANEL AND SHALL HAVE A MINIMUM SHORT CIRCUIT AIC RATING TO MATCH THE LOWEST RATED EXISTING DEVICE IN THE PANEL.
2. EXISTING UNDERGROUND CONDUIT FROM MINI-POWER ZONE TO MOTORIZED GATE.
3. EXISTING SPARE CONDUIT FROM GATE STUBBED UP NEXT TO LIGHT POLE. EXTEND CONDUIT AS NEEDED FOR MEDIA CONVERTER POWER.
4. MOUNT CONDUIT TO TRESTLE STRUCTURAL SIDE MEMBERS. SPACING IS APPROXIMATELY 6' BETWEEN SUPPORTS.



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Corporate No.: AECC542

CITY OF VALDEZ  
P.O. BOX 307  
VALDEZ, AK 99686

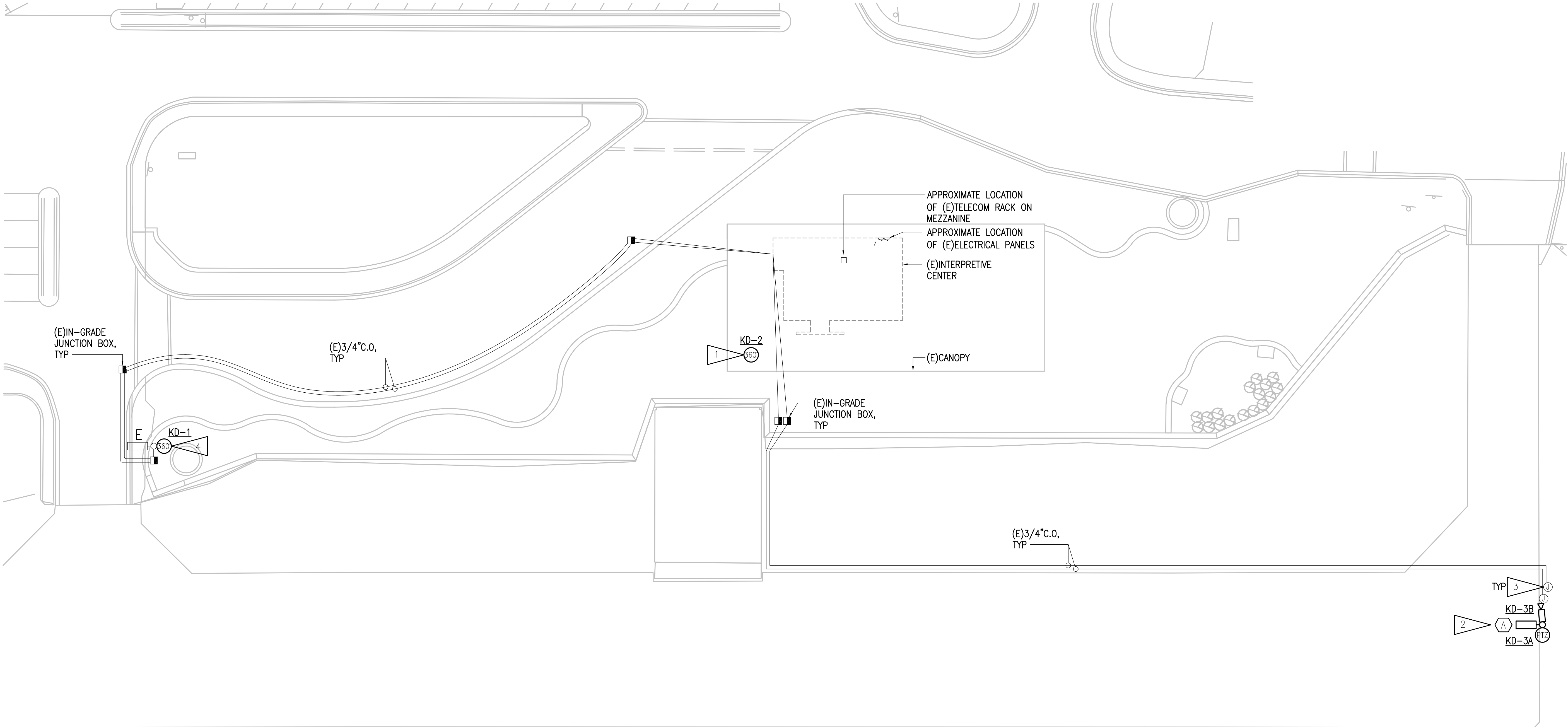
REVISIONS:

DRAWN BY: FWS  
CHECKED BY: JAM,RLW  
DATE: 12/17/2019  
JOB NUMBER: L9040  
DWG FILE: L9040 - ESeries

DRAWING TITLE:  
VCT TRESTLE SITE PLAN

SHEET:

E1.2



**1 KELSEY DOCK SITE PLAN**  
1" = 20'-0"

**GERERAL NOTES:**

1. THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM A NON-DESTRUCTIVE WALK THROUGH OF THE FACILITY. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HERE-IN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
2. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIALS. THE CONTRACTOR SHALL DELIVER SALVAGED MATERIALS TO A WAREHOUSE AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL DISPOSE OF, OFF SITE, ALL UNWANTED MATERIALS.
3. UTILIZE EXISTING CONDUIT PATHS FOR ALL NEW CABLING AND CIRCUITS.

**SHEET NOTES:**

1. NEW CAMERA INSTALLED AT EXISTING JUNCTION BOX UNDER VISITOR CENTER CANOPY.
2. DEMOLISH EXISTING POLE, LIGHT FIXTURE AND IP VIDEO CAMERA. INSTALL NEW POLE IN EXISTING LOCATION. VERIFY BOLT PATTERN PRIOR TO ORDERING. MOUNT NEW LIGHT FIXTURE AND CAMERAS TO NEW POLE. POLE IS MOUNTED TO SIDE OF DOCK ON PILE.
3. EXISTING NEMA 3R JUNCTION BOX MOUNTED TO SIDE OF DOCK FOR CAMERA POWER AND SIGNAL.
4. MOUNT CAMERA TO EXISTING LIGHTING POLE.

LIGHT FIXTURE SCHEDULE								
TYPE	LOCATION	MANUFACTURER AND CATALOG NUMBER (OR APPROVED EQUAL)	LUMINAIRE DESCRIPTION	MOUNTING		LAMPS	BALLAST/DRIVER	TOTAL INPUT WATTS
				TYPE	HEIGHT			
A	KELSEY DOCK	LITHONIA #DSX1 LED P2 40K T2M #MVOLT SPA DDBXD #SSS 20 4G VD IC DDBXD	33"Lx13"Wx3.5"D AREA LIGHT, 27LBS, 1.01FT <sup>2</sup> EPA, TYPE II MEDIUM DISTRIBUTION, SQUARE POLE MOUNTING, DARK BRONZE FINISH. 20' TALL, 4" SQUARE STRAIGHT STEEL POLE, 0.1793" WALL THICKNESS, VIBRATION DAMPER, INTERIOR ANTI-CORROSION COATING, DARK BRONZE FINISH	POLE	18'-0"	3000K LED 8,283LM	120/277V LED DRIVER	70



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Corporate No.: AECC542

**VALDEZ CONTAINER TERMINAL &  
KELSEY DOCK SECURITY UPGRADES**  
  
CITY OF VALDEZ  
P.O. BOX 307  
VALDEZ, AK 99686

REVISIONS:

DRAWN BY: FWS  
CHECKED BY: JAM,RLW  
DATE: 12/17/2019  
JOB NUMBER: L9040  
DWG FILE: L9040 - ESeries

DRAWING TITLE:  
KELSEY DOCK SITE PLAN

SHEET:  
**E2.1**



# City of Valdez

212 Chenega Ave.  
Valdez, AK 99686

## Legislation Text

---

**File #:** 20-0136, **Version:** 1

---

**ITEM TITLE:**

Discussion Item: COVID-19 Update

**SUBMITTED BY:** Mark Detter, City Manager

**FISCAL NOTES:**

Expenditure Required: [Click here to enter text.](#)

Unencumbered Balance: [Click here to enter text.](#)

Funding Source: [Click here to enter text.](#)

**RECOMMENDATION:**

[Click here to enter text.](#)

**SUMMARY STATEMENT:**

Administration will provide a current update on the COVID-19 community response.





## Legislation Text

---

**File #:** 20-0137, **Version:** 1

---

**ITEM TITLE:**

Discussion regarding fee waivers for various City services in response to the COVID-19 emergency.

**SUBMITTED BY:** Brian Carlson, Finance Director

**FISCAL NOTES:**

Expenditure Required: n/a

Unencumbered Balance: na

Funding Source: n/a

**RECOMMENDATION:**

Provide direction to staff for follow-up resolution

**SUMMARY STATEMENT:**

Staff will present data to Council regarding fee waivers and related costs.

Presentations will be available on Tuesday evening, and are not prepared in time for the Council packet deadline.



## Legislation Text

---

**File #:** 20-0138, **Version:** 1

---

**ITEM TITLE:**

Discussion Item: Housing Market Assessment and Gap Analysis

**SUBMITTED BY:** Mark Detter, City Manager

**FISCAL NOTES:**

Expenditure Required: [Click here to enter text.](#)

Unencumbered Balance: [Click here to enter text.](#)

Funding Source: [Click here to enter text.](#)

**RECOMMENDATION:**

[Click here to enter text.](#)

**SUMMARY STATEMENT:**

Administration has received a request by several council members for an additional opportunity to further discuss the findings of the housing market assessment which was presented at the March 31<sup>st</sup> work session.

The Housing Market Assessment and Gap Analysis is provided as an attachment.

# Valdez Housing Market Assessment and Gap Analysis

## Draft Report

PREPARED FOR:

**City of Valdez**

March 2020

# Valdez Housing Market Assessment and Gap Analysis

PREPARED FOR:

**City of Valdez**

**March 2020**

**McDowell Group Anchorage Office**

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Anchorage, Alaska 99503

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9360 Glacier Highway, Suite 201  
Juneau, Alaska 99801

**Website: [www.mcdowellgroup.net](http://www.mcdowellgroup.net)**



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# Executive Summary

---

The City of Valdez contracted with McDowell Group to study Valdez's housing gaps, gather community perceptions on local housing issues, and analyze the connection between housing conditions and Valdez's economy. The report is based on three key sources of information:

1. Available data on Valdez's housing supply and affordability, as well as population and economic trends.
2. A household survey of 210 randomly selected Valdez residents.
3. Key informant interviews with 22 Valdez business owners and housing market stakeholders.

## Population and Economic Trends

Economic and population growth (or decline) are important drivers of housing demand. From 2012 to 2019, Valdez's population declined by 255 residents, or 6%. The population has also been greying. From 2010 to 2019 the percentage of the local population over 70 years of age grew from 2.9% to 5.2%. Projections indicate this percentage could grow to 17% by 2030.

Unlike population, employment has been rising in Valdez. From 2013 to 2018, overall employment grew 10% and wages grew 21%.

## Housing Supply

Valdez has experienced a decline in the number of occupied housing units over the last decade. This decline has been steepest for renter-occupied units. A possible explanation is conversion of housing, especially rentals, into crew houses, vacation rentals, and second homes. Data purchased from airdna.co indicates that 33 whole houses were available for rent on AirBnB or VRBO in Summer 2019, up from a peak of 10 in summer 2017.

A smaller percentage of households in Valdez are renters (21%) compared to other nearby coastal communities such as Seward (51%), Homer (37%), and Cordova (30%). Recent new housing starts have been almost exclusively focused on single family housing units, with only two multi-family units constructed since 2008.

Compared to nearby coastal communities with similar population sizes, mobile homes make up an exceptionally high proportion of the housing stock in Valdez (23% compared to 0-7% elsewhere). According to the U.S. Census' American Community Survey (ACS) data, the only place in Alaska with more than 500 housing units and a higher percentage of mobile homes is Craig on Prince of Wales Island (27.8%).

## Housing Costs

Valdez has higher estimated rents than nearby coastal communities due to fewer low-cost rentals and more high-cost rentals. Less than 1% of renting households paid less than \$500 a month in Valdez, compared to 20% in Seward, 11% in Homer, and 4% in Cordova. On the other end of the spectrum, 21% of Valdez renter households paid more than \$2,000 a month compared to only 4-9% in the other communities.

The median value of owner-occupied housing in Valdez is \$189,700, based on ACS data. The Valdez median is below Seward (\$235,000), Homer (\$237,300), and Cordova (\$316,200). The likely explanation is the high rate of

mobile home ownership. Valdez has a significantly higher percentage of homes valued less than \$50,000 than other nearby coastal communities (27% compared to 0-9%). Valdez also has a much lower percentage of high-value homes, with less than one percent of owner-occupied homes worth more than \$500,000, compared to 8-14% in Seward, Homer, and Cordova.

## **Resident Survey Results**

While relatively few respondents were dissatisfied with their own housing, a clear majority of respondents rated various measures of Valdez's housing market poorly. More than three-quarters rated housing availability in the city as poor or very poor (83%), including 36% that rated availability as very poor. Similar portions of households rated housing affordability as poor and very poor.

Based on survey results, a very high proportion of renters consider there to be few good options in the local rental market. All renters in mobile homes reported that there were few good options as well as 84% of single-family home renters and 72% of renters in attached homes and multi-family complexes.

Most respondents, 85%, are supportive or very supportive of the City of Valdez taking steps to address housing issues in the community, with only 9% not supportive. Among specific proposals mentioned, the most support was found for "releasing more city lands for housing development" and "exploring partnerships to develop housing for seniors." Both of these efforts enjoyed wide support with 58-59% reporting being very supportive and an additional 27-32% supportive.

## **Housing Gap Analysis**

There is a very high level of dissatisfaction with Valdez's housing situation in the community and equally high levels of support for city action on the topic. These are strong signs of the presence of housing gaps in the community.

High median wages in the community contribute to disparities in housing affordability. Most of the private housing development has focused on single family homes for moderate to higher income residents. This leaves the biggest gap for lower income residents and new residents looking for rentals.

Expansion of Valdez's housing inventory would be beneficial, especially in multi-family housing but also in single family housing and senior housing. These housing gaps appear to be barriers to economic and population growth in the community.

## **Implications for the City**

A widespread sentiment is present that the city should make more of its land available for housing development. Land availability is seen as a key limitation, especially in the downtown area, and something the city is uniquely positioned to address.

Given various challenges to multi-family housing development, it may be necessary for the city to more aggressively support these types of developments for them to succeed. The payoff is that these units are more likely to address growing housing affordability gaps.

There is widespread support for increasing senior housing units in Valdez and city involvement in these efforts. The city could consider supporting this effort through funding a feasibility study reviewing potential partnership structures, demand estimates, preliminary capital costs associated with different development options, and available financing methods to maximize use of federal and other resources.

Other implications for the city discussed in this report include the need to consider other levers to address housing gaps, including those related to zoning, utilities, building codes, outreach to local businesses, and property tax credits, among others.

# Introduction and Methodology

---

Housing issues have far-reaching implications on quality of life and economic opportunity for Valdez residents. This study provides a common understanding of Valdez's housing gaps and their impact on the community's economy. The information will help the community prioritize housing projects and inform ongoing planning efforts and policy development.

Most communities in Alaska suffer from housing availability and affordability issues. None have found easy solutions as they seek better alignment between housing supply and housing demand. Common themes are increasing the supply of housing for senior citizens, shortage of the affordable entry level homes that are necessary to attract and retain young families, seasonal housing for a growing non-resident workforce, and other factors. Much of the economic growth that has occurred in Alaska in recent years has been in the service and retail sectors, or other sectors with wages and seasonal aspects that are inconsistent with prevailing housing market conditions.

Still, as described in this report, Valdez has its own set of unique characteristics that overlay special challenges on the community as it seeks ways to support a housing market that best meets the needs of its residents and businesses that drive the local economy.

## Methodology

### Data Sources

A limited amount of published data is available regarding housing market conditions in Valdez. Sources of data presented in this report include the following:

- U.S. Census Bureau's American Community Survey (ACS) Five-Year Estimates
- City of Valdez Property Tax Roll (Accessor's Database)
- City of Valdez Household Population Survey
- Alaska Department of Labor & Workforce Development (ADOL&WD) New Housing Unit Survey
- Alaska Housing Finance Corporation Rent Reasonableness Standards

### ***A Note on the Reliability of American Community Survey Data***

On most topics, ACS is the source of best available data on Valdez's housing market. Data from this source is survey-based with fairly low sample sizes and is subject to large margins of error. The ACS data presented in this report should be interpreted with an understanding that some data points could be significantly misleading. Margins of error associated various ACS estimates are generally included for units such as number or amount (such as number of housing units). This report typically does not include margins of error associated with ACS percentage estimates (such as percent of housing units by type). This is done to improve readability, though it should be noted that similarly high margins of error are present for percentages as well.

Despite the limitations associated with large margins of error, ACS housing data provides useful information and is worth taking into consideration. Typically, ACS data are presented for Valdez as well as Cordova, Seward,

and Homer to allow comparison with nearby coastal communities. The most recent ACS housing data available for Valdez is the 2014-2018 five-year estimate, which is based on a sample of 40 housing units. Five-year estimates can be understood as estimates of the average conditions over the five-year period.

### ***Other Data Sources Investigated***

Several sources of data were investigated but not used in this report, primarily because data was only available at the Valdez-Cordova Census Area level. These sources include the following:

- U.S. Census Bureau Annual Estimates of Housing Units
- Alaska Housing Finance Corporation (AHFC) Housing Assessment
- AHFC Housing Market Indicators Report (produced by ADOLWD)
- Alaska Housing Finance Corporation, Rental Market Surveys.
- ADOLWD Quarterly Survey of Lenders' Activity
- ADOLWD Foreclosures Data
- Consumer Financial Protection Bureau
- Multiple Listing Service
- U.S. Housing and Urban Development (HUD) Fair Rent

## **Household Survey**

McDowell Group fielded a telephone survey of randomly selected Valdez households from January 13 through January 21, 2020. The survey included a variety of questions related to housing in Valdez, including satisfaction with current housing; perceptions on the availability, quality, and affordability of housing; senior housing needs; and priorities for city housing efforts, among other questions. See Appendix A for survey instrument with full list of questions asked.

A total of 210 Valdez households were surveyed. Roughly two-thirds of respondents were reached on a cell phone and the remainder by landline. The cell phone sample is based on billing zip code, allowing inclusion of respondents that moved to the community with a with a non-local cell number (17% of cell phones contacted had an area code other than 907).

Based on this survey's sample size, the maximum margin of error associated with survey findings is  $\pm 6.6$  percent at the 90 percent confidence level. Similar to most surveys conducted by McDowell Group, survey data were weighted by age group to account for a lower proportion of younger households in the sample than are known to live in the community.

Survey data was analyzed as a whole, as well as for various subgroups, including length of residency, rent/own, presence of children and seniors in the household, income level, and other subgroups. Only statistically significant differences between subgroups are reported.

## **Key Informant Interviews**

A series of interviews were conducted to gather insights regarding housing conditions, barriers to housing development, housing priorities, and other topics. Interviews were conducted with a broad range of Valdez business owners and housing stakeholders. A total of 22 people were interviewed for this study.

The majority of interviews were conducted using a standard interview protocol. Some interviewees were asked industry-specific and other questions. See Appendices D and E for Interview Protocol and list of those interviewed.

Interviews were conducted January through March 2020.

Economic and population growth (or decline) are important drivers of housing demand. This section briefly examines recent economic and demographic trends in Valdez.

Historically, Valdez's population has been fairly steady at around 4,000 residents, though it has trended down slightly over the last several years. The relative long-term population stability in Valdez stems from its economic diversification, including serving as the marine terminus for the Trans Alaska Pipeline, a destination for Alaska resident and non-resident visitors, and its key position in the Prince William Sound seafood industry.

## Total Population

Valdez population has declined by a total 255 residents, or 6%, since 2012. The most recent estimate (2019) places Valdez's population at 3,876. It is important to note that the community's summer population is significantly higher, as seasonal workers fill jobs in seafood processing, the visitor industry, and other sectors.

**Table 1. Valdez Population, 2010-2019**

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Population	3,976	4,033	4,131	4,094	4,042	4,009	3,939	3,942	3,891	3,876
Annual % Change	-	1.4%	2.4%	-0.9%	-1.3%	-0.8%	-1.7%	0.1%	-1.3%	-0.4%

Source: ADOLWD, Division of Research and Analysis.

## Demographics

In 2010, 2.9% of the local population was 70 years of age or over. By 2019, 5.2% were 70 or above. The total number of residents age 70 or more increased from 112 to 203 over that period.

Based on the projection for the Valdez-Cordova Census Area overall (Valdez-specific projections are not available), by 2030 17% of the population will be 70 years of age or more. That would indicate a 70-plus population of approximately 600 residents. This demographic trend has important housing and community services implications. Seniors have a spectrum of housing needs, ranging from aging-in-place (in current housing), multi-unit independent senior-only living, assisted living, and nursing care. In addition to suitable housing, Valdez's capacity to retain its aging population will depend on availability of appropriate health and social services.



**Table 2. Valdez Population by Age Cohort, 2010, 2014, and 2019**

	2010		2014		2019	
Total	3,976		4,042		3,876	
0-4	279	7.0%	310	7.7%	266	6.9%
5-9	262	6.6%	286	7.1%	286	7.4%
9-14	282	7.1%	270	6.7%	276	7.1%
15-19	287	7.2%	246	6.1%	219	5.7%
20-24	263	6.6%	234	5.8%	197	5.1%
25-29	276	6.9%	301	7.4%	278	7.2%
30-34	256	6.4%	317	7.8%	325	8.4%
35-39	243	6.1%	278	6.9%	304	7.8%
40-44	311	7.8%	274	6.8%	284	7.3%
45-49	372	9.4%	283	7.0%	229	5.9%
50-54	392	9.9%	367	9.1%	236	6.1%
55-59	317	8.0%	338	8.4%	315	8.1%
60-64	216	5.4%	255	6.3%	278	7.2%
65-69	108	2.7%	143	3.5%	180	4.6%
70-74	47	1.2%	84	2.1%	111	2.9%
75-79	27	0.7%	25	0.6%	56	1.4%
80-84	20	0.5%	17	0.4%	24	0.6%
85+	18	0.5%	14	0.3%	12	0.3%
Median Age	36.7		36.0		36.5	

Source: ADOLWD, Division of Research and Analysis.

## Employment Trends

Employment trends have important impacts on the housing market. For example, growth in seasonal employment will increase demand for seasonal rental housing. Growth in low-wage employment brings with it demand for lower-cost housing. High-wage jobs bring demand for single family homes (all other factors being equal). Growth in particular industries can have particular housing related effects. Growth in tourism, for example, can prompt property owners to convert long-term rental housing to short-term vacation rentals.

Unlike population, employment has been rising in Valdez. Private sector employment has increased in five consecutive years. Total non-agricultural wage and salary employment in Valdez averaged 2,350 in 2018 (this measure of employment excludes the active duty Coast Guard and self-employed people, such as commercial fishermen). Private sector employment averaged 1,800 jobs, while local, state and federal government together accounted for 550 jobs in Valdez. Employment is up 10% since 2013 and total annual wages are up 21% (not accounting for inflation).

**Table 3. Valdez Employment and Wages, 2013-2018**

	2013	2014	2015	2016	2017	2018	'13-'18 % Change
Average annual employment	2,131	2,145	2,155	2,253	2,278	2,350	10.3%
Total annual wages	\$117,443,926	\$120,006,587	\$126,986,783	\$129,370,518	\$134,390,532	\$141,640,972	20.6%
Annual average wage	\$55,112	\$55,947	\$58,927	\$57,421	\$58,995	\$60,273	9.4%

Source: ADOLWD, Division of Research and Analysis.

Employment growth over the past few years has been mainly in the private sector where employment is up about 14% since 2013. Valdez has added about 100 jobs since 2016, including 39 jobs in the Trade, Transportation and Utilities sector (the specific source of job growth within that sector is not discernable from the published data). Health care and social assistance added 21 jobs between 2016 and 2018.

The largest employers in Valdez are in the Trade, Transportation, and Utilities sector (which includes Alyeska) and manufacturing (which includes seafood processing).

**Table 4. Valdez Employment by Industry, 2013-2018**

Industry	2013	2014	2015	2016	2017	2018	'13-'18 % Change
<b>Government</b>	<b>548</b>	<b>541</b>	<b>544</b>	<b>530</b>	<b>536</b>	<b>550</b>	<b>0.4%</b>
Federal government	47	43	47	45	46	49	4.3%
State government	152	157	146	133	136	139	-8.6%
Local government	349	341	351	352	354	362	3.7%
<b>Private Ownership</b>	<b>1,583</b>	<b>1,604</b>	<b>1,611</b>	<b>1,723</b>	<b>1,742</b>	<b>1,800</b>	<b>13.7%</b>
Natural Resources and Mining	46	62	67	65	67	69	50.0%
Construction	51	59	79	82	65	72	41.2%
Manufacturing	(a)	(a)	(a)	252	270	269	-
Trade, Transportation, and Utilities	539	555	545	543	557	582	8.0%
Information	59	58	64	65	66	69	16.9%
Finance and Insurance	16	15	15	(a)	15	15	-6.3%
Real Estate and Rental and Leasing	19	18	20	19	22	23	21.1%
Professional and Business Services	138	133	138	137	147	143	3.6%
Educational Services	(a)	(a)	(a)	(a)	(a)	(a)	-
Health Care and Social Assistance	282	255	247	241	259	262	-7.1%
Accommodation and Food Services	226	241	244	237	217	236	4.4%
Other Services, Except Public Administration	22	23	24	27	22	23	4.5%
Public Administration	(a)	(a)	(a)	(a)	(a)	114	-
<b>Total</b>	<b>2,131</b>	<b>2,145</b>	<b>2,155</b>	<b>2,253</b>	<b>2,278</b>	<b>2,350</b>	<b>10.3%</b>

Source: ADOLWD, Division of Research and Analysis.

(a) Data are suppressed due to confidentiality.

Employment growth continued into 2019, according to data for the first nine months of the year. Overall, employment was up 5.8% (140 jobs), including 8.3% growth in the private sector and 2.7% decline in government employment. The Trade, Transportation and Utilities sector was again where most of the growth occurred, adding 135 jobs (growth was evident through all nine months, therefore not seasonal).

Annual average employment figures mask a high degree of seasonality in Valdez employment. Total employment typically peaks in July or August, in parallel with seafood processing (in the manufacturing sector) which in 2018 peaked at over 900 jobs in July, compared to a winter average of around 70 jobs. Other seasonal sectors include the leisure and hospitality sector (mainly lodging and food services) which more than doubles from winter to summer.

**Table 5. Valdez Employment by Industry and Month, 2018**

Category	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
<b>Government</b>	<b>554</b>	<b>563</b>	<b>560</b>	<b>550</b>	<b>564</b>	<b>547</b>	<b>467</b>	<b>560</b>	<b>577</b>	<b>555</b>	<b>547</b>	<b>543</b>
Federal government	41	41	40	45	48	56	57	58	59	55	43	40
State government	133	140	137	142	143	143	127	131	147	138	142	141
Local government	380	382	383	363	373	348	283	371	371	362	362	362
<b>Private Ownership</b>	<b>1,347</b>	<b>1,378</b>	<b>1,472</b>	<b>1,549</b>	<b>1,734</b>	<b>2,238</b>	<b>2,663</b>	<b>2,628</b>	<b>1,791</b>	<b>1,683</b>	<b>1,553</b>	<b>1,564</b>
<b>Goods-Producing</b>	<b>185</b>	<b>181</b>	<b>194</b>	<b>220</b>	<b>309</b>	<b>677</b>	<b>1,083</b>	<b>1,056</b>	<b>358</b>	<b>239</b>	<b>212</b>	<b>204</b>
Natural Resources and Mining	64	62	66	63	71	68	75	91	72	72	59	59
<i>Mining, Quarrying, and Oil and Gas Extraction</i>	46	44	47	42	45	43	42	43	40	42	39	42
Construction	51	48	53	59	73	85	83	91	78	92	81	73
Manufacturing	70	71	75	98	165	524	925	874	208	75	72	72
<i>Nondurable Goods Manufacturing</i>	67	68	72	95	162	521	922	871	205	72	69	69
<b>Service-Providing</b>	<b>1,162</b>	<b>1,197</b>	<b>1,278</b>	<b>1,329</b>	<b>1,425</b>	<b>1,561</b>	<b>1,580</b>	<b>1,572</b>	<b>1,433</b>	<b>1,444</b>	<b>1,341</b>	<b>1,360</b>
Trade, Transportation, and Utilities	476	479	494	513	576	632	639	640	567	696	629	642
<i>Retail Trade</i>	171	170	176	170	172	198	191	191	174	166	167	185
Information	65	67	67	68	73	71	72	73	74	68	67	68
Financial Activities	40	40	40	37	37	38	37	37	35	36	38	38
<i>Finance and Insurance</i>	14	15	15	15	15	15	15	16	13	15	15	15
<i>Real Estate and Rental and Leasing</i>	26	25	25	22	22	23	22	21	22	21	23	23
Professional and Business Services	136	137	137	141	137	157	154	149	157	143	135	129
<i>Administrative and Waste Services</i>	105	104	104	106	105	122	120	115	121	107	100	99
Education and Health Services	267	273	270	272	267	261	257	255	264	274	269	275
<i>Health Care and Social Assistance</i>	260	266	265	266	263	256	256	253	263	265	262	268
Leisure and Hospitality	159	181	252	276	310	377	396	393	312	202	177	182
<i>Arts, Entertainment, and Recreation</i>	14	23	54	67	43	38	35	38	29	16	14	13
<i>Accommodation and Food Services</i>	145	158	198	209	267	339	361	355	283	186	163	169
Other Services	19	20	18	22	25	25	24	25	23	25	26	26
Public Administration	104	101	101	108	113	129	124	126	127	116	106	107
<b>Total</b>	<b>1,901</b>	<b>1,941</b>	<b>2,032</b>	<b>2,099</b>	<b>2,298</b>	<b>2,785</b>	<b>3,130</b>	<b>3,188</b>	<b>2,368</b>	<b>2,238</b>	<b>2,100</b>	<b>2,107</b>

Source: ADOLWD, Division of Research and Analysis.

The annual average wage in Valdez was \$60,273 in 2018. Demand for seasonal housing is greatest (outside of seafood processing) in the visitor-affected Leisure and Hospitality sector, where wages are relatively low, at about \$25,000 on an annualized basis.

**Table 6. Valdez Average Employment and Wages by Industry, 2018**

Category	Average Annual Employment	Total Annual Wages	Average Annual Wages
<b>Government</b>	<b>550</b>	<b>\$28,630,614</b>	<b>\$52,056</b>
Federal government	49	\$3,499,884	\$71,426
State government	139	\$7,009,332	\$50,427
Local government	362	\$18,121,398	\$50,059
<b>Private Ownership</b>	<b>1,800</b>	<b>\$113,010,358</b>	<b>\$62,784</b>
<b>Goods-Producing</b>	<b>410</b>	<b>\$26,245,709</b>	<b>\$64,014</b>
Natural Resources and Mining	69	\$6,097,053	\$88,363
<i>Mining, Quarrying, and Oil and Gas Extraction</i>	43	\$4,662,839	\$108,438
Construction	72	\$6,417,305	\$89,129
Manufacturing	269	\$13,731,351	\$51,046
<i>Nondurable Goods Manufacturing</i>	266	\$13,415,254	\$50,433
<b>Service-Providing</b>	<b>1,390</b>	<b>\$86,764,649</b>	<b>\$62,421</b>
Trade, Transportation, and Utilities	582	\$50,493,075	\$86,758
<i>Retail Trade</i>	178	\$5,767,290	\$32,401
Information	69	\$4,454,145	\$64,553
Financial Activities	38	\$1,768,402	\$46,537
<i>Finance and Insurance</i>	15	\$695,250	\$46,350
<i>Real Estate and Rental and Leasing</i>	23	\$1,073,152	\$46,659
Professional and Business Services	143	\$11,057,714	\$77,327
<i>Administrative and Waste Services</i>	109	\$8,668,986	\$79,532
Education and Health Services	267	\$11,513,907	\$43,123
<i>Health Care and Social Assistance</i>	262	\$11,473,769	\$43,793
Leisure and Hospitality	268	\$6,843,591	\$25,536
<i>Arts, Entertainment, and Recreation</i>	32	\$964,829	\$30,151
<i>Accommodation and Food Services</i>	236	\$5,878,762	\$24,910
Other Services	23	\$630,953	\$27,433
Public Administration	114	\$7,724,900	\$67,762
<b>Total</b>	<b>2,350</b>	<b>\$141,640,972</b>	<b>\$60,273</b>

Source: ADOLWD, Division of Research and Analysis.

# Valdez Housing Profile

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This chapter presents a range of data reflecting housing market conditions in Valdez, including:

- Housing supply (number of units, by type)
- Housing costs, as measured by average rental rates and homeowner costs
- Housing unit construction
- Housing affordability, reflecting the convergence of housing costs and household income

A limited amount of data is available regarding housing market conditions in Valdez. The data in this chapter provides a first step in identifying existing and/or potential future gaps in the community's housing market. Following sections of this report will combine and compare published housing data with information collected through other means, including a household survey and key stakeholder interviews.

Sources of data presented in this section include the following:

- U.S. Census Bureau's American Community Survey (ACS)
- City of Valdez Property Tax Rolls
- City of Valdez Household Population Survey
- ADOLWD New Housing Unit Survey
- Alaska Housing Finance Corporation's Rent Reasonableness Standards

## Housing Supply

Two data sources provide estimates of the number of housing units in Valdez.

- ACS 2014-2018 Five-Year estimates put Valdez's housing inventory at a total of 1,550 units, including 1,322 ( $\pm 162$ ) occupied units and 228 ( $\pm 116$ ) seasonal or otherwise vacant units. Of the occupied housing units, an estimated 1,048 ( $\pm 166$ ) were owner-occupied and 274 ( $\pm 91$ ) renter-occupied.<sup>1</sup>
- A total of 1,221 households responded to the City of Valdez's 2018 Household Population Survey. Completion of this survey is required to receive \$500 in energy assistance and has unknown but high application rates among eligible households (those with members present more than 180 days of the year). Similar programs such as the Alaska Permanent Fund typically see application rates of 90%. Assuming 90% of those eligible apply for energy assistance, survey responses suggest a total of 1,357 regularly occupied households in the community.

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<sup>1</sup> As defined by the US Census Bureau, occupied housing units are those occupied by people that consider the housing unit their usual place of residence or have no usual place of residence elsewhere. The count of occupied housing units is the same as the count of households.

## Trends in Housing Supply

Available data shows a decline in Valdez's housing stock from 2010 to 2018. Over this period, the number of households applying for energy assistance (City of Valdez Population Survey respondents) declined from 1,311 to 1,221, losing an average of 11 households per year (annual average rate of -0.9%). Based on ACS data, the number of occupied housing units in Valdez has declined more steeply, at an annual average rate of -2.6%. Population trends corroborate a decline over this time (annual average decline of -0.3%) but are more consistent with City Population Survey data than ACS data.

**Table 7. Estimated Number of Housing Units in Valdez, 2010-2018**

Year	Total Housing Units - ACS	Occupied Housing Units - ACS	Number of Households – City Population Survey	Population – ADOL&WD
2010	1,790 (±124)	1,668 (±109)	1,311	3,976
2011	1,761 (±165)	1,565 (±160)	1,319	4,033
2012	1,610 (±147)	1,458 (±147)	1,330	4,131
2013	1,520 (±122)	1,340 (±118)	1,294	4,094
2014	1,533 (±148)	1,296 (±153)	1,274	4,042
2015	1,427 (±172)	1,186 (±166)	1,280	4,009
2016	1,342 (±168)	1,154 (±167)	1,248	3,939
2017	1,446 (±163)	1,159 (±150)	1,257	3,942
2018	1,550 (±168)	1,322 (±162)	1,221	3,891
<b>Annual Average Percent Change</b>	<b>-1.6%</b>	<b>-2.6%</b>	<b>-0.9%</b>	<b>-0.3%</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

While subject to large margins of error, available data from ACS indicates that the decline in the number of Valdez households has occurred in both renter and owner-occupied units, but at a higher rate in the renter-occupied units.

**Table 8. Estimated Number of Occupied Housing Units in Valdez, by Occupancy Status, 2010-2018**

Year	Occupied Housing Units	Owner-Occupied Units	Renter-Occupied Units
2010	1,668 (±109)	1,219 (±126)	449 (±130)
2011	1,565 (±160)	1,245 (±174)	320 (±119)
2012	1,458 (±147)	1,104 (±144)	354 (±122)
2013	1,340 (±118)	991 (±140)	349 (±106)
2014	1,296 (±153)	957 (±134)	339 (±128)
2015	1,186 (±166)	797 (±144)	389 (±135)
2016	1,154 (±167)	794 (±139)	360 (±125)
2017	1,159 (±150)	943 (±158)	216 (±88)
2018	1,322 (±162)	1,048 (±166)	274 (±91)
<b>Annual Average Percent Change</b>	<b>-2.6%</b>	<b>-1.3%</b>	<b>-3.5%</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

## Renting Rates

A smaller percentage of households in Valdez are renters (21%) compared to other nearby coastal communities such as Seward (51%), Homer (37%), and Cordova (30%).

**Table 9. Percent of Households Renting, Selected Cities, 2014-2018 Five-Year Estimates**

	Valdez	Seward	Homer	Cordova
Renter-Occupied Housing Units	274 (±91)	433 (±98)	842 (±69)	302 (±114)
Occupied Housing Units	1,322 (±162)	845 (±140)	2,260 (±101)	1,002 (±151)
<b>Percent of Households Renting</b>	<b>21%</b>	<b>51%</b>	<b>37%</b>	<b>30%</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

## Housing Supply by Type of Housing

According to ACS data for the 2014-2018 period, single-family homes accounted for 53 percent of the occupied housing in Valdez, while multi-family units accounted for 24 percent. Mobile homes accounted for nearly a quarter of occupied housing units (23%).

Compared to nearby coastal communities with similar population sizes, mobile homes make up an exceptionally high proportion of the housing stock in Valdez (23% compared to 0-7%). Seward's housing stock has a comparable proportion of single-family homes but a much larger percentage of multi-family homes, while Homer and Cordova have similar percentages of multi-family units as Valdez but much higher percentages of single-family homes.

Valdez's high proportion of mobile homes is unique not just in comparison to nearby coastal communities, but also across the Alaska. According to ACS data, the only place in Alaska with more than 500 housing units and a higher percentage of mobile homes is Craig on Prince of Wales Island (27.8%).

**Table 10. Number of Occupied Housing Units by Type, City of Valdez, 2014-2018 Five-Year Estimates**

Type of Housing Structure	Renter Households	Owner Households	Total	% of Total
Single-family, detached	47 (±44)	609 (±148)	656 (±151)	50%
Single-family, attached	0 (±9)	42 (±50)	42 (±50)	3%
Duplex	47 (±38)	99 (±63)	146 (±68)	11%
Three or four-plex	106 (±61)	0 (±9)	106 (±61)	8%
Five to nine-unit complex	13 (±17)	6 (±10)	19 (±20)	1%
Ten or more-unit complex	46 (±52)	0 (±9)	46 (±52)	4%
Mobile Home	15 (±20)	292 (±121)	307 (±120)	23%
<b>Total</b>	<b>274 (±91)</b>	<b>1,048 (±166)</b>	<b>1,322 (±162)</b>	

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.



**Table 11. Occupied Housing Units by Type, Selected Cities, 2014-2018 Five-Year Estimates**

Type of Housing Structure	Valdez	Seward	Homer	Cordova
Single-family, detached	50%	51%	71%	60%
Single-family, attached	3%	2%	2%	8%
<b>Single-Family Total</b>	<b>53%</b>	<b>53%</b>	<b>73%</b>	<b>68%</b>
Duplex	11%	8%	6%	9%
Three or four-plex	8%	22%	8%	12%
Five to nine-unit complex	1%	14%	6%	2%
Ten or more-unit complex	4%	3%	4%	3%
<b>Mulit-Family Total</b>	<b>24%</b>	<b>47%</b>	<b>24%</b>	<b>26%</b>
Mobile Home	23%	0%	4%	7%
<b>Total Units</b>	<b>1,322 (±162)</b>	<b>845 (±140)</b>	<b>2,260 (±101)</b>	<b>1,002 (±151)</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

The City of Valdez's Household Population Survey collects information on the type of structure for each household that responds to the survey. These data are in line with those from ACS, also showing 23% of the local occupied housing stock is in mobile homes. The city's survey data indicates a slightly higher percentage of the housing stock is in single family homes (59% compared to 53% for ACS data) and a slightly lower percentage in multi-family units (16% compared to 24% for ACS data).

**Table 12. Number of Households Responding to City of Valdez Household Population Survey, by Structure Type, 2018**

Type of Housing Structure	Number	% of Total
Single Family Home	725	59%
Mobile Home/Trailer	286	23%
Duplex/Zero Lot Line/Condo	95	8%
Multi-Family/Apartment	94	8%
Other	21	2%
<b>Total</b>	<b>1,221</b>	

Source: City of Valdez.

## Housing Age

Valdez's housing stock reflects the community's unique history, with most of the community destroyed or abandoned by ramifications of the 1964 Good Friday earthquake. The community was quickly rebuilt in its current location in the years following the earthquake. A significant number of homes were added in the middle to late 1970's associated with construction of the Trans Alaska Pipeline System and Valdez Marine Terminal.

According to ACS data, only 3% of Valdez's existing housing stock was built before 1960. This percentage is similar to that seen in Homer but much less than in Seward (27%) and Cordova (22%). While ACS data indicates none of the currently occupied housing stock was constructed after 2010, this is contradicted by other data described below.

**Table 13. Year Built, Occupied Housing Units, City of Valdez, 2014-2018 Five-Year Estimates**

Year Built	Estimate	% of Total
2014 or later	0 (±9)	<1%
2010 to 2013	0 (±9)	<1%
2000 to 2009	198 (±92)	15%
1980 to 1999	595 (±135)	45%
1960 to 1979	488 (±135)	37%
1940 to 1959	41 (±38)	3%
1939 or earlier	0 (±9)	<1%

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

**Table 14. Year Built, Occupied Housing Units, Selected Cities, 2014-2018 Five-Year Estimates**

Year Built	Valdez	Seward	Homer	Cordova
2014 or later	<1%	<1%	1%	<1%
2010 to 2013	<1%	<1%	5%	5%
2000 to 2009	15%	7%	18%	9%
1980 to 1999	45%	48%	47%	34%
1960 to 1979	37%	17%	26%	30%
1940 to 1959	3%	18%	3%	16%
1939 or earlier	<1%	9%	<1%	6%
<b>Total Units</b>	<b>1,322 (±162)</b>	<b>845 (±140)</b>	<b>2,260 (±101)</b>	<b>1,002 (±151)</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

## New Construction

In the last 12 years, housing units added in Valdez have been almost exclusively single-family homes. From 2008 to 2019, an average of 7 new single-family homes were constructed annually, while only 2 multi-family and 2 mobile homes were added during this 12-year period.

Single-family homes made up a smaller proportion of new housing units added during this time in comparable coastal communities. While 94% of new units added in Valdez were single-family, that housing type only made up 45%, 84%, and 84% of those added in Seward, Homer, and Cordova, respectively.

**Table 15. Estimated Number of New Housing Units Constructed in Valdez, 2010-2019**

Year	Mobile Home	Multi-Family	Single-Family	Total
2008	0	0	10	10
2009	0	0	11	11
2010	0	0	13	13
2011	0	0	9	9
2012	0	0	3	3
2013	0	0	6	6
2014	0	0	3	3
2015	0	0	1	1
2016	0	0	6	6
2017	1	0	15	16
2018	0	0	1	1
2019	1	2	9	12
<b>2008-2019 Total</b>	<b>2</b>	<b>2</b>	<b>87</b>	<b>91</b>

Source: ADOL&WD New Housing Unit Survey.

**Table 16. New Housing Units Constructed in Selected Communities, by Type, 2008-2019**

Type of Housing Unit	Valdez		Seward		Homer		Cordova	
	Units	% Total	Units	% Total	Units	% Total	Units	% Total
Mobile Home	2	2%	0	0%	1	0%	2	0%
Multi-Family	2	2%	45	55%	74	16%	4	16%
Single-Family	87	96%	37	45%	391	84%	60	84%
<b>Total</b>	<b>91</b>		<b>82</b>		<b>466</b>		<b>66</b>	

Sources: ADOL&WD New Housing Unit Survey.

## Housing Cost and Affordability

Housing cost and housing affordability are related but provide different perspectives on a community's housing market. Housing cost is the price owners and renters must pay to secure necessary or desired housing. Housing affordability is how that cost compares to the wages that can be earned in a community.

### Rental Prices

ACS provides data on the distribution of rents paid in Valdez across a range from less than \$500 per month to more than \$2,000. Roughly one-third of renters (35 percent) in Valdez pay between \$500 and \$999 in monthly rent and 41 percent pay between \$1,000 and \$1,499.

This data includes the full spectrum of single-family and multi-family rentals. The overall median gross rent (which includes utilities) is \$1,125 ( $\pm 87$ ) based on the ACS 2014-2018 Five-Year estimate.

**Table 17. Distribution of Gross Rents for Households Paying Rent, 2014-2018 Five-Year Estimates**

Gross Monthly Rent	Count	% of Total
Less than \$500	0 (±9)	<1%
\$500 to \$999	81 (±60)	35%
\$1,000 to \$1,499	95 (±54)	41%
\$1,500 to \$1,999	9 (±15)	4%
\$2,000 or more	48 (±39)	21%
<b>Total</b>	<b>233 (±87)</b>	
<b>Median Gross Rent</b>	<b>\$1,125 (±142)</b>	--

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

Note: May not sum to totals due to rounding.

Valdez has higher estimated rents than nearby coastal communities due to fewer low-cost rentals and more high-cost rentals. Less than 1% of renting household paid less than \$500 a month in Valdez, compared to 20% in Seward, 11% in Homer, and 4% in Cordova. On the other end of the spectrum, 21% of Valdez renter households paid more than \$2,000 a month compared to only 4-9% in the other communities.

**Table 18. Distribution of Gross Rents for Households Paying Rent in Selected Communities, 2014-2018 Five-Year Estimates**

Gross Monthly Rent	Valdez	Seward	Homer	Cordova
Less than \$500	<1%	20%	11%	4%
\$500 - \$999	35%	44%	35%	41%
\$1,000 - \$1,499	41%	29%	39%	38%
\$1,500 - \$1,999	4%	4%	11%	9%
\$2,000 or More	21%	4%	4%	9%
<b>Total Count</b>	<b>233 (±87)</b>	<b>406 (±101)</b>	<b>788 (±68)</b>	<b>217 (±102)</b>
<b>Median Gross Rent</b>	<b>\$1,125 (±142)</b>	<b>\$924 (±142)</b>	<b>\$1,035 (±44)</b>	<b>\$1,057 (±206)</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

Another source of data comparing rents in Valdez to other communities is the rent reasonableness standards developed by AHFC for the eight cities where the agency's Housing Choice Voucher Program is available. Based on these standards – which are supposed to be equivalent to average rent prices – Valdez has the highest or second highest average rent for all housing types except two- and three-bedroom units.

**Table 19. Payment Standards for Rent Reasonableness, AHFC Housing Choice Voucher Program Cities**

	Number of Bedrooms							
	SRO	0	1	2	3	4	5	6
Anchorage	\$633	\$844	\$1,000	\$1,260	\$1,857	\$2,230	\$2,565	\$2,899
Fairbanks	\$542	\$723	\$883	\$1,169	\$1,723	\$2,007	\$2,308	\$2,609
Homer	\$529	\$705	\$845	\$1,000	\$1,230	\$1,600	\$1,840	\$2,080
Juneau	\$694	\$925	\$1,125	\$1,430	\$1,835	\$2,125	\$2,444	\$2,763
Ketchikan	\$603	\$804	\$1,006	\$1,295	\$1,547	\$1,828	\$2,102	\$2,376
Kodiak	\$554	\$739	\$1,061	\$1,397	\$1,689	\$1,929	\$2,218	\$2,508
Mat-Su	\$578	\$770	\$891	\$1,178	\$1,736	\$2,087	\$2,400	\$2,713
Petersburg	\$508	\$677	\$855	\$1,075	\$1,270	\$1,578	\$1,815	\$2,051
Sitka	\$585	\$780	\$975	\$1,235	\$1,600	\$1,800	\$2,070	\$2,340
Soldotna	\$529	\$705	\$845	\$1,000	\$1,230	\$1,750	\$2,013	\$2,275
<b>Valdez</b>	<b>\$713</b>	<b>\$950</b>	<b>\$1,125</b>	<b>\$1,264</b>	<b>\$1,605</b>	<b>\$2,186</b>	<b>\$2,514</b>	<b>\$2,842</b>
Wrangell	\$402	\$536	\$736	\$918	\$1,116	\$1,227	\$1,411	\$1,595

Source: AHFC. Standards are effective 8/2017 (most recent available).

Note: SRO stands for "single room occupancy" and is smaller than an efficiency apartment.

## Home Ownership Costs

Valdez's median monthly housing cost for homeowners with mortgages is approximately \$1,711, according to ACS 2014-2018 data. This includes mortgage payments, property taxes, insurance, and condo fees (where applicable). Homeowners without mortgage payments are not included in this estimate. The median monthly cost for owners without mortgages is \$406. One-half of Valdez homeowners (51%) do not have a mortgage on their home.

Homeowner costs in Valdez are similar to those in Homer and Seward and lower than those in Cordova. While only 4% of households with mortgages are paying more than \$3,000 a month in Valdez, two-fifths (21%) are in Cordova.

**Table 20. Distribution of Monthly Owner Costs for Households with Mortgages, Valdez, 2014-2018 Five-Year Estimates**

Gross Monthly Cost	Count	% of Total
Less than \$500	0 (±9)	0%
\$500 - \$999	56 (±63)	11%
\$1,000 - \$1,499	98 (±71)	19%
\$1,500 - \$1,999	227 (±123)	45%
\$2,000 - \$2,499	48 (±46)	9%
\$2,499 - \$2,999	61 (±58)	12%
\$3,000 or More	19 (±29)	4%
<b>Total Units</b>	<b>509 (±136)</b>	
<b>Median Monthly Cost</b>	<b>\$1,711 (±191)</b>	

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

**Table 21. Distribution of Monthly Owner Costs for Housing Units with Mortgages in Selected Communities, 2014-2018 Five-Year Estimates**

Gross Monthly Cost	Valdez	Seward	Homer	Cordova
Less than \$500	<1%	<1%	1%	<1%
\$500 - \$999	11%	<1%	8%	12%
\$1,000 - \$1,499	19%	41%	29%	12%
\$1,500 - \$1,999	45%	41%	28%	20%
\$2,000 - \$2,499	9%	9%	19%	23%
\$2,500 - \$2,999	12%	5%	9%	11%
\$3,000 or More	4%	4%	8%	21%
<b>Total Count</b>	<b>509 (±136)</b>	<b>332 (±94)</b>	<b>871 (±73)</b>	<b>324 (±88)</b>
<b>Median Monthly Cost</b>	<b>\$1,711 (±191)</b>	<b>\$1,755 (±349)</b>	<b>\$1,740 (±83)</b>	<b>\$2,120 (±387)</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

## Home Value and Sales

The median value of owner-occupied housing in Valdez is \$189,700, based on ACS data. The Valdez median is below Seward (\$235,000), Homer (\$237,300), and Cordova (\$316,200). The likely explanation is the high rate of mobile home ownership. Valdez has a significantly higher percentage of homes valued less than \$50,000 than other nearby coastal communities (27% compared to 0-9%). Valdez also has a much lower percentage of high-value homes, with less than one percent of owner-occupied homes worth more than \$500,000, compared to 8-14% in Seward, Homer, and Cordova.

**Table 22. Value of Owner-Occupied Housing Units, Valdez, 2014-2018 Five-Year Estimates**

Value	Count	% of Total
Less than \$50,000	286 (±118)	27%
\$50,000 to \$99,999	22 (±21)	2%
\$100,000 to \$149,999	93 (±64)	9%
\$150,000 to \$199,999	167 (±92)	16%
\$200,000 to \$299,999	235 (±132)	22%
\$300,000 to \$499,999	245 (±83)	23%
\$500,000 to \$999,999	0 (±9)	<1%
\$1,000,000 or more	0 (±9)	<1%
<b>Median Value</b>	<b>\$189,700 (±26,058)</b>	
<b>Total Units</b>	<b>286 (±118)</b>	

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

**Table 23. Value of Owner-Occupied Housing Units in Selected Communities, 2014-2018 Five-Year Estimates**

Value	Valdez	Seward	Homer	Cordova
Less than \$50,000	27%	<1%	3%	9%
\$50,000 to \$99,999	2%	4%	2%	1%
\$100,000 to \$149,999	9%	13%	3%	7%
\$150,000 to \$199,999	16%	16%	15%	4%
\$200,000 to \$299,999	22%	35%	38%	22%
\$300,000 to \$499,999	23%	24%	32%	43%
\$500,000 to \$999,999	<1%	8%	7%	14%
\$1,000,000 or more	<1%	<1%	1%	<1%
<b>Median Value</b>	<b>\$189,700 (±26,058)</b>	<b>\$235,000 (±32,077)</b>	<b>\$273,300 (±8,606)</b>	<b>\$316,200 (±24,212)</b>
<b>Total Units</b>	<b>1,048 (±166)</b>	<b>412 (±102)</b>	<b>1,418 (±88)</b>	<b>700 (±132)</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

ACS data on home values are comparable to those obtained from Valdez's property tax rolls especially if one assumes that tax assessments are generally somewhat below market prices. The median assessed value for all tax parcels with buildings and located in residential zoning districts is \$171,500.

**Table 24. Number of Valdez Property Tax Parcels with Buildings and Accessed Values, by Residential Zoning District, 2019**

Zoning District	Number of Parcels with Buildings	Median Assessed Land and Building Value	Median Accessed Building Value	Average Accessed Land Value
Single Family Residential	538	\$188,250	\$155,100	\$34,119
Residential Mobile Home	185	\$54,700	\$32,200	\$24,452
Rural Residential	174	\$136,550	\$117,450	\$15,947
Multiple Family Residential	149	\$184,700	\$164,700	\$40,785
Commercial Residential	59	\$141,800	\$105,300	\$35,292
Single/Two Family Residential	21	\$174,200	\$144,300	\$28,810
Semi-rural Residential	20	\$212,400	\$202,800	\$37,659
<b>Total Residential</b>	<b>1,146</b>	<b>\$171,500</b>	<b>\$144,450</b>	<b>\$30,070</b>

Source: City of Valdez.

Note: Raw land tax parcels (those with no accessed building value) are excluded from the data in this table.

## Housing Affordability

One in six (17%) Valdez households is estimated to be cost burdened, which is defined as spending more than 30% of household income on housing costs. This compares favorably to nearby coastal communities such as Seward (32% of households cost-burdened) and Homer (33%). Cordova is similar to Valdez with a 16% cost-burden rate. While housing costs are somewhat higher in Seward and Homer, higher incomes in Valdez and Cordova appear to be the main driver of a lower cost-burden rate in these communities.



**Table 25. Cost-Burdened Households, Selected Communities, 2014-2018 Five-Year Estimates**

	Valdez	Seward	Homer	Cordova
Median Monthly Housing Costs	\$999	\$1,240	\$1,114	\$1,043
Median Annual Household Income	\$95,847	\$76,410	\$59,837	\$85,970
Estimated Number of Cost-Burdened Households	224	270	754	162
<b>Percentage of Households Cost-Burdened</b>	<b>17%</b>	<b>32%</b>	<b>33%</b>	<b>16%</b>

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

## Household Characteristics

### Household Size

The average household size in Valdez for the 2014-2018 period was 2.83 people, including an average of 3.80 people in family households.

**Table 26. Household Size (Number of People), Selected Communities, 2014-2018 Five-Year Estimates**

	Valdez	Seward	Homer	Cordova
Average Household Size	2.83	2.65	2.42	2.96
Average Family Size	3.80	3.37	2.98	3.38
Households with at least one < 18 years old	25%	32%	27%	27%
Households with at least one > 60 years old	35%	30%	44%	40%

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

### Length of Tenure in Current Housing

Two thirds (66 percent) of households moved into the current housing unit between 2000 and 2014. The most common move-in period was 2010 to 2014, representing 41 percent of all households.

**Table 27. Year Household Moved into Unit, 2014-2018 Five-Year Estimates**

Year of First Occupancy	Estimate	% of Total
2017 or later	40 (±37)	3%
2015-2016	98 (±47)	7%
2010-2014	537 (±152)	41%
2000-2009	328 (±155)	25%
1990-1999	123 (±86)	9%
1989 or earlier	196 (±108)	15%

Source: U.S. Census, ACS 2014-2018 Five-Year Estimates.

# Household Telephone Survey

Results of a telephone survey of 210 randomly selected Valdez households are presented below. Based on this survey's sample size, the maximum margin of error associated with survey findings is  $\pm 6.6$  percent at the 90 percent confidence level. See the methodology section of this report for additional survey details.

Survey data was analyzed as a whole, as well as for various subgroups, including length of residency, rent/own, presence of children and seniors in the household, income level, and other subgroups. Only statistically significant differences between subgroups are reported.

Data in tables may not sum to 100% due to rounding.

## Current Housing Status

### Rent vs. Own

Three-quarters (74%) of survey respondents own their current home in Valdez, while 20% rent and 5% have another housing arrangement. These results are consistent with the latest ACS data, which indicates that renters make up 21% of occupied housing units.

#### *Subgroup analysis*

Similar proportions of those living in mobile homes and those living in single-family homes reported owning their home (85-86%). Most of those in other housing types reported renting (59%).

**Table 28. Do you rent or own your current home in Valdez?**

n=210	% of Total Weighted
Own	74
Rent	20
Other arrangement	5
Refused	1

### Years in Current Home

Almost half (46%) of survey respondents have lived in their current home for five years or less, while 16% have lived in their home for 6 to 10 years, 21% for 11 to 20 years, and 14% for over 20 years. The average length of residency for all households surveyed was 10.5 years.

#### *Subgroup analysis*

Those living in mobile homes had the highest average tenure in their current home (14.8 years), compared to 11.3 years for those in single family homes and 8.4 years for those in attached homes or multi-family situations. One in six (16%) mobile home households report living in their current housing for more than 30 years, compared to just 2-6% of other respondents.

**Table 29. How many years have you lived in your current home?**

n=210	% of Total Weighted
5 years or less	46
6-10	16
11-20	21
21-30	8
Over 30	6
Don't know	1
Refused	1
<b>Average</b>	<b>10.5 years</b>

## Type of Housing

The largest proportion (65%) of respondents currently live in a stand-alone, single family home, with 12% living in a mobile home or trailer, 11% in an attached home such as a duplex or zero lot line, 10% in an apartment, 1% in a condominium, and 2% in another form of housing.

Based on other sources of data, it appears that the survey somewhat under sampled those in mobile homes. ACS and City of Valdez Population survey data both indicate that mobile homes make up 23% of occupied housing units, whereas 12% of the survey sample resided in this housing type.

### *Subgroup analysis*

Three-quarters (74%) of homeowners live in a stand-alone, single family home, versus 34% of those who rent. Over half of renters (58%) live in either an attached home or an apartment.

**Table 30. Which type of housing do you currently live in?**

n=210	% of Total Weighted
A stand-alone, single family home	65
A mobile home or trailer	12
An attached home such as a duplex or zero lot line	11
An apartment	10
A condominium	1
Other	2

## Age of Home

Among respondents who know the age of their home (28% do not), homes averaged 33 years old. Only 8% of homes were reported as ten years old or less.

### *Subgroup analysis*

More than half of mobile homes were reported to be over 40 years old (61%), compared to just 24% of single family homes in the survey sample.

**Table 31. How many years ago was your home built?**

<b>n=210</b>	<b>% of Total Weighted</b>
10 years or less	8
11-20	11
21-30	11
31-40	17
41-50	18
Over 50	7
Don't Know	28
<b>Average</b>	<b>32.8 years</b>

## Size of Home

Housing size among respondents averages 1,783 square feet. The size of housing is fairly evenly spread out among respondents from 14% who live in 1,000 square feet or less, to 20% in 1,001 to 1,500 square feet, 16% in 1,501 to 2,000 square feet, and 17% in 2,001 to 3,000 square feet. Six percent live in housing larger than 3,000 square feet.

**Table 32. Approximately how many square feet is your current home?**

<b>n=210</b>	<b>% of Total Weighted</b>
1,000 or less	14
1,001-1,500	20
1,501-2,000	16
2,001-3,000	17
Over 3,000	6
Don't Know	25
Refused	3
<b>Average</b>	<b>1,783 ft<sup>2</sup></b>

Homes contain an average of 3 bedrooms. One-third (33%) of homes have less than 3 bedrooms and 23% have more.

**Table 33. How many bedrooms are in your home?**

<b>n=210</b>	<b>% of Total Weighted</b>
1	10
2	23
3	43
4	14
5+	9
Refused	1
<b>Average</b>	<b>3 bedrooms</b>

## Housing Costs

Monthly housing costs (rent or mortgage payments) are over \$1,000 for 40% of respondents, and \$1,000 or less for 17%. Thirty-one percent of respondents do not currently make housing payments. Over half (58%) of respondents 60 years of age or older are not making payments.

**Table 34. Approximately how much is your monthly rent or mortgage payment?**

n=210	% of Total Weighted
\$750 or less	8
\$ 751-\$1,000	9
\$1,001-\$1,250	10
\$1,251-\$1,500	15
Over \$1,500	15
Not making any payments	31
Don't Know	4
Refused	8
<b>Average</b>	<b>\$1,298</b>

Among those answering questions on housing costs (8% refused this question), 19% report these payments represent more than 30% of their household's combined monthly income. This is similar to ACS data which puts cost-burdened households (those paying more than 30% of their incomes to housing costs) at 17%.

## Satisfaction with Housing

### Overall Satisfaction

Most respondents (85%) report satisfaction with their current housing, though respondents were more likely to be satisfied (52%) compared to very satisfied (33%). Only 13% were dissatisfied, including just 3% that were very dissatisfied.

#### *Subgroup analysis*

A larger proportion of those who have lived in Valdez over 10 years report net satisfaction, at 92%, compared to 74% of those with residency of 10 years or less. One-quarter (24%) of those who have lived in Valdez for 10 years or less report they are dissatisfied or very dissatisfied, as do 29% who do not own their home.

**Table 35. Overall, are you satisfied with your current housing?**

n=210	% of Total Weighted
NET Satisfied	85
Very satisfied	33
Satisfied	52
NET Dissatisfied	13
Dissatisfied	11
Very dissatisfied	3
Don't know	2

## Satisfaction with Specific Features

Respondents were asked about their level of satisfaction with an array of features in their current housing. At least half are satisfied (satisfied or very satisfied) with every feature in the list. The largest proportion (88%) report net satisfaction with parking, followed by indoor air quality (83%), and number of bedrooms (80%). The highest level of dissatisfaction was found for suitability for seniors to age in place (36% net dissatisfied) and energy efficiency (28% net dissatisfied).

### Subgroup analysis

A smaller majority of mobile home households were satisfied with state of repair and design qualities (58% and 56%, respectively) compared to single family home households (83% and 89%, respectively). Roughly three in ten mobile home households were dissatisfied with these two features of their housing, though relatively few reported being “very dissatisfied” (4% for both).

**Table 36. How satisfied are you with each of the following features of your current housing?**

n=210	% of Total Weighted							
	NET Satisfied	Very Satisfied	Satisfied	NET Dissatisfied	Dissatisfied	Very Dissatisfied	NA	DK
Parking	88	34	54	8	6	2	4	-
Indoor air quality	83	23	59	14	12	2	3	-
Number of bedrooms	80	30	50	11	10	2	8	1
Design qualities and attractiveness	79	24	55	14	12	2	4	3
State of repair	78	23	55	14	11	3	4	3
Suitability for children	74	29	45	12	8	4	13	1
Value for the price	69	28	41	22	16	6	6	2
Energy efficiency	68	19	49	28	24	4	4	-
Suitability for seniors to age in place	51	11	41	36	25	11	10	3

Note: DK = Don't Know. Data may not sum to subtotals due to rounding.

## Presence of Various Housing Issues

Respondents were asked about whether various potential issues were present in their current housing. One-third (33%) experienced draftiness, 21% experienced plumbing issues, 16% mold, 12% structural issues, and 8% neighborhood crime. Less than half of households (46%) experienced none of the issues listed.

### Subgroup analysis

A larger proportion of renters than homeowners experience draftiness (48% of renters versus 28% of owners) and plumbing issues (37% versus 15% of owners). Mold and neighborhood crime were much more likely to be reported by mobile home households (29% and 33%, respectively) compared to those in other housing situations (less than 15% and less than 6%, respectively).

**Table 37. Which of the following, if any, do you experience in your current housing?**

<b>n=210</b>	<b>% of Total Weighted</b>
Draftiness	33
Plumbing issues	21
Mold	16
Structural issues	12
Neighborhood crime	8
None of the above	46
Don't know	1

## Quality of Rental Options

Renters were asked their opinion on the quantity of good options available in the local rental market. Over three-quarters (77%) of renters said there were few good options in the Valdez rental market. Only 5% of renters think there are many good rental options.

### *Subgroup analysis*

All renters (100%) in mobile homes reported that there were few good options in the Valdez rental market, compared to 84% of single-family home renters and 72% of renters in other housing types (including apartment buildings, multi-plexes, and attached homes).

**Table 38. In general, do you think the Valdez rental market has many good options, some good options, or few good options?***(Base = Renters)*

<b>n=41</b>	<b>% of Total Weighted</b>
Few good options	77
Some good options	15
Many good options	5
Don't know	3

## Rating Housing Quality, Affordability, and Availability

While relatively few respondents were dissatisfied with their own housing, a clear majority of respondents rated various measures of Valdez's housing market poorly. More than three-quarters rated housing availability in the city as poor or very poor (83%), including 36% that rated availability as very poor.

Similar portions of households rated housing affordability as poor (81%), including 34% saying very poor.

More than a half (55%) of households surveyed Valdez's housing quality as poor or very poor.

### *Subgroup analysis*

Respondents who have lived in Valdez for 10 years or less are more likely to report availability of housing as very poor, at almost half (48%), and quality of housing as poor or very poor (67%). Slightly more than one-



quarter (28%) of respondents who have lived in Valdez longer than ten years rate housing availability as very poor and 47% rate quality of housing as poor or very poor.

Households living in attached or multi-family housing were much more likely to rate availability and quality of housing as very poor in Valdez. More than half (52%) of these respondents rated housing availability as very poor, compared to 30-34% of those living in single family homes or mobile homes. Similarly, a third (32%) of households in attached or multi-family housing rated housing quality in Valdez as very poor, compared to just 8-9% of other households.

**Table 39. For each of the following aspects of housing in Valdez, please tell me whether you think it is very good, good, poor, or very poor?**

n=210	% of Total Weighted						
	NET Good	Very Good	Good	NET Poor	Poor	Very Poor	DK
Quality of housing	40	5	35	55	41	14	5
Affordability of housing	15	2	12	81	47	34	4
Availability of housing	12	3	9	83	47	36	5

Note: Data may not sum to subtotals due to rounding.

## Future Housing Plans

### Looking for New Housing

Respondents were asked whether they were currently looking for different housing in Valdez. Less than a quarter (17%) say yes, though an additional 16% expect to look for new housing in Valdez within the next five years.

#### *Subgroup analysis*

More than a third of renters (35%) are currently looking for new housing, compared to 10% of homeowners.

**Table 40. Are you looking for different housing in Valdez?**

n=210	% of Total Weighted
No	61
No, but expect to in the next five years	16
Yes	17
Don't know	6

### Reasons Looking for New Housing

Among those looking or expecting to look for new housing, the most cited reasons were the need for more space (36%) and a desire to own their housing (24%). The next most common responses were downsizing (5%) and aging/need or more care (5%). Other reasons were each cited by fewer than 5% of respondents.

**Table 41. What is the main reason you are looking, or expect to look, for new housing?***(Base = Those looking or expecting to look for housing within the next five years)*

n=69	% of Total Weighted
Need more space	36
Want to own	24
Downsizing	5
Aging/need more care	5
Building a home	4
Parking (boat, car, other)	3
High cost of rent	3
Family/roommate issues	3
Location	2
Building quality	2
Other	11
Refused	3

## Desired Future Housing

Three-quarters (77%) of respondents looking for, or expecting to look for, new housing expect to look for a stand-alone, single family house. The next most type of housing reported was apartment (8%) and zero lot line (4%). Despite mobile homes making up a large portion of the local housing stock, only 1% of those looking for new housing expect to look for a mobile home.

**Table 42. Which type of housing are you looking for or expecting to look for?***(Base = Those looking or expecting to look for housing within the next five years)*

n=69	% of Total Weighted
Stand-alone, single family house	77
Apartment	8
Attached home (i.e. duplex or zero lot line)	4
Condominium	2
Mobile home or trailer	1
Other	2
Don't know	3
Refused	3

More than two-thirds of those looking for new housing (69%) expect to buy their housing, while 22% expect to rent and 9% don't know.

**Table 43. Are you more likely to rent or buy?***(Base = Those looking or expecting to look for housing within the next five years)*

n=69	% of Total Weighted
Buy	69
Rent	22
Don't know	9

## Likelihood to Move from Valdez

Almost one-third of respondents (31%) report they are somewhat or very likely to move from Valdez within the next five years, while 67% are not likely.

**Table 44. How likely are you to move from Valdez within the next five years?**

n=210	% of Total Weighted
Very likely	17
Somewhat likely	14
Not likely	67
Don't know	2

## Inability to Move to Valdez

Nearly a third (30%) of Valdez residents surveyed reported having family, friends, or work colleagues who would like to move to Valdez but cannot due to lack of housing.

**Table 45. Do you have any family members, friends, or work colleagues that would like to move to Valdez but cannot because of lack of housing?**

n=210	% of Total Weighted
No	69
Yes	30
Don't know	1

## Senior Housing

Nearly a quarter (23%) of households include at least one member over 65 years of age.

**Table 46. How many seniors (65+ years) live in your household?**

n=210	% of Total Weighted
0	76
1	16
2	7
Refused	1

Seventeen percent of households with seniors report that at least one member of the household is somewhat or very likely to move to an assisted living or nursing home facility in the next five years, while 75% say this is unlikely.

**Table 47. How likely is it anyone age 65 or older in your household will need to move to an assisted living or nursing home facility in the next five years?**  
*(Base = Households with at least one senior)*

<b>n=48</b>	<b>% of Total Weighted</b>
Very likely	6
Somewhat likely	11
Not likely	75
Don't know	8

## City Housing Efforts

Most respondents, 85%, are supportive or very supportive of the City of Valdez taking steps to address housing issues in the community, with only 9% not supportive.

### *Subgroup analysis*

Across a variety of subgroups, respondents had similar opinions on support for city housing efforts.

**Table 48. How supportive are you of the City of Valdez taking steps to address housing issues in the community?**

<b>n=210</b>	<b>% of Total Weighted</b>
Very supportive	60
Supportive	25
Not supportive	9
Don't know	6

## Support for Specific Possible City Housing Efforts

Respondents were also asked about their level of support for several specific steps the City of Valdez could consider regarding housing. The inclusion of these questions does not necessarily imply that the city is considering these options.

The city housing efforts that garnered the most support were “releasing more city lands for housing development” and “exploring partnership to develop housing for seniors.” Both of these efforts enjoyed wide support with 58-59% reporting being very supportive and an additional 27-32% supportive. Only 5% of respondents were not supportive of senior housing partnerships, while 9% were not supportive of releasing more city lands.

All other housing steps considered in the survey garnered at least 60% support (very supportive and supportive combined), including providing tax breaks to developers to lower the cost of new housing (80% supportive), increasing development of tiny houses (74%), zoning changes to increase housing density (60%), and City-led housing development (60%).

Opposition to potential City housing efforts was greatest for zoning changes to increase housing density and city-led housing development. Nearly a third (30%) of respondents were not supportive of these potential steps by the City of Valdez.

**Table 49. How supportive are you of the City of Valdez taking the following steps regarding housing?**

n=210	% of Total Weighted			
	Very Supportive	Supportive	Not Supportive	Don't Know
Releasing more city lands for housing developments	59	27	9	5
Explore partnerships to develop housing for seniors	58	32	5	5
Tax breaks to developers to lower the cost of new housing	44	36	15	6
Support increased development of tiny houses	40	34	19	6
Zoning changes to increase housing density	32	28	30	10
City-led housing development	27	33	30	10

## Comments about City Housing Efforts

Respondents were asked if they had any other comments regarding housing efforts by the City of Valdez. A full list of responses is provided in Appendix B.

## Demographics

Survey respondent demographics are included in Appendix C.

# Key Informant Interviews

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A series of interviews was conducted to gather insights regarding housing conditions, barriers to housing development, housing priorities, and other topics. Interviews were conducted with a broad range of Valdez business owners and housing market stakeholders. A total of 22 people were interviewed for this study.

The majority of interviews were conducted using a standard interview protocol. Some interviewees were asked industry-specific and other questions. See Appendices D and E for the Interview Protocol and list of those interviewed.

Following is a summary of key themes identified from the interviews and selected paraphrased comments.

## Housing Demand and Gaps

### Rental Market

Nearly all interviewees reported that the rental housing market in Valdez is very tight. This shortage is particularly acute in the summer and in the downtown area. People that move to Valdez for work typically have to rent a hotel room or a room in someone's house for a month or significantly longer while trying to find more permanent housing. Resourceful, organized renters with good rental histories and incomes can typically find a place eventually, but others struggle to find rental housing, and some end up leaving town as a result.

*A lot of folks rent out rooms in their houses. These help address some of the need for low-cost rentals, but they are typically not a top choice for most renters.*

*Many landlords do really well specializing in renting to people working across the bay – that's a different market than rentals for families.*

*Renters want to be located in town. Many renters don't have reliable access to transportation.*

*There would be a serious shortage of rentals if Aleutian trailer park shuts down.*

*Moving to Valdez is a nightmare for the first while.*

*Pet friendly units frequently in demand but very hard to find.*

*Rental stock was built up in late 60s to late 70s. It's showing some age and not many great options.*

*Some landlords have had to become more selective to make sure renters pay their rent.*

*There are 55 AHFC low-income rental assistance vouchers assigned to Valdez right now, with all in use and a waiting list for them of about 30 people. There is demand by people that qualify for another 15-20 vouchers or so, but it probably wouldn't be possible to find units for all those renters.*

## Home Ownership Market

Interviewees identified gaps in both the starter home market (less than \$300,000) and the “step up” home market (typically in the \$300-\$375,000 range). There was little discussion of gaps related to higher-end homes, and a perception that despite somewhat limited options the higher end home market is healthy.

*Limited choice is somewhat to be expected in a small town.*

*Home values have increased considerably in recent years.*

*Homes typically sell via word of mouth before officially going on the market.*

*It's all of the above. We need more of everything. The only thing we don't need more of is mobile or modular homes.*

*The few vacant lots out there typically aren't for sale. People are waiting to build on them later when they retire.*

*City was basically rebuilt after 1964, so there isn't that really old stock. That would typically be the lower end of the market.*

*If more houses were on the market they would sell but it's fickle since everyone wants something different.*

*Some houses are less expensive to purchase but extremely inefficient and expensive to operate.*

*Overall housing is fairly affordable when you look at incomes.*

*Ok quality considering. Some say poor quality. Biggest issue is with mobile homes that probably should be condemned.*

*What is a reasonable expectation for affordable housing? People need to lower expectations for what they are going to get for any given price range.*

## Housing Construction

The most frequently cited barriers to affordable housing are the cost of construction and a lack of available land. Those interviewed frequently mentioned the cost of concrete as particularly high. Other causes of high construction costs mentioned by multiple people included transportation costs; engineering and building code requirements related to seismic and snow load considerations; a labor shortage; high land costs; and costs associated with putting in utilities such as sewer and water when not provided by the city.

For many years there has been only one professional builder focused on Valdez's residential market at any one time. Reasons given for this include the high cost of building – which makes it more difficult to make a profit – and low volume compared to other areas such as the Mat-Su. Several interviewees noted that the current active builder has an excellent reputation for quality construction, and is selling single family homes for prices that are as affordable as possible in the community (especially when taking into account the lower cost to operate a

more efficient home). In addition to the one residential-focused builder, there is at least one commercial builder occasionally building residences as well as several individuals building one-off homes.

*Cost to construct is super high. Hard to get something you want unless you do it yourself.*

*Have to have your act together to build affordable housing here.*

*Local builder is doing really good work and building quality homes at the lowest price possible. It is still too expensive or not big enough for some folks, but that isn't a fault of the builder.*

*Building multi-family units requires more upfront investment and seems riskier. And then someone has to operate the rentals.*

*Owner/builder stuff is as common as professional home building because that is the only way folks can get something they want for a reasonable price.*

*Desirable land just not very available.*

## Senior Housing

While it typically is not listed as the top housing gap, there is universal recognition that more senior housing is needed in Valdez. The Valdez Senior Center is seen as an important community resource with a large waiting list that reflects unmet demand. Officials with the Valdez Senior Center estimate there is enough demand to keep another 10-12 apartments full (in addition to the existing 15 units).

While the Valdez Senior Center has staff that can help with some Activities of Daily Living (ADLs), the center is not an assisted living facility. It is recognized that there is a need for an assisted living facility but also a need to be creative to make it work in a small town.

Multiple interviewees noted that providing options for seniors that want to move would free up single family housing for families and others. Multiple people indicated that there is developable land near the Senior Center and an expansion has been under discussion for some time.

*There is a huge gap in senior housing. We have folks contact us that probably shouldn't be living by themselves.*

*I would like to see options that allow people to age here. Affordability is probably the biggest issue for many seniors, rather than a need for an assisted living facility.*

*Is there a need for senior housing? Yes, but less so than family housing.*

*Private parties have come in and tried to set up an assisted living facility but when city didn't give them land free and other help they backed away.*



## Housing Gaps and Local Economy

When asked about the impact of housing gaps on the local economy, the most common issue discussed was employee retention. The workers most impacted are those in lower wage sectors such as the service industry. The town's major employers in other sectors – such as the seafood processors, Coast Guard, Edison Chouest, and others – generally have built bunkhouses or crew houses and report few issues resulting from any housing gaps in Valdez. Other higher wage employees, such as the those working at the Valdez Marine Terminal, typically have more housing options due to higher incomes, better credit and rental histories, and other factors.

One interviewee noted that Valdez's housing shortage has led to a depressed population, and argued that improved housing affordability and availability has the potential to lead to population growth.

*Many employers have had to buy crew houses to make it work. Without that workers would not be able to afford to move to town for these jobs.*

*Workforce housing is the biggest housing issue in town. Need affordable rental units for folks that currently work in the service industries.*

*A lot of people work for a summer and fall in love with the place. They try to stay year-round but often can't find desirable housing and just give up and leave.*

*Can you have a housing crisis with a declining population?*

*We have definitely lost good people due to housing issues.*

*Certain jobs don't pay enough to cover the cost of housing comfortably. Employers have to look for other ways to meet their needs, like more outsourcing/contracting rather than as many in-house hires.*

*Housing for seasonals is pretty tough. Plays into the longevity of working in these jobs.*

## City Role in Housing Efforts

Every interview included discussion of the role of the City of Valdez in addressing any housing gaps present in the community. A widespread sentiment is present that the city should make more of its land available for housing development. Land availability is seen as a key limitation, especially in the downtown area, and a low hanging fruit for the city. Specific parcels frequently discussed included the Woodside parcel, an extension of the Cottonwood subdivision, as well as other areas.

Though typically not mentioned as the top priority, there was near unanimous support for more city efforts related to senior housing. Reasons mentioned include existing city involvement through support for the Valdez Senior Center; availability of city land near the senior center for expansion; and the observation that senior housing is an area on which the private sector is less focused.

There was less agreement on other potential actions the city could take. Several interviewees would like to see a review of potential improvements to zoning, building codes, and other housing regulations, but are also realistic any changes may not fundamentally change housing dynamics in the community.

Several respondents indicated strong opposition to the city getting too involved in housing development beyond land sales, citing concerns regarding competition with the private sector.

*City should open up more opportunities via land sales.*

*Not a single approach but a multi-pronged approach needed from city.*

*Even if they open up land stuff not going to necessary fly off the shelves.*

*Corbin creek subdivision went well all in all. Not as affordable as ideal but it filled up and added some good options for some people.*

*Why hasn't additional road or two been added to cottonwood subdivision? Good question.*

*No builder can afford to build on a 40-acre parcel. Chunk things up so it's feasible to develop.*

*If someone brought a proposal, they should entertain variances and exceptions. It's my sense that's generally the case.*

*Probably makes sense to loosen some of the rules, such as in the single family zoning district.*

*Not just about building new housing but also helping folks afford what is available.*

*There has been a history of frustration with the city planning department. It seems better now but it's been so inconsistent over the last 20 years.*

*We've always been short on multi-family. Partly a zoning issue for sure. Just very little multi-family zoning out there.*

*Blast city budget at housing. Multi-plex apartment style duplexes – not top of the line but affordable – is what the city needs. Everywhere.*

*Not the city's job to open businesses or sell homes. City should just sell land.*

*Corbin Creek was a real good idea and it filled up nicely. The city could do something like that again. I really do think it will take something like that.*

*City permitting process can be challenging due to strict requirements.*

*Turnover in city leadership doesn't help with developing the partnerships needed.*

*Utility expansion is more important than zoning.*

*Whenever you get a permit have to go through zoning and that's where you have trouble.*

*The city has a fair amount of money so that is nice but the question is how to get involved without competing with private sector.*

*Have we over engineered our homes? Would be something to look at.*

# Housing Gap Analysis

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This section summarizes the various sources of information collected on Valdez's housing situation with the goal of clarifying the housing gaps present in the community.

The following gaps, and related general observations, are evident:

- Expansion of Valdez's housing inventory would be beneficial, especially in multi-family housing but also in single family housing and senior housing.
- Housing availability and affordability are bigger issues than housing quality.
- High median wages in the community contribute to disparities in housing affordability. Most of the private housing development has focused on single family homes for moderate to higher income residents. This leaves the biggest gap for lower income residents and new residents looking for rentals.
- Housing gaps are likely somewhat of a barrier to economic and population growth in the community.
- There is a very high level of dissatisfaction with Valdez's housing situation in the community and equally high levels of support for city action on the topic. These are strong signs of the presence of housing gaps in the community. See following section of this report for a discussion of implications of housing gaps for the City of Valdez.

## Rental and Multi-Family Housing

A variety of observations point to rental housing as a top housing gap in Valdez.

Based on survey results, a very high proportion of renters consider there to be few good options in the local rental market. All renters in mobile homes reported that there were few good options as well as 84% of single-family home renters and 72% of renters in attached homes and multi-family complexes.

Valdez has experienced a decline in the number of occupied housing units over the last decade. This decline has been steepest for renter-occupied units. A possible explanation is conversion of housing, especially rentals, into crew houses, vacation rentals, and second homes. Data purchased from airdna.co indicates that 33 whole houses were available for rent on AirBnB or VRBO in Summer 2019, up from a peak of 10 in summer 2017.

The percentage of households renting is lower in Valdez than other nearby coastal communities – with 21% renting compared to 30-51% in Homer, Seward, and Cordova. This is especially notable when taking into account that a significant number of Valdez rentals are higher end homes (21% of Valdez renter households paid more than \$2,000 a month compared to just 4-9% in the other communities).

Recent new housing starts have been almost exclusively focused on single family housing units, with only two multi-family units constructed since 2008.

Multi-family housing makes up a much larger portion of the housing stock in other similar communities such as Homer and Seward. This is particularly true for 5-9 unit complexes, which are also promising from an affordability standpoint.

Estimating the number of additional rental housing units needed is hampered by a lack of data on rental vacancy rates in the community. By most accounts rental vacancies are nearly always immediately filled through a waiting list or word of mouth. Furthermore, an unknown number of mobile home owners, seasonal residents, and others would rather rent an apartment than other options currently utilized.

## Single Family Housing

Single family housing, not including mobile homes or trailers, is the most desirable housing type for most Valdez residents. Various sources of information indicate that there is unmet demand for single family housing in Valdez.

A gap between active residential-focused professional builders contributed to a decline in new single-family home construction seen between 2012 and 2016. A spike in home construction in 2017 was associated mostly with crew housing constructed for Edison Chouest employees. Other than those exceptions, Valdez has typically seen construction of about 10 single family homes annually, nearly all presold or owner built.

Similar to rental housing, Valdez's owner-occupied housing stock appears to be declining, likely due in part to an increase in vacation rentals, crew houses, and second homes.

More than a third of renters (35%) are currently looking for new housing, compared to 10% of homeowners. Of those looking, three-quarters (77%) would prefer a stand-alone, single family house. Among those looking or expecting to look for new housing, the most cited reasons were the need for more space (35%) and a desire to own their housing (24%).

## Senior Housing

Nearly a quarter (23%) of households include at least one member over 65 years of age. Of these, 6% (or 1.3% of all Valdez households) indicated that someone in their household is very likely to need to move to an assisted living or nursing home facility in the next five years. These percentages can be translated into at least 20 residents very likely to need assisted living housing in the next five years. An additional 40 residents are somewhat likely to need to move to this type of housing in the next five years.

More than a third of households are dissatisfied with their current housing's suitability for seniors to age in place. That includes 11% that are very dissatisfied with the feature of their current housing.

Fewer households with seniors are cost-burdened than households without seniors (16% compared to 30%, respectively). This could be partly due to the fact that half of Valdez homeowners do not have a mortgage on their home, as well as the fact that the city exempts seniors from local property taxes (up to \$150,000 in home value).

Officials with the Valdez Senior Center estimate there is enough demand to keep another 10-12 apartments full, nearly double what is currently available.

## **Affordable Housing**

Due primarily to higher incomes, Valdez is better situated than many communities when it comes to customary measures of housing affordability. One in six (17%) Valdez households is estimated to be cost burdened, which is defined as spending more than 30% of household income on housing costs. This compares favorably to Cordova (32% of households cost-burdened) and Homer (32%).

While rents are slightly higher on average, homeowner costs in Valdez are similar to those in Homer and Seward and lower than those in Cordova.

Data from the household survey paints a more mixed picture. Roughly half of residents rate Valdez's housing affordability as poor and another third rate it as very poor. On the other hand, two-thirds of households say they are satisfied with the value for the price of their current housing. Possible explanations for these contradictions include the fact that those unable to find a reasonable housing situation often leave the community; a satisfaction with current housing but memory of a very difficult time upon moving to the town; and the high impediments associated with changing housing.

## **Mobile Homes Residents**

Interviewees frequently discussed Valdez's unusually large number of mobile homes and the deteriorating quality of this housing stock. More than half (61%) of mobile homes were reported to be over 40 years old and three in ten mobile home households report problems with mold.

While there is clearly a mix of situations facing mobile home residents, a significant portion of these residents appear to be stuck in this type of housing. Despite mobile homes making up nearly a quarter of the local housing stock, only 1% of those looking for new housing expect to look for a mobile home. Of current mobile home residents, 42% are looking for different housing or expect to in the next five years. Most of them are looking to buy single-family homes but the mean combined household income for those in mobile homes is nearly half the overall average at just \$50,000.

## **Economic Impact of Housing Gaps**

Reasonably priced and available housing are underpinnings of economic and community well-being. Many indicators suggest the local housing inventory is not meeting this basic need effectively. The findings in this study point most clearly to a negative impact on population growth in recent years.

The vast majority of residents in Valdez rate the town's housing availability and affordability as poor or very poor (more than 81% for both). This is especially true for those living in the community for 10 years or less. Interviews highlighted the "nightmare" many faced when moving to town, piecing together various substandard rentals and other options for months or years before finding functional long-term housing.

Almost one-third of respondents (31%) report they are somewhat or very likely to move from Valdez within the next five years. In addition, nearly a third (30%) of Valdez residents surveyed reported having family, friends, or work colleagues who would like to move to Valdez but cannot due to lack of housing.

Interviews with employers suggest a mix of responses to Valdez's housing limitations have produced workable results for many employers but are a hurdle for others. Lower wage workers and their employers are the most impacted, but there is a sense that the overall impact of housing challenges is a smaller workforce and more turnover than would otherwise be present.

## **Divergent Population and Employment Trends**

Population decline concurrent with employment growth is an atypical trend that may have implications in the housing market, including growing need to house non-resident workers. Increasing housing inventory should increase Valdez's ability to spread the benefits of employment and wage growth more widely in the community.

Available employment data do not allow a detailed analysis of the sectors driving employment growth. Many of the new jobs are in the Trade, Transportation, and Utilities sector, which include tourism employers as well as pipeline and oil/gas employers. Both seasonal workers and shift workers can be employed in Valdez while maintaining a primary place of residency in another community. Each individual's or family's residency choice is influenced by a variety of factors. The availability, affordability, and quality of housing options is certainly a major component of these decisions.

The economic trends discussed above support prioritizing rental housing and other affordable housing options. These housing units will most directly benefit lower-wage employees, such as those with seasonal and/or service sector employment. It will also benefit new residents in need of temporary housing as they look for permanent housing.

Addressing housing gaps will support local employers through increased employee retention, increased local hiring versus contracting, and increased demand for goods and services through stemming population declines and perhaps leading to population growth.

# Implications for City of Valdez

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A broad range of economic and demographic forces shape a community's housing market. Some of those forces may be external, and therefore beyond influence by the community. Other forces may be internal and somewhat controllable through public policy. This section attempts to translate the findings of this study into considerations relevant to housing efforts by the City of Valdez and community discussions more broadly. More information collection is recommended before any specific programs or policies are pursued.

## **Strong Support for City Housing Efforts**

A strong majority of Valdez residents (85%) are supportive or very supportive of the City of Valdez taking steps to address housing issues in the community. This support was consistent across nearly all subgroups analyzed including type of and satisfaction with current housing, income level, ethnicity, household size, and many others.

Majority support was also found for all specific potential housing efforts mentioned in the survey, with the most support for "releasing more city lands for housing development" and "exploring partnerships to develop housing for seniors." Both of these efforts enjoyed wide support with 58-59% reporting being very supportive and an additional 27-32% supportive.

The City should interpret these survey results as a mandate to work diligently to find solutions to the community's housing needs.

## **Increase City Land Sales and Utility/Road Extensions**

A widespread sentiment is present that the city should make more of its land available for housing development. Land availability is seen as a key limitation, especially in the downtown area, and something the city is uniquely positioned to address. Specific parcels frequently discussed included the Woodside parcel, an extension of the Cottonwood subdivision, and other areas. The city-led Corbin Creek subdivision is generally considered a success and other similar out of town projects should be considered as well.

Utility extensions and road development are additional ways the city can support housing projects in the community, including both public and private developments. Given the already high costs of construction, connecting to city sewer and city water can help drive down housing costs and encourage new housing construction. Potential improvements to how utility and road extensions are evaluated are beyond the scope of this study.

## **Multi-Family Housing Support**

Valdez has seen very little development of multi-family units over the last decade. Limitations include high construction costs and the small area of land available and zoned for multi-family housing, especially in the downtown area. Another key issue identified is the fact that other simpler and/or more promising business opportunities are available for local and regional builders. Given these issues, it may be necessary to more aggressively support these types of developments for them to succeed.

## **Consider Zoning and Building Code Updates**

While this study does not address potential zoning changes in detail, several ideas were discussed in the stakeholder interviews that appear to warrant further consideration. These include relaxation of housing restrictions, in the single-family and other residential zoning districts, to allow certain types of short- and long-term rentals. Such rentals are common in practice but not technically legal. Other housing restrictions, such as those in the light industrial zoning district, should be reviewed in light of the importance of housing development in the community. Finally, the city should continue to work with potential developers and help them obtain variances and exceptions, when needed and appropriate.

Local building codes and related regulations are widely recognized as important and valid. Several interviews also indicated that these could benefit from regular review to ensure that they are not unnecessarily restrictive.

## **Consider Property Tax Credits for Affordable Housing Developments**

Lots in residential zoning districts represent just 6.3% of the total taxable value in the city's property tax base. Any additional housing development are likely to have only a modest impact on tax collections. A corollary finding is that housing tax credits could likely be offered to housing developers with limited impact on city finances. Interviews frequently spoke to cash flow and other financing challenges associated with housing developments by Valdez's predominantly local commercial and residential builders. In addition, at least one interviewee was very enthusiastic about the potential for housing tax credits to help builders accomplish affordable housing developments.

## **Senior Housing Feasibility Worth Further Study**

There is widespread support for increasing senior housing units in Valdez and city involvement in these efforts. The city could consider supporting this effort through funding a feasibility study reviewing potential partnership structures, demand estimates, preliminary capital costs associated with different development options, and available financing methods to maximize use of federal and other resources.

## **Improved Communication with Local Businesses**

The city has progress to make on maintaining productive two-way conversations with local housing stakeholders, multiple interviews indicated. There are significant misunderstandings present and a perception that some in the city are not in regular communication with local business leaders. Increased consensus could be expected from improved outreach and communication.

## **Contribute to an Improved Understanding of the Local Housing Market**

Efforts currently underway by the city to digitize information on property tax roll cards and bring these records online is a relatively simple but valuable way to help potential builders and others better understand the local housing market.

Similarly, housing information collected via the city's Household Population Survey could be summarized and reported out to the community for relatively low cost. More broadly, regular publishing of "indicator" reports



are sometimes completed by local Chambers of Commerce, municipalities, or economic development organizations and help businesses and others understand and evaluate potential opportunities.

## Appendix A: Household Survey Instrument

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# Valdez Housing Household Survey

PHONE # \_\_\_\_\_

Cell/Landline

INTERVIEWER NAME \_\_\_\_\_

DATE \_\_\_\_\_

Hi, this is \_\_\_\_\_ with the McDowell Group, an Alaska research firm. We're conducting a study for the City of Valdez to better understand housing needs in the community. I'd like to ask you a few questions.

1. In what year were you born? 19\_\_\_\_\_ (If 2002 or after, request someone over 18. If none available, thank and end survey)  
01 ☐ Refused (Thank and end survey)
2. Do you live in Valdez at least six months of the year? 01 ☐ Yes 02 ☐ No
3. How many years have you lived in Valdez? #\_\_\_\_\_ years 01 ☐ Less than 1 year 02 ☐ DK/Ref
4. Including yourself, how many people live in your household for at least six months out of the year?  
#\_\_\_\_\_ 01 ☐ Don't know 02 ☐ Refused

## Current Housing Status

5. Do you rent or own your current home in Valdez?  
01 ☐ Rent 05 ☐ Don't know (Skip to Q6)  
02 ☐ Own (Skip to Q6) 06 ☐ Refused (Skip to Q6)  
03 ☐ Other arrangement \_\_\_\_\_ (Skip to Q6)
- 5a. In general, do you think the Valdez rental market has many good options, some good options, or few good options?  
1 ☐ Many good options 4 ☐ Don't know  
2 ☐ Some good options 5 ☐ Refused  
3 ☐ Few good options
6. How many years have you lived in your current home? #\_\_\_\_\_ years  
01 ☐ Less than 1 year 02 ☐ Don't know 03 ☐ Refused
7. Of the following, which type of housing do you currently live in? (Read 1-5; check only one)  
01 ☐ A stand-alone, single family house  
02 ☐ An attached home such as a duplex or zero lot line  
03 ☐ A condominium  
04 ☐ An apartment  
05 ☐ A mobile home or trailer  
06 ☐ Other \_\_\_\_\_ 07 ☐ Don't know 08 ☐ Refused
8. Approximately how many square feet is your current home? \_\_\_\_\_ sq. ft  
01 ☐ Don't know 02 ☐ Refused
9. Do you know what year was your home was built? \_\_\_\_\_ 01 ☐ Don't know (best guess is fine) 02 ☐ Refused
10. How many bedrooms are in your home? #\_\_\_\_\_ 01 ☐ Don't know 02 ☐ Refused
11. Approximately how much is your monthly rent or mortgage payment? \$ \_\_\_\_\_  
01 ☐ Not making payments (Skip to Q13) 02 ☐ Don't know 03 ☐ Refused
12. Does your monthly rent or mortgage payment represent more than 30% of your household's combined monthly income?  
01 ☐ Yes → 12a. Is it more than 50%? 01 ☐ Yes 02 ☐ No 03 ☐ Don't Know/Refused  
02 ☐ No  
03 ☐ Don't Know  
04 ☐ Refused

## Current Housing Preferences

13. Overall, are you very satisfied, satisfied, dissatisfied, or very dissatisfied with your current housing?  
01 ☐ Very satisfied 03 ☐ Dissatisfied 05 ☐ Don't know  
02 ☐ Satisfied 04 ☐ Very dissatisfied 06 ☐ Refused

14. For each of the following features of your current housing, are you very satisfied, satisfied, dissatisfied, very dissatisfied, or is it not applicable.

[ROTATE]	1 Very satisfied	2 Satisfied	3 Dissatisfied	4 Very dissatisfied	5 DK	6 Ref	7 NA
a. Number of bedrooms	01	02	03	04	05	06	07
b. Energy efficiency	01	02	03	04	05	06	07
c. Indoor air quality	01	02	03	04	05	06	07
d. Parking	01	02	03	04	05	06	07
e. State of repair	01	02	03	04	05	06	07
f. Design qualities and attractiveness	01	02	03	04	05	06	07
g. Suitability for children	01	02	03	04	05	06	07
h. Suitability for seniors to age in place	01	02	03	04	05	06	07
i. Value for the price	01	02	03	04	05	06	07

15. Which of the following, if any, do you experience in your current housing? (Read list 1-5, check all that apply)

- 01 ☐ Plumbing issues
- 02 ☐ Mold
- 03 ☐ Draftiness
- 04 ☐ Structural issues
- 05 ☐ Neighborhood crime
- 06 ☐ None of the above
- 07 ☐ Don't know
- 08 ☐ Refused

16. For each of the following aspects of housing in Valdez, please tell me whether you think it is very good, good, poor, or very poor.

[ROTATE]	1 Very good	2 Good	3 Poor	4 Very poor	5 DK	6 Ref	7 NA
a. Availability of housing	01	02	03	04	05	06	07
b. Quality of housing	01	02	03	04	05	06	07
c. Affordability of housing	01	02	03	04	05	06	07

Future Housing Plans

[Read] Next, I have some questions about your future housing plans.

17. Are you currently looking for different housing in Valdez?

- 01 ☐ Yes (skip to Q19)
- 02 ☐ No
- 03 ☐ Don't know
- 04 ☐ Refused

18. Do you expect to look for different housing in Valdez within the next five years?

- 01 ☐ Yes
- 02 ☐ No (skip to Q22)
- 03 ☐ Don't know (skip to Q22)
- 04 ☐ Refused (skip to Q22)

19. What is the main reason you are looking, or expect to look, for new housing? (Do not read, check only one)

- 01 ☐ Location
- 02 ☐ Need more space
- 03 ☐ Parking (boat, car, other)
- 04 ☐ Building quality
- 05 ☐ Want to own
- 06 ☐ Family/roommate issues
- 07 ☐ Aging/need more care
- 08 ☐ Other \_\_\_\_\_
- 09 ☐ Don't know
- 10 ☐ Refused

20. Of the following, which types of housing are you looking for, or expect to look for? (Read 1-5; check only one)

- 01 ☐ A stand-alone, single family house
- 02 ☐ An attached home such as a duplex or zero lot line
- 03 ☐ A condominium
- 04 ☐ An apartment
- 05 ☐ A mobile home or trailer
- 06 ☐ Other \_\_\_\_\_
- 07 ☐ Don't know
- 08 ☐ Refused

21. Are you more likely to rent or buy?

- 01 ☐ Rent
- 02 ☐ Buy
- 03 ☐ Don't know
- 04 ☐ Refused

22. Are you very likely, somewhat likely, or not likely to move from Valdez within the next five years?

- 01 ☐ Very likely
- 02 ☐ Somewhat likely
- 03 ☐ Not likely
- 04 ☐ Don't know
- 05 ☐ Refused

23. Do you have any family members, friends, or work colleagues that would like to move to Valdez but cannot because of a lack of housing?
- 01

☐ Yes

02

☐ No

03

☐ Don't know

04

☐ Refused

Senior Housing

[Read] Next, I would like to ask you about potential senior housing needs.

24. How many seniors 65 years of age or greater live in your household? # \_\_\_\_\_ 01 ☐ Zero (Skip to Q26)
- 02 ☐ Don't know

03 ☐ Refused
- 24a. How many seniors 80 years of age or greater live in your household? # \_\_\_\_\_ 01 ☐ Zero
- 02 ☐ Don't know

03 ☐ Refused
25. [if any 65+ in HH] Is it very likely, somewhat likely, or not likely that anyone age 65 or older in your household will need to move to an assisted living or nursing home facility in the next five years?
- 01 ☐ Very likely

02 ☐ Somewhat likely

03 ☐ Not likely

04 ☐ Don't know

05 ☐ Refused

City Housing Efforts

[Read] Next, I would like to ask you about local housing policies.

26. How supportive are you of the City of Valdez taking steps to address housing issues in the community?
- 01 ☐ Very supportive

02 ☐ Somewhat supportive

03 ☐ Not supportive

04 ☐ Don't know
27. Please tell me whether you are very supportive, somewhat supportive, or not supportive of the City of Valdez taking the following steps regarding housing.

[ROTATE]	1 Very supportive	2 Somewhat supportive	3 Not supportive	4 DK	5 Ref
a. Zoning changes to increase housing density.	01	02	03	04	05
b. Tax breaks to developers to lower the cost of new housing.	01	02	03	04	05
c. Releasing more city lands for housing developments.	01	02	03	04	05
d. Support increased development of tiny homes.	01	02	03	04	05
e. City-led housing development.	01	02	03	04	05
f. Explore partnership to develop supportive housing for seniors.	01	02	03	04	05

28. Do you have any other comments regarding housing efforts by the City of Valdez?

Demographics

[Read] I have just a few more questions for demographic purposes.

29. How many children under the age of 18 live in your household? # \_\_\_\_\_ 01 ☐ Zero
- 02 ☐ Don't know

03 ☐ Refused
30. Please stop me at the category that best describes your total combined household income before taxes for 2019.
- 01 ☐ Less than \$25,000

02 ☐ \$25,000 to \$50,000

03 ☐ \$50,000 to \$100,000

04 ☐ \$100,001 to \$150,000

05 ☐ More than \$150,000

06 ☐ Don't know

07 ☐ Refused
31. What racial or ethnic group do you consider yourself? (Don't read list, check all that apply)
- 01 ☐ White

02 ☐ Black or African American

03 ☐ Hispanic

04 ☐ Alaska Native/American Indian

05 ☐ Asian/Pacific Islander

06 ☐ Other (please specify): \_\_\_\_\_

07 ☐ Don't know

08 ☐ Refused

Thank you (and end survey)

32. (DO NOT ASK) Gender 01 ☐ Male 02 ☐ Female 03 ☐ Don't know

## Appendix B: Household Survey Comments

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Below are comments provided in response to question 28: *Do you have any other comments regarding housing efforts by the City of Valdez?* Responses are verbatim, though some responses have been edited to improve readability.

### Availability and Affordability of Housing

- Valdez lacks housing.
- Valdez needs more housing. (3x)
- Need more housing. Get 'er done.
- Need more housing, apartments.
- Need more housing for military.
- Not enough rental housing.
- It's hard for people to find housing especially in the summer months.
- Affordable housing to live in Valdez.
- Why is housing so expensive here?
- Rental market is very difficult to get families to move here.
- Stop building \$400K houses; need for affordable housing.
- More land for housing and lower prices on housing.
- Make more property available at a fair market value.
- Too costly and the state we are living in is very poor. Something needs to change.
- We need more affordable housing, electricity is high. Rent is too high for low income housing, it's a joke, low income \$1,300 for 2-bedroom apartment.
- Not everyone can afford to not live in mobile homes. Are they trying to get rid of trailers to replace with nice fancy homes?
- The city overspends. If they are to develop more housing, it needs to be affordable for low income people.
- Need more affordable housing for low income families.
- Valdez needs more affordable housing. Rent is high.

### Availability of Quality Housing

- A lot of structures need to be looked at.
- Options are limited and what is available is in poor shape. It took about 13 months to find a nice place.
- Need more housing also affordable housing places that are here are too high in cost. Poor quality and overpriced.
- Grandfathered in keeping homes that are no longer livable.
- Poor housing for families in Valdez; limited housing for disabled; slum housing not regulated by city; more houses should be condemned but are not due to lack of housing.

### Development Ideas

- Could develop the old Petco site for housing.
- Tiny homes are a great idea especially for temporary summer workers.
- I feel like tiny houses would be ideal for a lot of people.
- Tiny houses rather than apartments.

- More levels of housing (opposed to scenic regulations). Smaller lots and smaller homes. Tiny home subdivision.
- Need to develop more on the waterfront. Make a bigger boat basin.
- Need to find a way to make housing development affordable to the builders.
- Build more affordable housing for the middle class.
- Explore more options.
- It would be great if they had more handicap accessibility buildings than just for students.
- 1. Permitting takes ridiculously long to get. 2. Goal posts keep changing so most don't bother getting permits.
- Building a home in Valdez is financially prohibitive both for property and materials.
- Open up to allow more private enterprise.
- Study reduction of restrictions on home building.
- Need to move forward quickly to release land for sale at reasonable prices for housing development.
- Need to open up more land to the public at reasonable prices. They did nice job on Corbin Creek.
- Make it so we could build more houses.
- Land availability at an affordable price would help.
- Remove septic, hook all current housing to city sewers.
- Lower the property taxes.
- Lower the residential tax on homes. Lower real estate taxes in general.

## **Support for City Housing Efforts**

- Appreciate that they are making an effort.
- Glad they are doing the survey. Good place to start.
- Glad they are looking at possibly doing something about housing.
- I appreciate the survey and hope steps are taken to remedy the lack of housing in Valdez.
- I support the city developing more housing.
- Supportive of City, but don't believe it will happen.
- Anything to improve the housing situation would be appreciated.

## **City Involvement in Housing Development**

- They need to do a better job of making it feasible to build homes.
- Lots of city potential but needs a direction.
- City has a lot of land to release for development and to expand their tax base. This would be desirable so that people would not need multiple jobs to afford to live here. Need to sell smaller parcels so that people can afford to buy for a reasonable amount.
- City needs a comprehensive plan to address zoning for low- and medium-income families.
- Currently when the city rezones land for development, people move trailers to land rather than build. Oftentimes, they create eyesores that bother the original neighborhood.
- The city had a good plan in the past and it was successful. They need to look at it again. There is no affordable mid-range housing. Only trailers available for low income people.
- We would like to have city sewer in our neighborhoods.
- They definitely need to do something. People need more affordable housing for everyone that wants to live there.
- The city should make land available with roads, sewer, water & permits thereby sharing the risks with developers by providing this infrastructure
- Lower taxes. Road maintenance, infrastructure to improve housing.

## Feedback on City Efforts

- Do not compete with private enterprise. Do not take over the trailer park.
- I don't think the City of Valdez is making any efforts to make housing better. Valdez has the highest tax rate in Alaska.
- The city council talks but doesn't act. Has lots of funds available to make changes.
- The people making these decisions are being swallowed up by bureaucrats who do not talk to the people of Valdez.
- The city spends too much money on nonsense.
- Taxes are too high.
- They are too late.
- City needs to do their job. Admin is out of control, hiring people and not doing jobs. City Manager and department heads belittling their employees. They are wasting too much money on these surveys.
- I strongly urge the City of Valdez to keep their nose out of it. They need to look at their 20-million-dollar tax rate and their regulations.
- Need to get off their butt and do something-not just talk about it.
- I have not seen any efforts other than this survey by the City.
- City shouldn't be doing housing development. Keep it private.
- I don't like seeing the city compete with other developers. I bought a lot and the city said the sewer would be added but I still do not have city sewer.
- Housing development best left to private sector, but each situation should be addressed individually.

## Senior Housing

- Move faster on senior housing.
- Need to support younger people in the city before focusing on senior housing.
- We could use another senior housing that is affordable. More affordable apartments.
- Senior housing is a serious problem in Valdez.
- Limited availability for nursing homes. Encourage them to do something ASAP. Critical shortage.

## Miscellaneous Suggestions for the City

- Valdez is a small town and would like to continue to be a small town.
- Should focus on developing indoor recreation center for adults that doesn't include the high school.
- One way the city might be able to assist the community would be to manage freight costs.



## Appendix C: Household Survey Demographics

**Table 50. Age of Respondents**

n=210	% of Total
18-24	4
25-34	26
35-44	18
45-54	18
55-64	20
65+	14
<b>Average</b>	<b>46.4 years</b>

**Table 51. How many years have you lived in Valdez?**

n=210	% of Total Weighted
10 years or less	39
11-20	19
21-30	19
31-40	12
Over 40	10
<b>Average</b>	<b>19.8 years</b>

**Table 52. Including yourself, how many people live in your household at least six months out of the year?**

n=210	% of Total Weighted
1	18
2	40
3	20
4	12
5+	10
<b>Average</b>	<b>2.6 people</b>

**Table 53. How many children under the age of 18 live in your household?**

n=210	% of Total Weighted
0	65
1	15
2	11
3+	7
<b>Average</b>	<b>&lt;1 child</b>

**Table 54. Please stop me at the category that best describes your total combined household income before taxes for 2019.**

<b>n=210</b>	<b>% of Total Weighted</b>
Less than \$25,000	4
\$25,001 to \$50,000	16
\$50,001 to \$100,000	28
\$100,001 to \$150,000	19
More than \$150,000	18
Don't know	3
Refused	12

**Table 55. What racial or ethnic group do you consider yourself?**

<b>n=210</b>	<b>% of Total Weighted</b>
White	86
Alaska Native/American Indian	7
Hispanic	3
Asian/Pacific Islander	1
Black or African American	1
Other	-
Don't know	1
Refused	5

## Appendix D: Key Informant Interview Protocol

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Name:

Business & Title:

Hi this is (Name)\_\_\_\_\_ of the McDowell Group. We are conducting a housing study for the City of Valdez. I would like to ask you a few questions regarding housing needs in Valdez.

- 1) What type of housing do you think is most in demand in Valdez?
  
- 2) Do you consider housing in Valdez to be affordable for most residents? What would you consider to be an affordable monthly rent/mortgage payment for most Valdez residents?
  
- 3) How well are the housing needs of Valdez's senior population met, in your opinion?
  
- 4) How do seasonal residents affect the local housing market? What about VRBO/air bnb rentals?
  
- 5) On the whole, what would you rank as the top housing gaps, if any, in Valdez?
  
- 6) What are the barriers to increasing housing availability in Valdez? (single family, multi-family, short-term housing, etc.)

- 7) Is Valdez's housing situation affecting businesses and employers in town? What impact does the city's housing situation have on employers seeking to recruit or retain employees?
- 8) Are you aware of any efforts to address housing gaps in Valdez? Do you know of any housing projects currently in the planning phase?
- 9) What steps, if any, should the city take to address local housing gaps?
- 10) Are you supportive of the following hypothetical city actions regarding housing?
- a. Zoning changes to increase housing density
  - b. Tax breaks to developers to lower cost of new housing
  - c. Releasing more city lands for housing developments
  - d. Increase development of tiny homes
  - e. City-led housing development
  - f. Explore partnership to develop/expand supportive housing for seniors.

## Appendix E: Key Informant Interview List

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The following individuals were interviewed for their perspective on housing issues in Valdez.

- Alice MacDonald, Sound Realty
- Amanda Bower, Stan Stevens Cruises
- Bob Zastro, Zastro Enterprises
- Brad Barnett, Barnett Building
- Christian Stanford, Totem Inn
- Colby Boulton, Peter Pan
- Darren Reese, Alaska Department of Transportation and Public Facilities
- Deborah Plant, Valdez Senior Center
- John Lusk, Coast Guard
- Kate Huber, City of Valdez
- Kyle, Safeway
- Michael Renfro, Appraisal Company of Alaska
- Michelle Chase, Alaska Housing Finance Corporation
- Nathan Duval, City of Valdez
- Nicole LeRoy, City of Valdez
- Olen Harris, North Pacific Rim Housing Authority
- Paul Nyland, City of Valdez
- Randy Seaman, Frontier Appraisal Service
- Richard Franks, Silver Bay Seafoods
- Ron Hursh, Hursh Rentals
- Steve Shiell, Prince William Sound College
- Will Stark, First National Bank of Alaska



## Legislation Text

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**File #:** 20-0139, **Version:** 1

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**ITEM TITLE:**

Report: Prince William Sound Aquaculture Corporation Spring 2020 Board Meeting

**SUBMITTED BY:** Amanda Bauer, City Representative, PWSAC Board of Directors

**FISCAL NOTES:**

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

**RECOMMENDATION:**

Receive and file

**SUMMARY STATEMENT:**

As the COV representative on the Prince William Sound Aquaculture Corporation Board of Directors, Amanda Bauer attended the annual spring board meeting on March 5, 2020 in Anchorage. Please find her report regarding the meeting attached.

March 12, 2020

TO: Mayor O'Neil and Members of the Valdez City Council

FROM: Amanda Bauer  
[amanda@stephenscruises.com](mailto:amanda@stephenscruises.com)  
907-831-0403

RE: Report from Prince William Sound Aquaculture Corporation Board of Directors Meeting held March 5, 2020 in Anchorage, Alaska.

Mayor O'Neil and Council Members,

As your appointed representative on the Prince William Sound Aquaculture Corporation (PWSAC) Board of Directors, I attended the annual Spring Board meeting on March 5, 2020 in Anchorage. My report on the meeting follows.

The majority of the meeting was spent hearing reports and updates from staff as well as a lengthy discussion about capital projects. The four hatcheries in the sound are aging and require significant capital upgrades. In the past a capital fund was established as a way forward. However, the age of the facilities combined with the remoteness makes it difficult to slowly save the money needed for upgrades. Going forward the fleet will commit more of the catch to cost recovery in order to fund the needed projects. This year the seine fleet will commit 32.3% of their catch and the gillnet fleet will commit 33.9% of their catch to cost recovery and brood stock. This larger commitment to cost recovery will likely continue for the next few years.

As has been the case recently, the budget for the Alaska Department of Fish & Game (ADF&G) was a topic of discussion. In particular the PWS Otolith Program. This program costs ~\$300,000 a year and is an essential tool to manage the fishery. For years the State of Alaska has paid for ~\$200,000 and PWSAC has paid for ~\$100,000. Recently, ADF&G has lost ~\$95,000 in funding for this program. Should the final State budget remain as is, there is a good chance PWSAC would contribute more money to that program.

Work continues to be done to help the Gulkana Hatchery reach the annual egg take goals. It has been a struggle in the past few years for multiple reasons, ranging from too much or too little water, floods, disease etc. There are some projects being considered which give a positive outlook for the future of the egg take goals.

There was not much discussion about the market or the possible effects of covid-19. The general projection is that price for fish this season will be in line with last year or possibly a little lower.

The fall board meeting is scheduled for October 8, 2020 in Cordova. Weather permitting, I will be attending that meeting.

Thank you again for the opportunity to represent the City of Valdez.



Amanda Bauer



## Legislation Text

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**File #:** 20-0140, **Version:** 1

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**ITEM TITLE:**

Report: Wildlife Resistant Container Program Outreach Group [Update #2]

**SUBMITTED BY:** Bart Hinkle, Chief of Police

**FISCAL NOTES:**

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

**RECOMMENDATION:**

Receive and File

**SUMMARY STATEMENT:**

Representatives from multiple City of Valdez departments have assembled a team to conduct public information/outreach concerning the Wildlife Resistant Container program. The members of the team are: Allie Ferko (PIO/Clerks), Dan Plaster (Police Department), Bart Hinkle (Police Department), Rob Comstock (Public Works), Erick Garcia (Public Works), Venessa Dawson (Public Works), Nicholas Farline (Parks, Recreation and Cultural Services), Roxanne Murphy (City Administration), and Barb Rusher (Finance). Jake Staser serves as Legal advisor.

The team aims to meet on a weekly basis (although that has been modified a bit due to recent events) to identify and implement the most efficient and strategic methods to effectively communicate the WRC program to the citizens of Valdez.

**STEP ONE: WRC PROGRAM WEBSITE (COMPLETE - MARCH 4, 2020)**

**STEP TWO: WRC AGREEMENT FORM AVAILABLE (COMPLETE - MARCH 16)**

On March 16<sup>th</sup>, the Container Agreement Form (fillable pdf) became available on the WRC Program webpage. (<https://www.valdezak.gov/553/Wildlife-Resistant-Garbage-Collection-Pr>) Paper agreement forms are available in the entryway at Valdez City Hall.

Also on the week of March 16<sup>th</sup>, door hangers were deployed on the doors of residents who are current curbside collection customers. Five hundred (500) deployed door hangers included a QR code to drive citizens back to the aforementioned webpage, along with an attached physical copy of



the Container Agreement Form.

An additional one hundred (100) generic door knockers were also deployed, along with an attached physical copy of the Container Agreement Form.

In all, 600 Container Agreement Forms were distributed in this manner.

The forms may be submitted via:

- Drop box located in the entryway at Valdez City Hall (212 Chenega Avenue)
- Mail to City of Valdez, c/o WRC Program, PO Box 307, Valdez AK 99686
- Email to [WRCProgram@valdezak.gov](mailto:WRCProgram@valdezak.gov)

Payments for purchased containers will be accepted closer to the date of WRC delivery to customers.

As of April 1, one-hundred sixty-one (161) forms have been completed and returned. 135 of them rentals, the other 26 purchases.

## **ONGOING WRC PROGRAM OUTREACH EFFORTS**

Upcoming methods of public information and outreach, along with an estimated timeline, include but are not limited to:

- Social media content to be posted on the City FB page and shared by other City departments [March-May]
- Fliers in strategic and common locations [March - May]
- Information on COV digital signage [March - May]
- Mailer sent to PO Box [April]
- Appearances on KVAK and KCHU by Public Works, Police, & Administration [April]
- Insert with City utility bill [April] (tentative)
- PSAs (written and radio) [April - May]
- Video / Vignettes [May]
- Public Appearances with WRC [May]

**Next public information/outreach team update: Council packet on April 21<sup>st</sup>.**



## Legislation Text

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**File #:** 20-0141, **Version:** 1

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**ITEM TITLE:**

City Manager's Report 4-7-2020

**SUBMITTED BY:** Mark Detter, City Manager

**FISCAL NOTES:**

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

**RECOMMENDATION:**

[Click here to enter text.](#)

**SUMMARY STATEMENT:**

The following details my activities for the past three weeks:

- Attended multiple Unified Command and Council meetings related to COVID-19.

Current incident objectives under the Unified Command structure for the COVID-19-Valdez:

- Establish control measures to minimize spread of virus (complete).
- Establish a reserve pool to strengthen and monitor resiliency of essential services.
- Create a plan for staffing essential functions.
- Coordinate support for community mental wellness.
- Create a plan for displaced persons and functions.
- Create Summer Seafood Operations Task Force.
- Create a work group for summer tourism planning.
- Create a plan for the Valdez Patient 1 (Completed).

The next two weeks will include continued meetings related to COVID-19 and:

- Discussions related to a relief/assistance package for Valdez citizens.
- Introducing Planning staff, Economic Development and Ports and Harbor staff to A2A group.



# City of Valdez

212 Chenega Ave.  
Valdez, AK 99686

## Legislation Text

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**File #:** 20-0142, **Version:** 1

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**ITEM TITLE:**

Council Calendar - April 2020

**SUBMITTED BY:** Allie Ferko, CMC, Deputy City Clerk

**FISCAL NOTES:**

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

**RECOMMENDATION:**

Receive and file

**SUMMARY STATEMENT:**

Council calendar for April 2020 attached for reference.

# April

# 2020

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1 5:15pm – Library Board Meeting (@ Library)	2	3	4
5	6 7pm – Ports & Harbor Commission Meeting	7 7pm City Council Meeting	8 7pm – Planning & Zoning Commission Meeting	9	10	11
12	13 6:30 pm – School Board Meeting	14 6:30pm – PVMC HAC Meeting (@ PVMC)  7pm – Parks & Rec Commission Meeting	15 Noon – Flood Task Force Meeting  7pm – Economic Diversification Commission Meeting	16 6:30pm – VMHA Board Meeting (@ Museum)	17	18
19	20 7pm – Ports & Harbor Commission Meeting	21 6pm City Council Work Session (EOP Review)  7pm City Council Meeting	22 6:30pm – Hospital Expansion Task Force Meeting (@ PVMC)  7pm – Planning & Zoning Commission Meeting	23	24	25
26	27 Noon – Beautification Task Force Meeting  6:30 pm – School Board Meeting	28 6pm Board of Equalization	29	30		

Note 1: This calendar is subject to change. Contact the City Clerk's Office for the most up-to-date information. Strike-thru indicates cancellation of standing meeting.

Note 2: Unless otherwise notated, all meetings and events listed on this calendar are held in City Council Chambers.

Updated 4.2.2020