



City of Valdez
ALASKA
Planning Department

June 18, 2021

Rhett Foster
PO Box 856
Valdez, AK 99686

Re: Permit #20-000197

Mr. Foster,

This letter is in response to your questioning the Planning Department's position regarding the sonotube deck footings found to be non-compliant by the Building Inspector on October 23, 2020.

The 2009 International Residential Code states:

- R109.1 Types of inspections. For onsite construction, from time to time the building official, upon notification from the permit holder or his agent, shall make or cause to be made any necessary inspections and shall either approve that portion of the construction as completed or shall notify the permit holder or his or her agent wherein the same fails to comply with this code.
- R109.1.1 Foundation inspection. Inspection of the foundation shall be made after poles or piers are set or trenches or basement areas are excavated and any required forms erected and any required reinforcing steel is in place and supported prior to the placing of concrete. The foundation inspection shall include excavations for thickened slabs intended for the support of bearing walls, partitions, structural supports, or equipment and special requirements for wood foundations.

Since 8 of the 13 deck footings were completely filled with concrete, there was no way to determine if the required reinforcing steel was in place and supported prior to or during the placement of concrete. Therefore, the non-compliant footings must be replaced prior to any work being placed on them.

Valdez Municipal Code 15.06.040 states:

Whenever the building department shall disapprove an application or refuse to grant a permit applied for, or when it is claimed that the provisions of the code do not apply or that the true intent and meaning of the code has been misconstrued or wrongly interpreted, the applicant may appeal the decision of the chief building official.

A. Appeal to the Planning and Zoning Commission.

- Filing Limit. An appeal of the decision of the building official in enforcement of this title may be taken to the planning and zoning commission by the permittee or agent thereof. The written appeal must be filed within fifteen days of the decision of the building official. The appeal must be filed with the office of the city clerk.

If you have any questions concerning this decision please contact me. If you decide to appeal this decision, any questions concerning the appeal process should be directed to the Sheri Pierce, City Clerk, at spierce@valdezak.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bruce Wall".

Bruce Wall

Senior Planner / Acting Building Official

City of Valdez | Planning Department

P.O. Box 307, Valdez AK 99686

☎ 907.834.3451 | ✉ bwall@valdezak.gov



CITY OF VALDEZ
BUILDING DEPARTMENT
P.O. Box 307 Valdez, Alaska 99686
Phone 834-3401

Parcel No. 71250040040

PERMIT NUMBER

YEAR	NUMBER

20-000197

BUILDING PERMIT APPLICATION

"UP TO 24 HRS NOTICE MAY BE REQUIRED FOR AN INSPECTION"

A P P L I C A N T	OWNER <i>Rhett Foster</i>		MAIL ADDRESS <i>PO Box 856</i>		PHONE <i>907-258-8133</i>		
	LEGAL DESC.	LOT NO. <i>4</i>	BLK. <i>4</i>	SUBDIVISION / SURVEY / TRACT <i>Robe Lake Sub</i>		ZONING:	
	STREET / PROJECT ADDRESS <i>5975 Deep Lake Dr.</i>				PROJECT VALUATION <i>\$265,000</i>		
	ARCHITECT / DESIGNER <i>Fluidity Designs</i>		MAIL ADDRESS <i>PO Box 333 99686</i>		PHONE <i>907-795-5319</i>		
	CONTRACTOR <i>Self</i>		LICENSE #		PHONE		
	TYPE OF PERMIT <input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL <input type="checkbox"/> MULTI-FAMILY		<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> PUBLIC BLDG.		<input type="checkbox"/> SIGN <input type="checkbox"/> PLOT PLAN INCLUDED		
	CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> MOVE <input type="checkbox"/> DEMOLITION						
	DESCRIBE WORK <i>Land development/new construction of 3 bed/2 bath 1350 sq ft single family dwelling</i>						
	P L A N R E V I E W	OFFICE USE ONLY		BUILDING			FEE
		APPLICATION ACCEPTED BY <i>NL - 9/30/2020</i>		VALUATION PER CITY			
PLANS CHECKED BY <i>jj</i> 10/11/2020		TYPE OF CONSTRUCTION					
APPROVED FOR ISSUANCE BY <i>jj</i> 10/11/2020		OCCUPANCY GROUP					
SPECIAL CONDITIONS None		FLOOR AREA: NUMBER OF STORIES					
		BUILDING HEIGHT					
		NUMBER OF DWELLING UNITS					
		OCCUPANT LOAD					
		STATE FIRE MARSHALL APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO					
		BUILDING PLAN CHECK <input type="checkbox"/> RES. <input type="checkbox"/> COMM. <input type="checkbox"/>					
TOTAL BUILDING PERMIT FEE							

This permit becomes null and void if the work or construction authorized is not commenced within 360 days, or if work or construction is suspended or abandoned for 360 days at a time after work is commenced or if work is not completed within one year from date of issuance. Building Official may extend permit for no more than 360 days after receipt of written request from permittee.

All work shall be done in accordance with the approved plans, except, where such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

It is the responsibility of the permittee to obtain the required inspections. Failure to notify this department that the work is ready for inspection may necessitate the removal of some of the construction materials at the owners expense in order to perform such inspection.

FOR INSPECTION CALL 834-3401 - Please provide the following information: Permit Number, Name, Project Address and Type of Inspection Needed.

I hereby certify that I have read and examined this application and know the same to be true and correct. I agree to pay all fees necessary for issuance of this permit. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or local law regulating construction of the performance of construction.

SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT

FEES COLLECTED

DATE

CK #

AMOUNT

CC / CONF #

RECEIPT NO.

(Rev. 1/07)

White - Bldg. Dept. Yellow - Customer Pink - Finance Gold - Tax



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PARCEL NO. 71250040040

PERMIT NUMBER

+	+
---	---
+	+
YEAR	NUMBER

20-000197

PLUMBING/MECHANICAL PERMIT APPLICATION

A P P L I C A N T	OWNER <u>Rhett Foster</u>		MAIL ADDRESS <u>Po Box 856</u>		PHONE <u>255-8133</u>
	LEGAL DESC: <u>4</u>	LOT NO. <u>4</u>	BLK. <u>4</u>	SUBDIVISION / SURVEY TRACT <u>Robe Lake</u>	
	STREET / PROJECT ADDRESS <u>5975 Deep Lake Drive</u>			PROJECT VALUATION <u>\$25,000</u>	
	ARCHITECT/DESIGNER <u>Alan Minish (Septic)</u>		MAIL ADDRESS		PHONE <u>259-2280</u>
	CONTRACTOR <u>Self</u>		LICENSE #		PHONE
	TYPE OF PERMIT <input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL <input type="checkbox"/> MULTI-FAMILY		<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> PUBLIC BLDG.		CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ALTERATION
	<input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> ADDITION <input type="checkbox"/> DEMOLITION				
DESCRIBE WORK <u>new septic/plumbing of 3 bed / 2 bath new construction</u>					
SEPTIC TANK SIZE (GALLONS) <u>1000</u>		NO. BEDROOMS <u>3</u>		SOIL TYPE OR RATING <u>190</u>	PERCOLATION TEST RESULTS <u>200/1.9</u>
GROUND COVER OVER SEPTIC TANK / SURFACE WATER TABLE <u>2' over insulation min</u>					

P L A N R E V I E W	OFFICE USE ONLY		PLUMBING		MECHANICAL			
	APPLICATION ACCEPTED BY <u>DG 10/1/2020</u>		NO.	ITEM	FEE	NO.	ITEM	FEE
	PLANS CHECKED BY <u>Jy</u> 10/21/2020			RESIDENTIAL			RESIDENTIAL	
	APPROVED FOR ISSUANCE BY <u>Jy</u> 10/21/2020			R-1 PER UNIT			R-1 PER UNIT	
	SPECIAL CONDITIONS This permit is for the plumbing/mechanical system only and does not include approval for a septic system			DUPLEX PER UNIT			DUPLEX PER UNIT	
				FLOOR DRAIN			FORCED AIR HEAT BTU	
				WATER HEATER - # BTUS			BOILER / HEAT PUMP BTUS	
				SPRINKLER HEADS			GAS PIPING	
				SEPTIC SYSTEM / LEACH FIELD			VENTILATION - EXHAUST HOOD	
				SEWER CONNECTION			FUEL / PROPANE TANK	
			WATER DEPOSIT					
			PERMIT ISSUING FEE			PERMIT ISSUING FEE		
			PLAN REVIEW FEE			PLAN REVIEW FEE		
			TOTAL PLUMBING FEE			TOTAL MECHANICAL FEE		
			TOTAL PLUMBING / MECHANICAL FEE					

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FOR INSPECTION CALL 834-3401 - Please supply: Permit #, Name, Project Address & Type of Inspection Needed.

I hereby certify that I have read and examined this application and know the same to be true and correct. I agree to pay all fees necessary for issuance of this permit. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or local law regulating construction or the performance of construction.

SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT

FEES COLLECTED

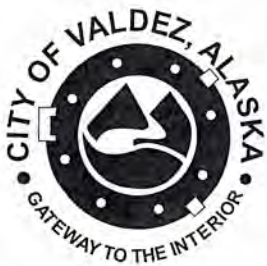
DATE

AMOUNT

DATE

RECEIPT NO.

(REV. 8/07)



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PARCEL NO. 71250040040

PERMIT NUMBER

YEAR	NUMBER

20-000197

ELECTRICAL PERMIT APPLICATION

A P P L I C A T I O N	OWNER <u>Blatt Foster</u>		MAIL ADDRESS <u>PO Box 856</u>		PHONE <u>255 8133</u>
	LEGAL DESC: <u>4</u>	LOT NO. <u>4</u>	BLK. <u>4</u>	SUBDIVISION / SURVEY TRACT <u>Robe Lake</u>	
	STREET / PROJECT ADDRESS <u>5975 Deep Lake Drive</u>			PROJECT VALUATION <u>\$12,000</u>	
	ARCHITECT/DESIGNER <u>Brian Tolten</u>			MAIL ADDRESS	PHONE <u>795-5319</u>
	CONTRACTOR <u>Self</u>			LICENSE #	MAIL ADDRESS PHONE
	TYPE OF PERMIT <input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> SIGN. <input type="checkbox"/> MULTI-FAMILY <input type="checkbox"/> PUBLIC BLDG.				
	CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> MOVE <input type="checkbox"/> DEMOLITION				
DESCRIBE WORK <u>New service/wiring of 1350 sq foot, 3 bed / 2 bath new construction</u>					

P L A N R E V I E W	OFFICE USE ONLY		ELECTRICAL		NO.	EACH	FEE
	APPLICATION ACCEPTED BY <u>DG 9/30/2020</u>		RECEPTACLE & SWITCHES				
	PLANS CHECKED BY <u>gy</u> 10/11/2020		LIGHTING FIXTURES				
	APPROVED FOR ISSUANCE BY <u>gy</u> 10/11/2020		POWER OUTLET				
	SPECIAL CONDITIONS <u>None</u>		RESIDENTIAL				
			DUPLEX				
			R-1				
			MOTORS: HP				
			SIGNS				
			TRANSFORMERS				
		TEMP. POWER <input type="checkbox"/> POLE <input type="checkbox"/> UNDERGROUND					
		SERVICE <input type="checkbox"/> NEW <input type="checkbox"/> CHANGE		0-200A OVER 200A			
		PERMIT ISSUING FEE					
		PLAN REVIEW FEE					
		TOTAL ELECTRICAL PERMIT FEES					

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SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT

FEES COLLECTED

DATE

AMOUNT

RECEIPT NO.

(REV. 8/07)

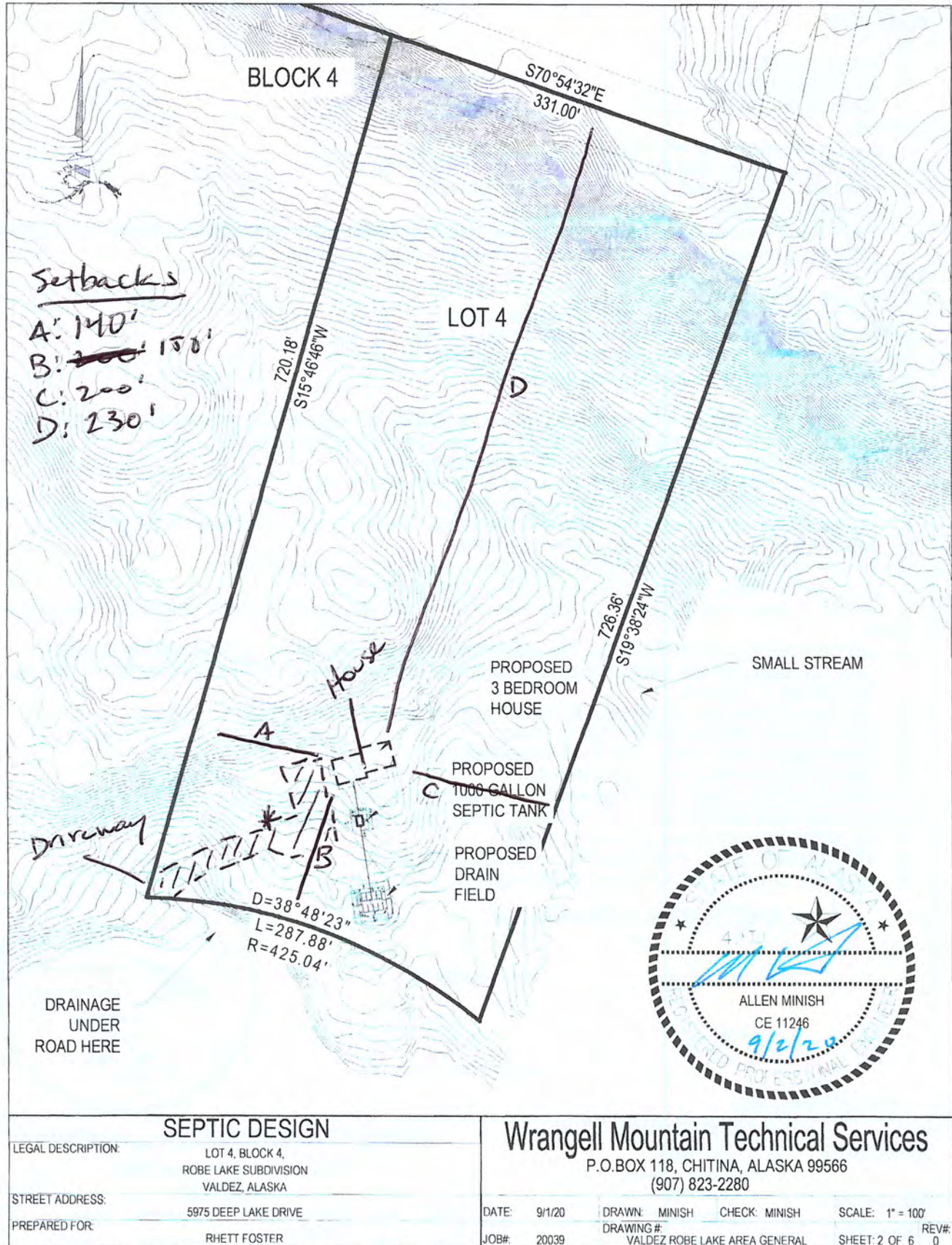
White - Bldg Dept

Yellow - Customer

Pink - Finance

Gold - Tax

Siteplan



*proposed well - 100' + to septic tank/drain field

DESIGN NOTES:**1. DESIGN**

- A) PROPOSED 3 BEDROOM HOME
- B) NO GARBAGE DISPOSAL
- C) TO BE ON PRIVATE WELL WATER

2. TERRAIN

- A) IS A HILLSIDE WITH SOME AREAS EXCEEDING 25% SLOPE
- B) COVERED IN ADLERS, DEVILS CLUB, FERNS SOME COTTONWOOD TREES
- C) SOILS ARE VARIED WITH SILT, SILTY CLAY, SAND AND GRAVELS
- D) BEDROCK IS 3.2 FEET TO OVER 8 FEET FROM SURFACE
- E) THERE IS A STREAM AT THE DRIVEWAY THAT CROSSES DEEP LAKE DRIVE NEAR THE DRIVEWAY, THERE IS ALSO A STREAM ±250 FEET NORTHEAST OF THE PROPOSED DRAIN FIELD THAT FLOWS SOUTHEASTERLY

DESIGN**3. SEPTIC TANK SIZING**

- A) 1000 GALLON STEEL OR PLASTIC TWO COMPARTMENT TANK
- B) INSULATION OVER THE TOP OF THE TANK IS REQUIRED
- C) INSULATION OVER TANK TO EXTEND 4 FEET FROM SIDE EDGES OF TANK
- D) TWO FEET OF COVER OVER INSULATION IS REQUIRED

4. DRAIN FIELD SIZING

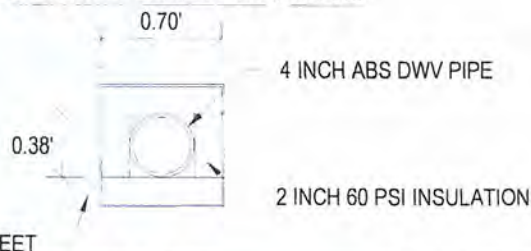
- A) ALL MATERIAL UNDER THE PROPOSED DRAIN FIELD IS TO BE REMOVED TO BEDROCK APPROXIMATELY 7 TO 8 FEET
- B) BACKFILL WITH TYPE IIA (3 INCH MINUS) FROM DAYVILLE PIT TO BOTTOM OF PROPOSED LEACH ROCK
- C) USE FINE GRADE CLEAN LEACH ROCK PER THE INSTALLER'S MANUAL
- D) DRAIN FIELD SIZE IS BASED ON 3 BEDROOMS AT 150 SF FOR 450 SF DRAIN FIELD
- E) DRAIN FIELD IS TO BE 22 FEET WIDE BY 22 FEET BED SYSTEM
- F) INSTALL FOUR 4 INCH BY 5 FEET MONITORING PIPE VERTICALLY 1.5 FEET INSIDE THE CORNERS OF THE DRAIN FIELD
- G) MONITORING PIPE TO EXTEND TO BOTTOM OF LEACH ROCK
- H) PLACE FINE GRADE LEACH ROCK AROUND AND OVER THE LEACH PIPE ±1 INCH OVER PIPE
- I) PLACE FILTER FABRIC OVER LEACH ROCK EXTENDING 1 FOOT BEYOND ROCK
- J) INSTALL 2 INCHES OF 60 PSI INSULATION OVER DRAIN FIELD EXTENDING INSULATION 4 FEET FROM EDGE OF DRAIN FIELD

5. PIPING

- A) USE 2 INCH ARCTIC PIPE WITH EITHER 4 INCH ABS INTERNAL PIPE OR 4 INCH ABS PIPE WITH 2 INCHES OF INSULATION OVER TOP, SIDES AND BOTTOM OF PIPE SECURE INSULATION WITH ZIP TIES FROM THE HOUSE TO THE SEPTIC TANK AND SEPTIC TANK TO DRAIN FIELD
- B) USE FERNCO COUPLER AT DRAIN FIELD SWITCH TO SOLID 4 INCH PVC FOR THE HEADER
- C) USE 4 INCH PVC PERCOLATION PIPE FOR PIPE RUNS
- D) PIPE RUNS ARE TO BE 16 FEET LONG AT 4 FEET SPACING TOTAL OF 5 RUNS
- E) INSTALL REAR MANIFOLD WITH SOLID 4 INCH PVC

6. REFERENCE STATE OF ALASKA INSTALLERS MANUAL AND WASTEWATER REGULATIONS**7. VARIATIONS IN THIS DESIGN FROM TITLE 72 WASTEWATER AND THE INSTALLERS MANUAL.**

- A) EXIT PIPE FROM SEPTIC TANK WILL NOT BE 10 FEET
- B) SEPTIC TANK TO 10 FEET FROM DRAIN FIELD IS GREATER THAN 25%
- C) EXISTING SOIL IS BEING REPLACED WITH BETTER MATERIAL

ARCTIC PIPE ALTERNATIVE

SEPTIC DESIGN		WRANGELL MOUNTAIN TECHNICAL SERVICES			
LEGAL DESCRIPTION:	LOT 4, BLOCK 4, ROBE LAKE SUBDIVISION VALDEZ, ALASKA	P.O. Box 118, CHITINA, ALASKA 99566 907-823-2280			
STREET ADDRESS:	5975 DEEP LAKE DRIVE	DATE:	9/1/20	DRAWN: MINISH	CHECK: MINISH
PREPARED FOR:	RHETT FOSTER	JOB#:	20039	DRAWING #:	VALDEZ ROBE LAKE AREA GENERAL
				SCALE:	N.T.S.
				SHEET:	1 OF 5
				REV#:	0

4 June 2020

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Partial Design Assessment – New Construction on Deep Lake Drive

Dear. Mr. Foster,

The following report summarizes the assessment conducted by SANBORN ENGINEERING & CONSULTING, LLC (SE&C).

Any requests for additional information or to address follow-up questions may be sent to SE&C by the following means:

email: tom@sanbornengrllc.com

phone: 850-377-8978



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC

BACKGROUND

SE&C was asked to perform a partial design assessment on several elements of a two story residence you plan to construct on Deep Lake Drive, Valdez, Alaska. Specifically, you requested that SE&C address the following questions and concerns:

- Determine the shear wall requirements necessary to comply with the local building code?
- Review the required roof rafters listed on the plans.
-

You provided a partial set of plans for this residence that were prepared by Fluidity Designs, LLC.

DESIGN CRITERIA & REFERENCES

The following information is limited to the design criteria provided by you, Mr. Rhett Foster, and summarizes the code requirements and other applicable references. If there are any modifications or changes in configuration to this structure or its construction, updated assessments may be necessary.

1. Design Characteristics: The following is a summary of the applicable design elements and assumptions used by SE&C in the design analysis calculations.
 - a. Single family residence with varying roof heights so that the west end of the structure is one story with an attic space, and the east end is two stories high with vaulted ceilings.
 - b. The roof above both sides of the structure is metal, 4:12 pitch, and single sloped with the high side facing south. There is a 2'8" eave overhang on all sides.
 - c. The roof rafters per the provided plans are either:
 - i. 16" BCI 60 2.0 at 16" on center (o.c.); or
 - ii. 14" BCI 60 2.0 at 12" o.c.
 - d. The structure includes 3 bedrooms, 2 bathrooms, and has approximately 1,350 square feet of interior living space.
2. Code and References
 - a. According to the City of Valdez government website, the relevant currently adopted codes are:
 - i. 2009 International Building Code, Chapter 16: Structural Design

- ii. 2009 International Residential Code, Chapter 6: Wall Construction
 - b. Additional code criteria:
 - i. Seismic Zone IV and Seismic Design Criteria D2 for Residential
 - ii. 120 mph 3-second design wind speed with exposure category C.
 - iii. Ground Snow Load: 160 psf
 - c. Additional References. Per Chapter 16 of the Building Code, the design provisions within the American Forest and Paper Association (AF&PA) published Wood Frame Construction Manual (WFCM) are permitted for residential structures.
- 3. All calculations included in this report were performed using Microsoft Excel

ANALYSIS & CONCLUSION

The following conclusions are based on the design characteristics provided to SE&C's and certain conservative estimates listed in the previous section. These conclusions are subject to revision or clarification in the event of any changed in the design or construction of the structure which may materially affect the current analysis.

1. The vertical load carrying elements were analyzed using the Allowable Strength Design (ASD) Method, and Tributary Area Analysis for the applicable design loads.
2. Shear Wall Analysis: A segmented shear wall design assessment was conducted per the Wood Frame Construction Manual.
 - a. For these calculations, the following minimum design criteria is used:
 - i. Exterior walls are blocked, with 2x6 studs spaced 16" on center.
 - ii. Minimum 3/8" Plywood exterior sheathing secured to the studs with 8d common nails spaced 6" o.c.
 - iii. Interior 1/2" gypsum board sheathing secured to the studs with 5d cooler nails spaced 7" o.c.
 - b. The table on the following page lists any deviations from the above listed minimum design criteria for sheathing in the column labeled "Additional Criteria".

Floor	Face	Additional Criteria
1	North	N/A
1	South	4" exterior nail spacing
1	East	3" exterior nail spacing
1	West	3" exterior nail spacing
2	North	N/A
2	South	3" exterior nail spacing
2	East	N/A
2	West	4" exterior nail spacing

Table 1: Sheathing criteria above minimum design required.

- c. Hold downs shall be installed on at both ends of each wall, and on either side of any wall opening (doors and windows) in accordance with the manufacturer's instruction, and shall have the following minimum connection capacity:
 - i. First Floor: 4,360 lb
 - ii. Second Floor: 3,488 lb
3. Rafters:
- a. The listed roof rafters both provide sufficient strength to meet code requirements.
 - b. As you requested, additional analysis on sawn lumber roof rafter alternatives was performed. Given the slope, and maximum unsupported span only the below sawn lumber section provides sufficient strength:
 - i. Species: Douglas Fir-Larch
 - ii. Nominal Size: 2x12
 - iii. Spacing: 12" o.c.
 - iv. Grade: Select Structural
4. Stud Wall
- a. 2x6 studs spaced 16" o.c. for all exterior and load bearing walls.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

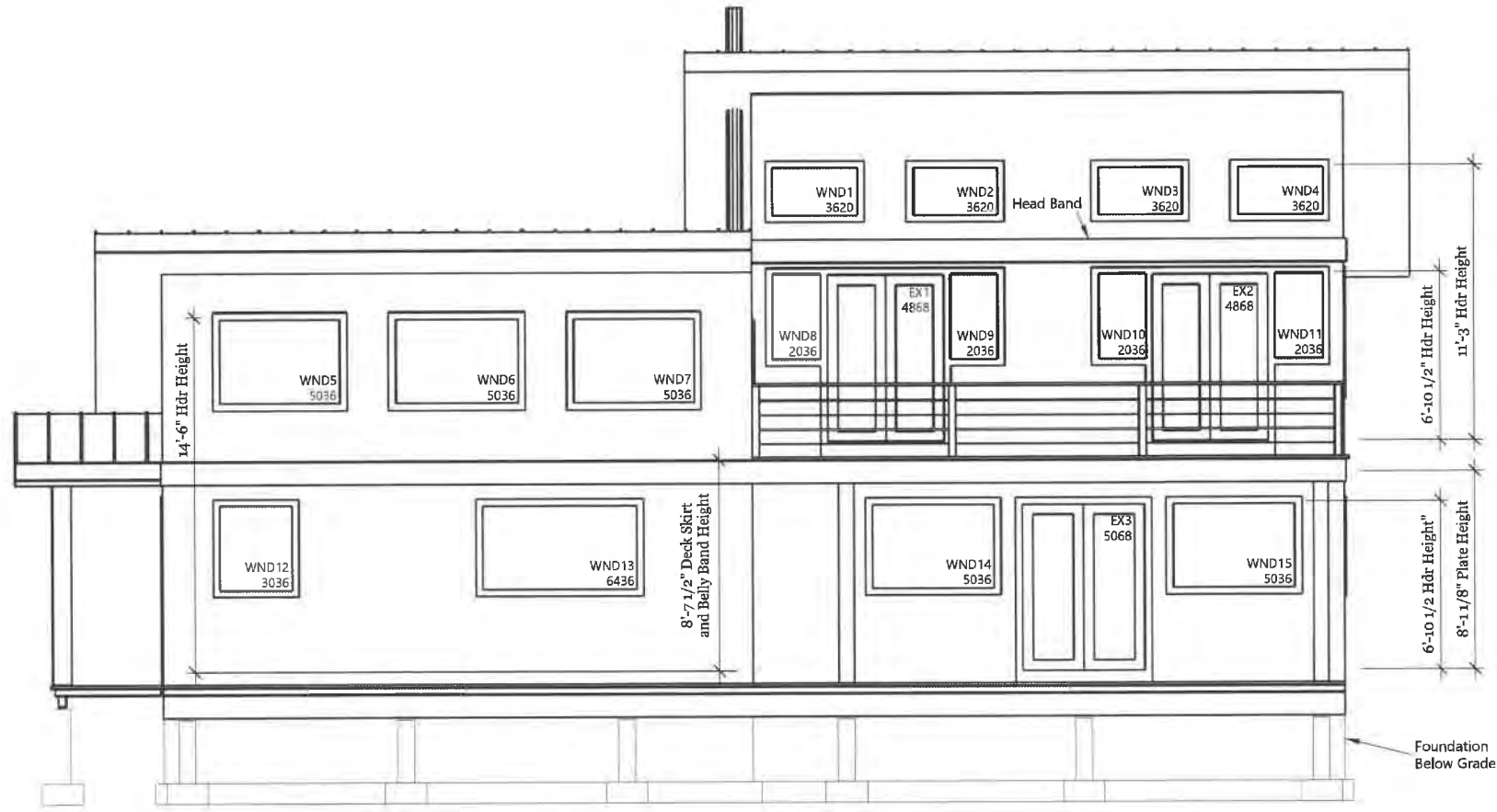
Cover Page

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

May 11, 2020

DATE:	DESCRIPTION
5.12.20	1st Draft

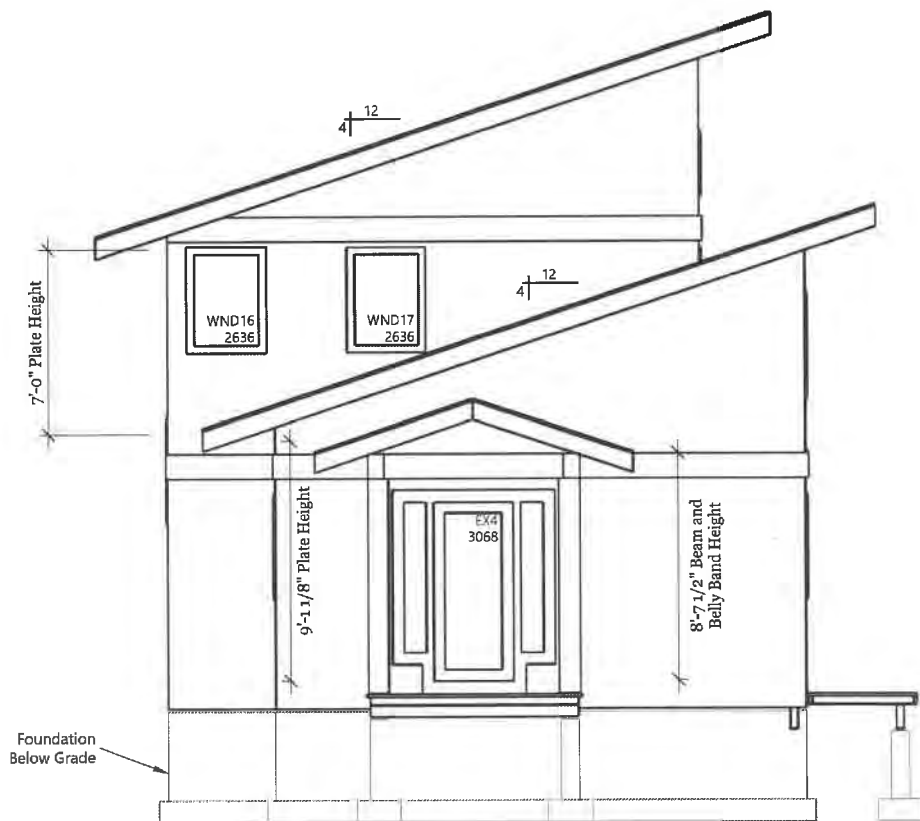


1 South Elevation
scale: 3/16"=1'

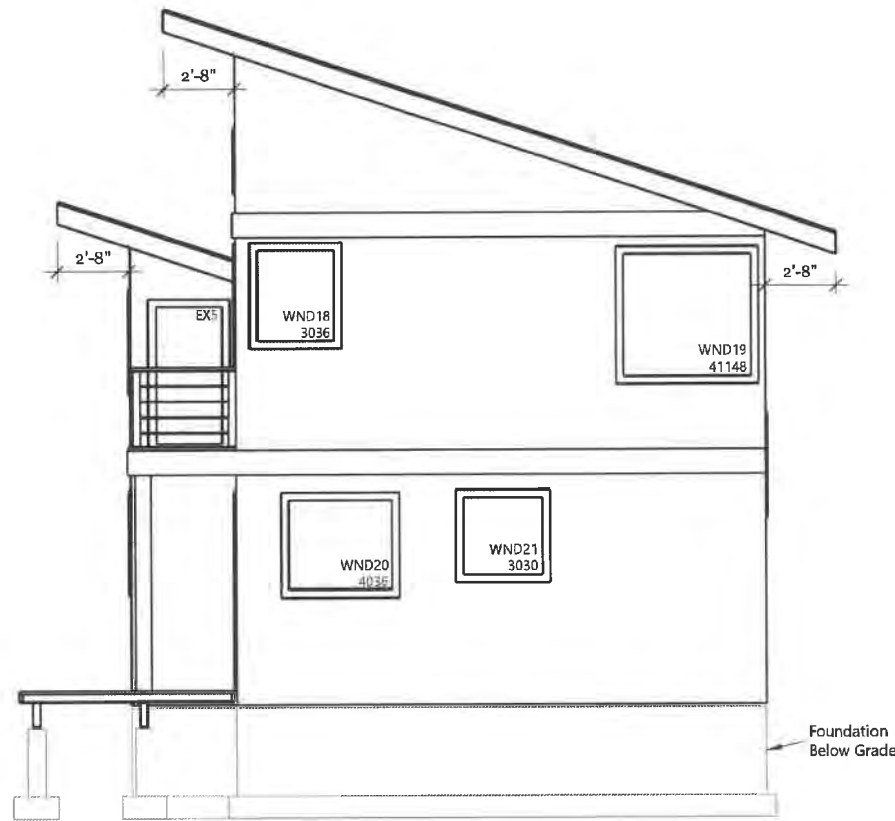
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

DATE: 5.12.20	DESCRIPTION: 1st Draft
DESIGNER: BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 333 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com	
South Elevation	Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686
2 of 12	3/16"=1'



1 West Elevation
scale: 3/16"=1'



2 East Elevation
scale: 3/16"=1'

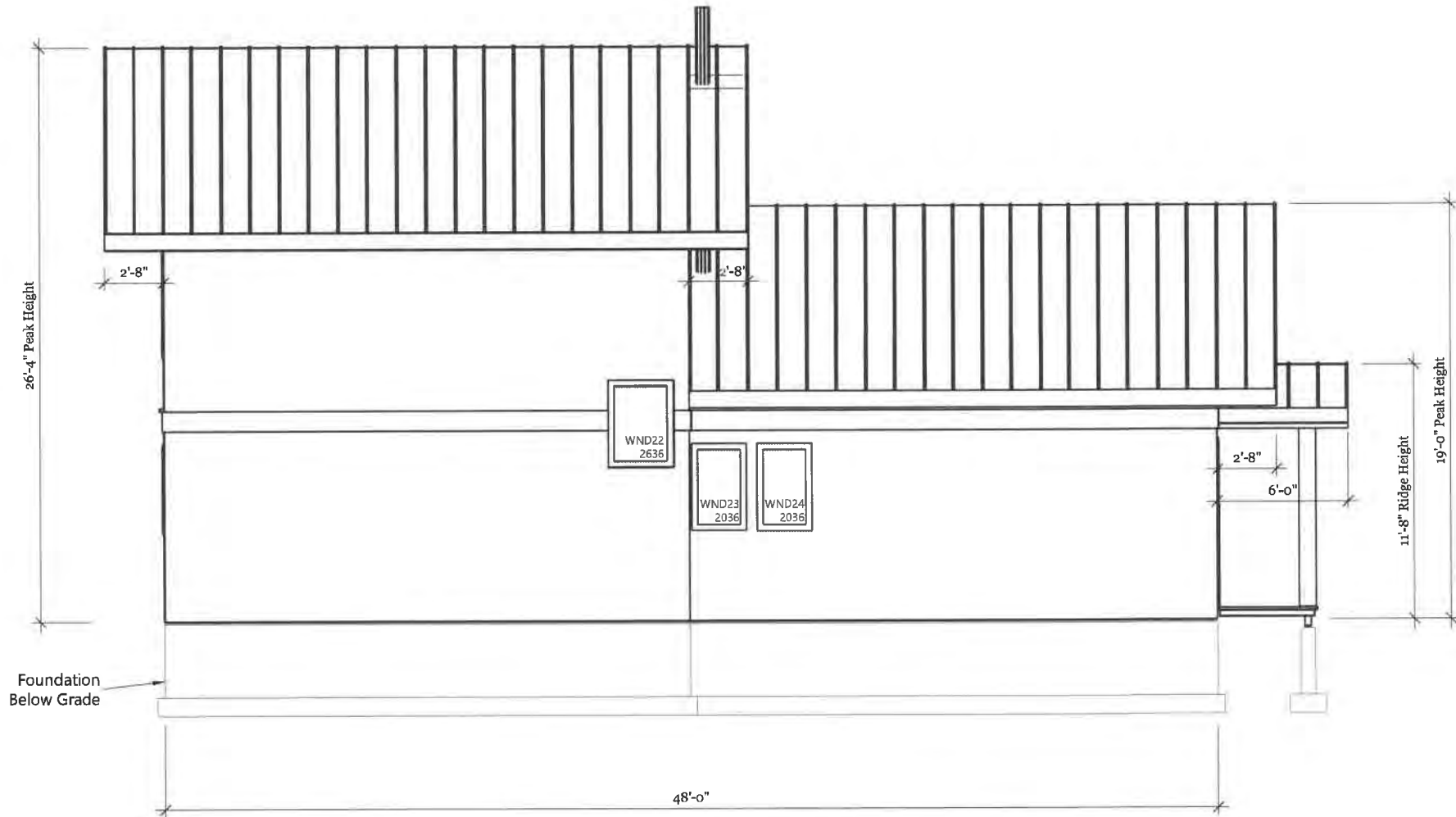
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

DATE	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

West Elevation, East Elevation
Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

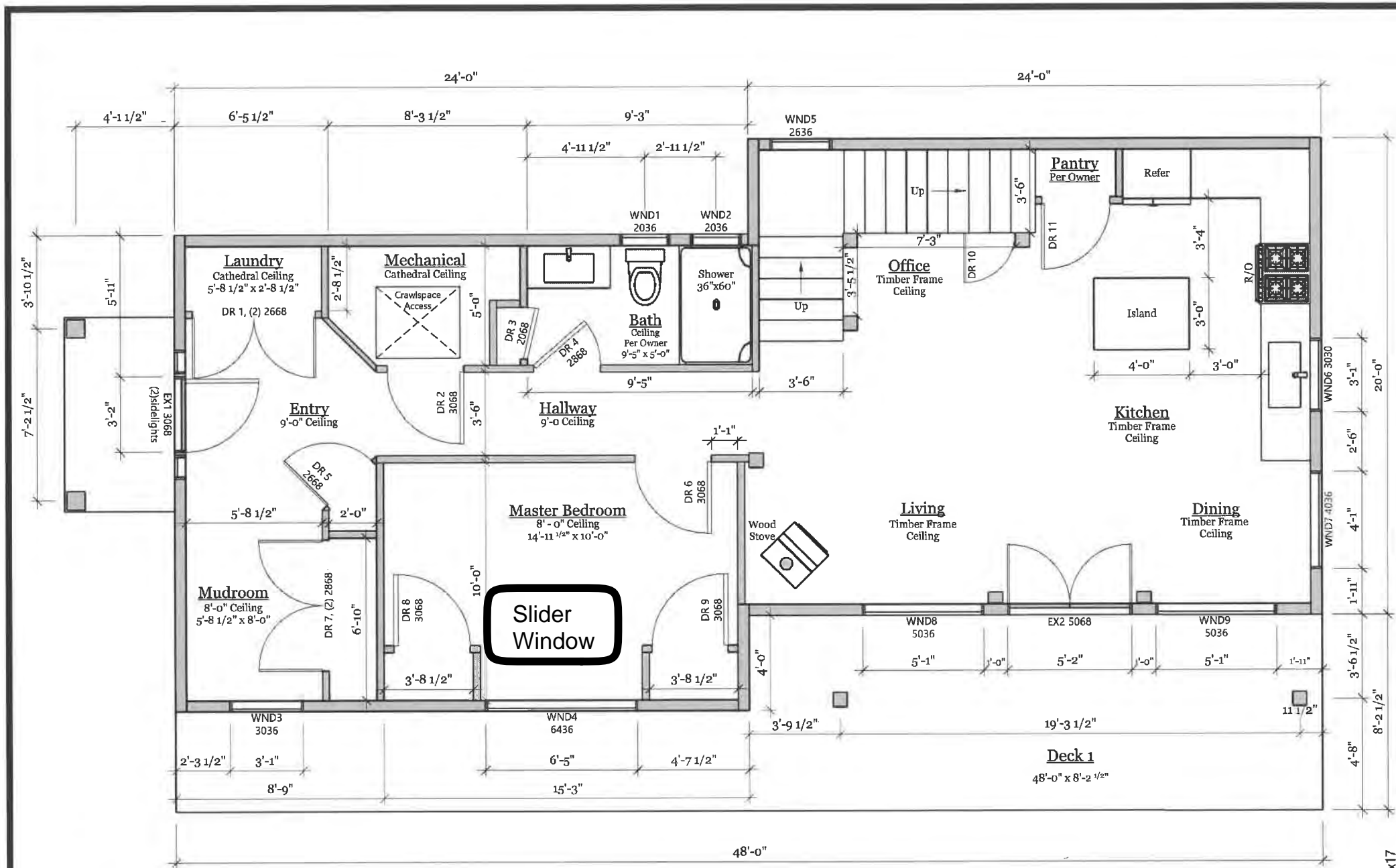


1 North Elevation
scale: 3/16"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

DATE:	DESCRIPTION:
5.12.20	1st Draft
DESIGNER:	
BRIAN TOTTEN	
FLUIDITY DESIGNS	
PO BOX 333 VALDEZ AK 99686	
(907) 795-5319	
brian_totten@yahoo.com	
North Elevation	Foster Residence
Scale: 3/16"=1'	1234 DEEP LAKE DRIVE VALDEZ, AK 99686
4	Of 12



1 First Floor Plan
scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

DATE:	DESCRIPTION:
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 333 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com

Project Name:
Foster Residence

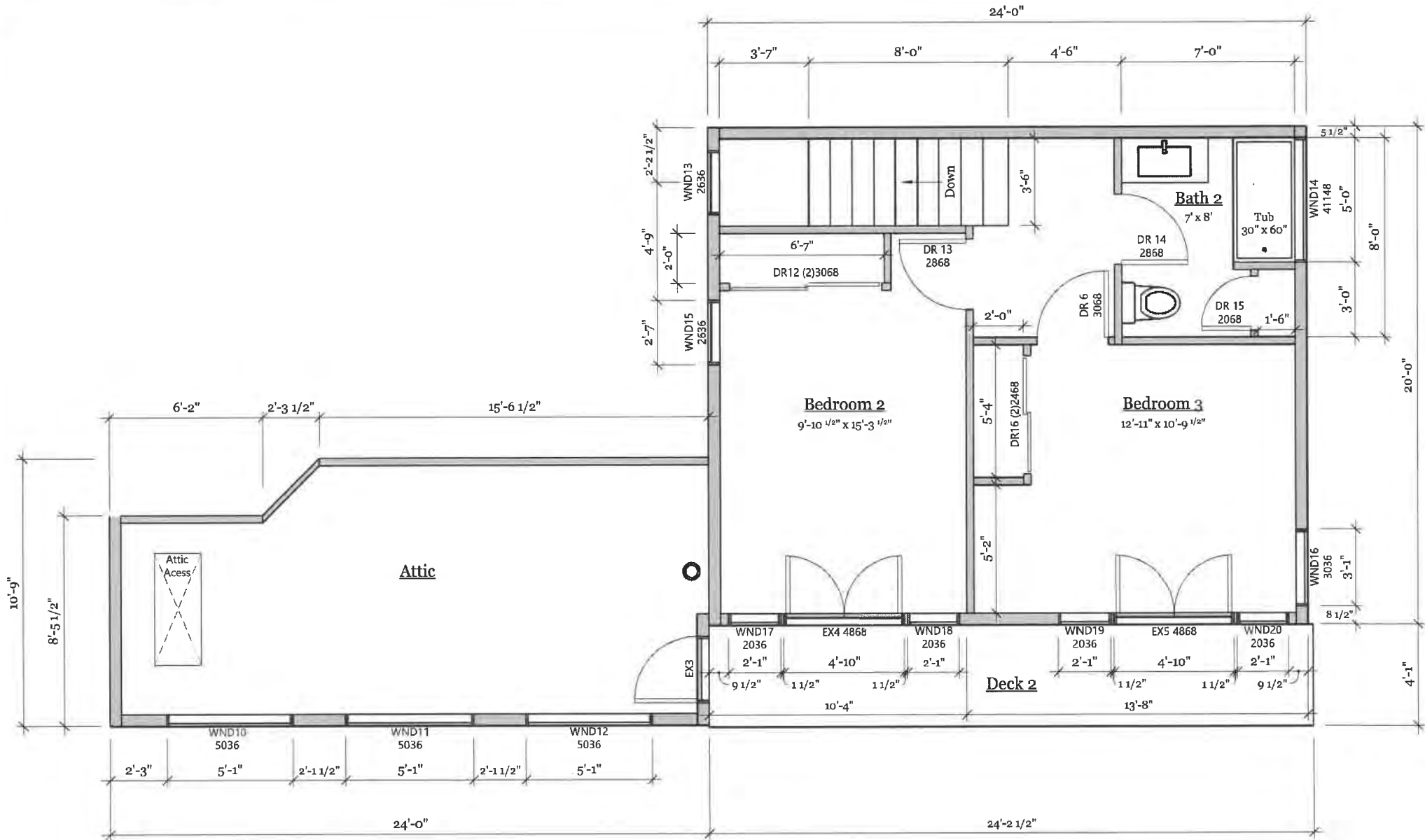
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1234 DEEP LAKE DRIVE VALDEZ, AK 99686

Sheet Title:
First Floor Plan

Scale:
1/4"=1'

Page Number:
5 of 12

Sheet Size: 11x17



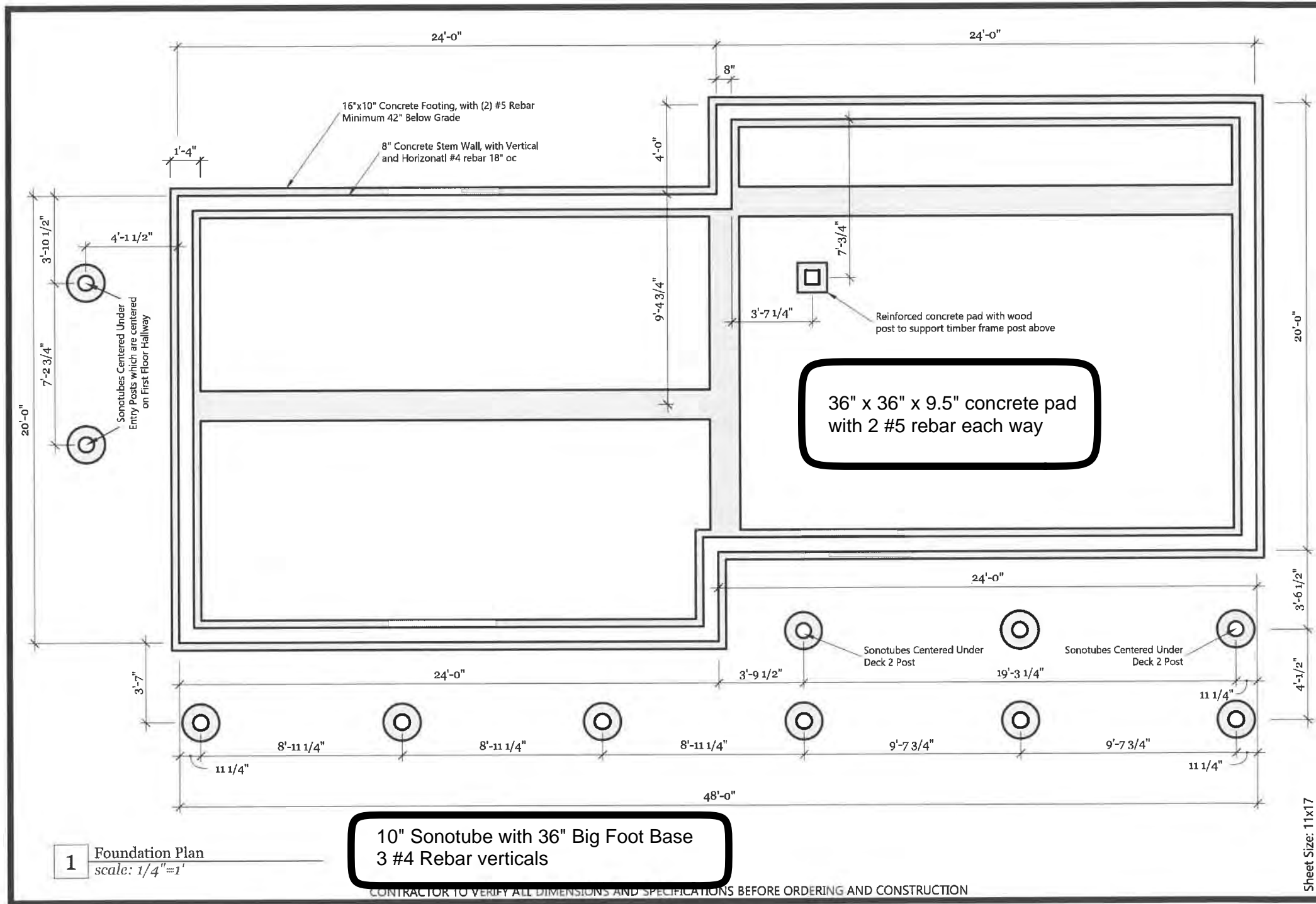
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Second Floor Plan
scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

DATE:	DESCRIPTION:
5.12.20	1st Draft
DESIGNER:	
BRIAN TOTTEN	
FLUIDITY DESIGNS	
PO BOX 333 VALDEZ AK 99686	
(907) 795-5319	
brian.totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
Second Floor Plan	
Scale: 1/4"=1'	
6	Of 12



DATE:	DESCRIPTION:
5.12.20	1st Draft
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PO BOX 333 VALDEZ AK 99686	
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brian.totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
Foundation Plan	
Scale: 1/4"=1'	
7 of 12	

1

First Floor Framing Plan
scale: 1/4"=1'

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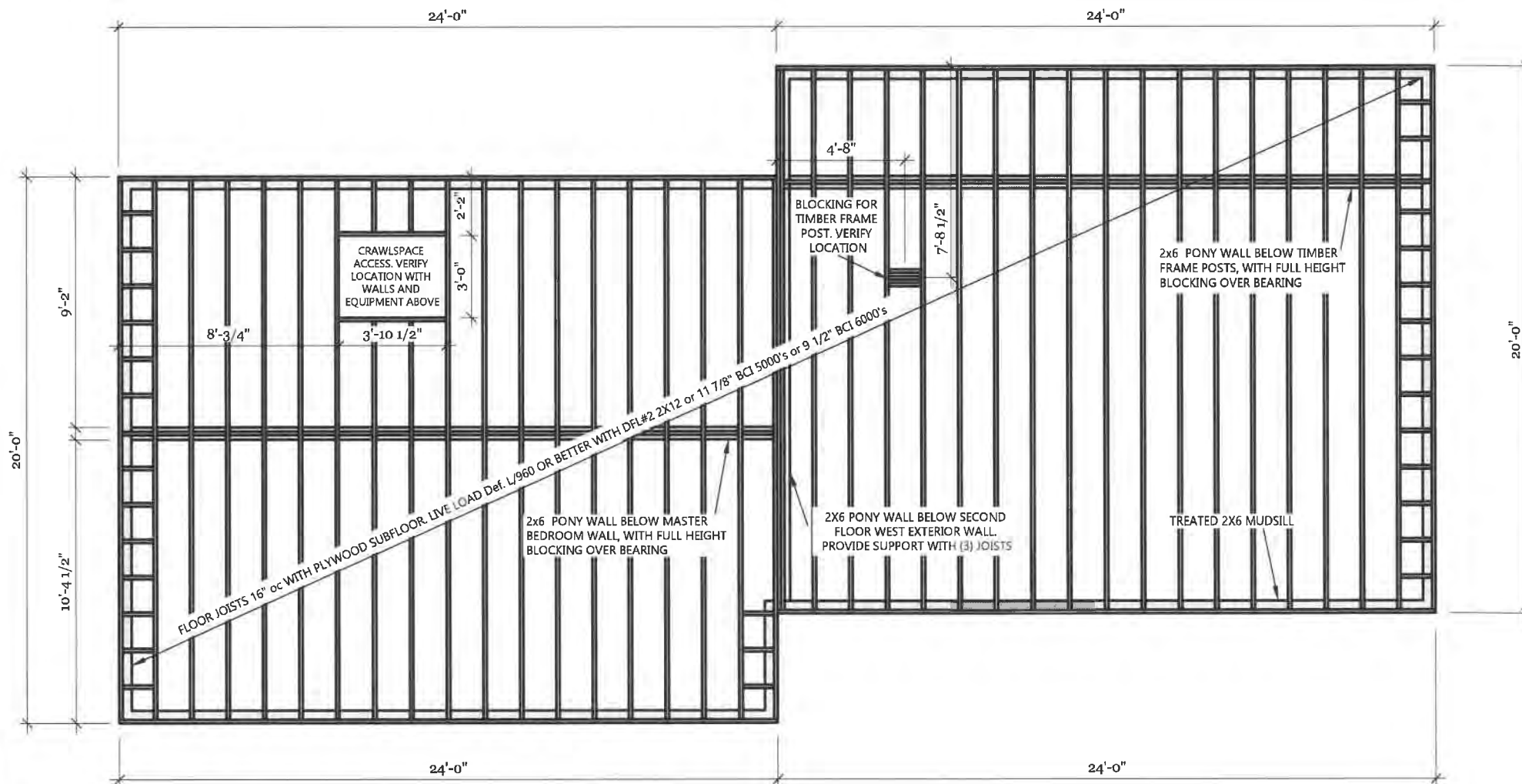
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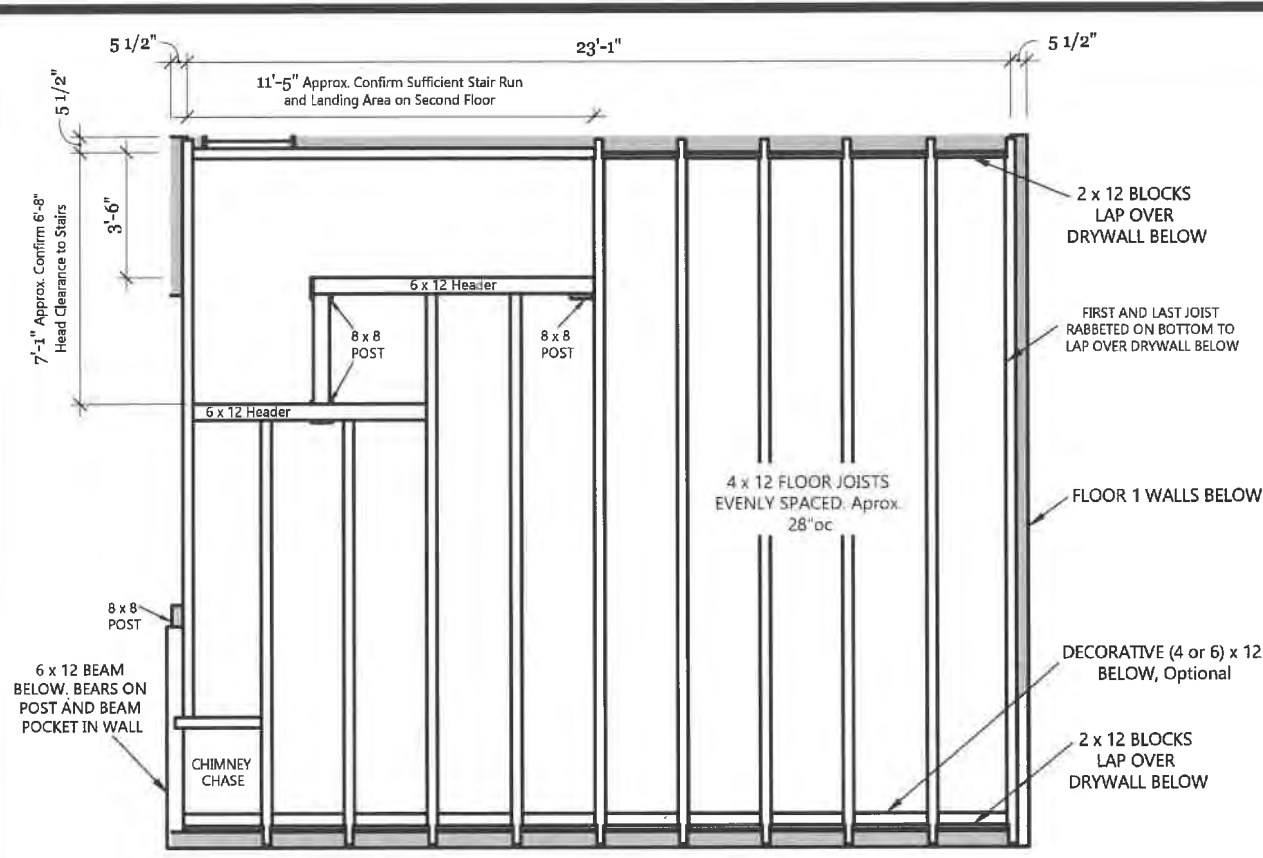
First Floor Framing
Plan
Scale: 1/4"=1'

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

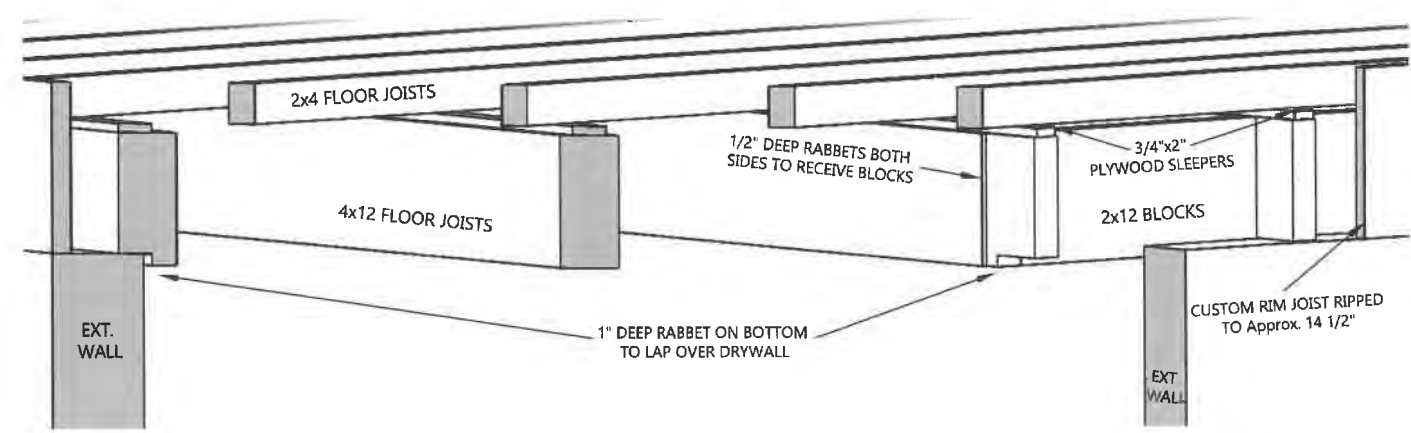
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BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

DATE:	DESCRIPTION
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1 Second Floor Timber Frame Plan
scale: 1/4"=1'



2 Timber Frame Floor Detail
Orthogonal View

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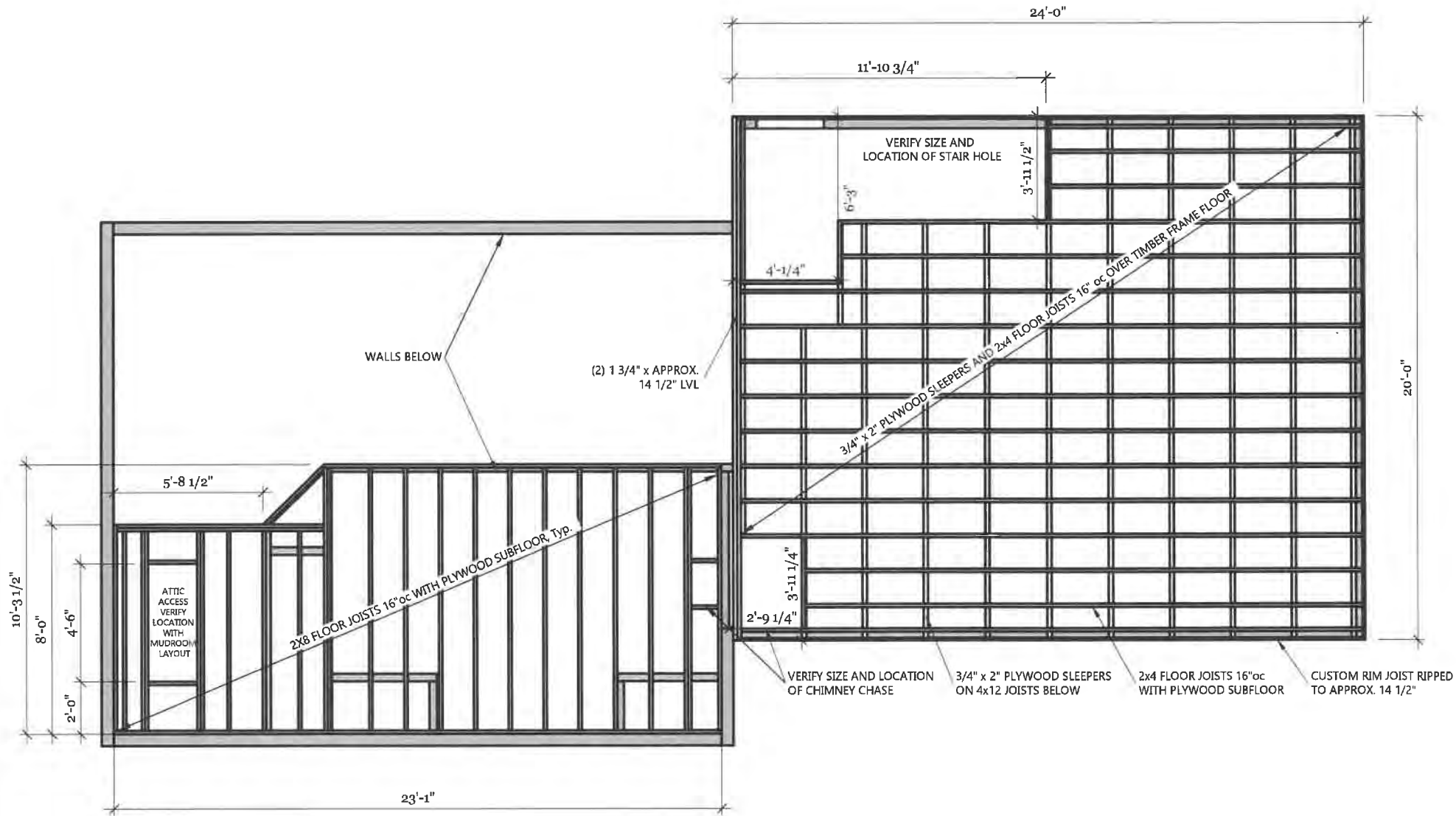
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brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Second Floor Timber
Frame Plan



1

Second Floor Framing Plan
scale: 1/4"=1'

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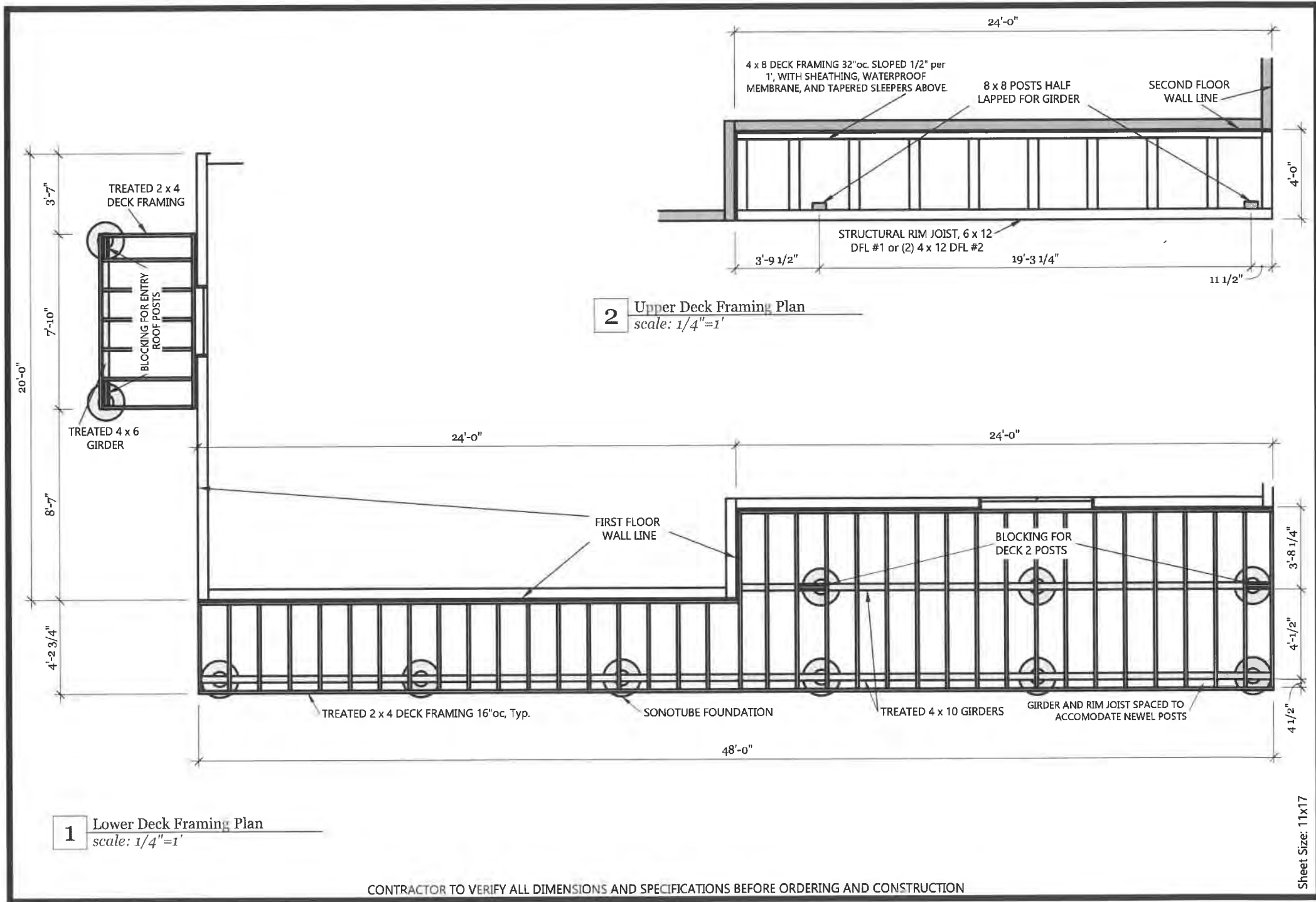
Second Floor
Framing Plan
Scale: 1/4"=1'

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

DESIGNER:
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PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

DATE: 5.12.20
DESCRIPTION: 1st Draft

10 of 12



1 Lower Deck Framing Plan
scale: 1/4"=1'

2 Upper Deck Framing Plan
scale: 1/4"=1'

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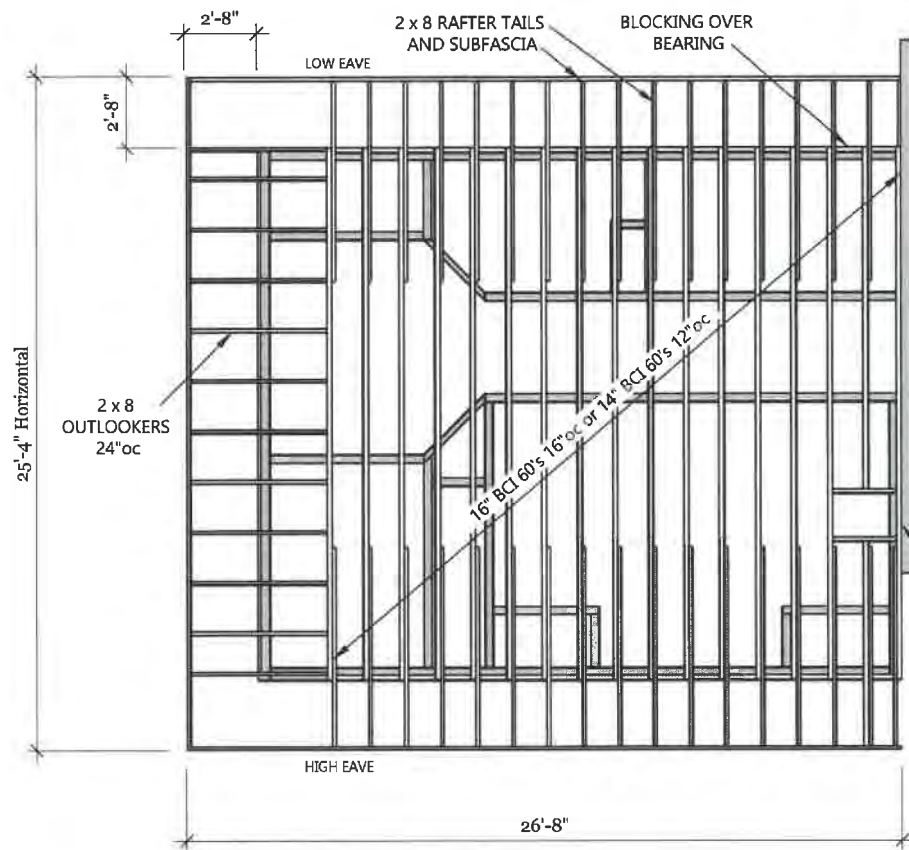
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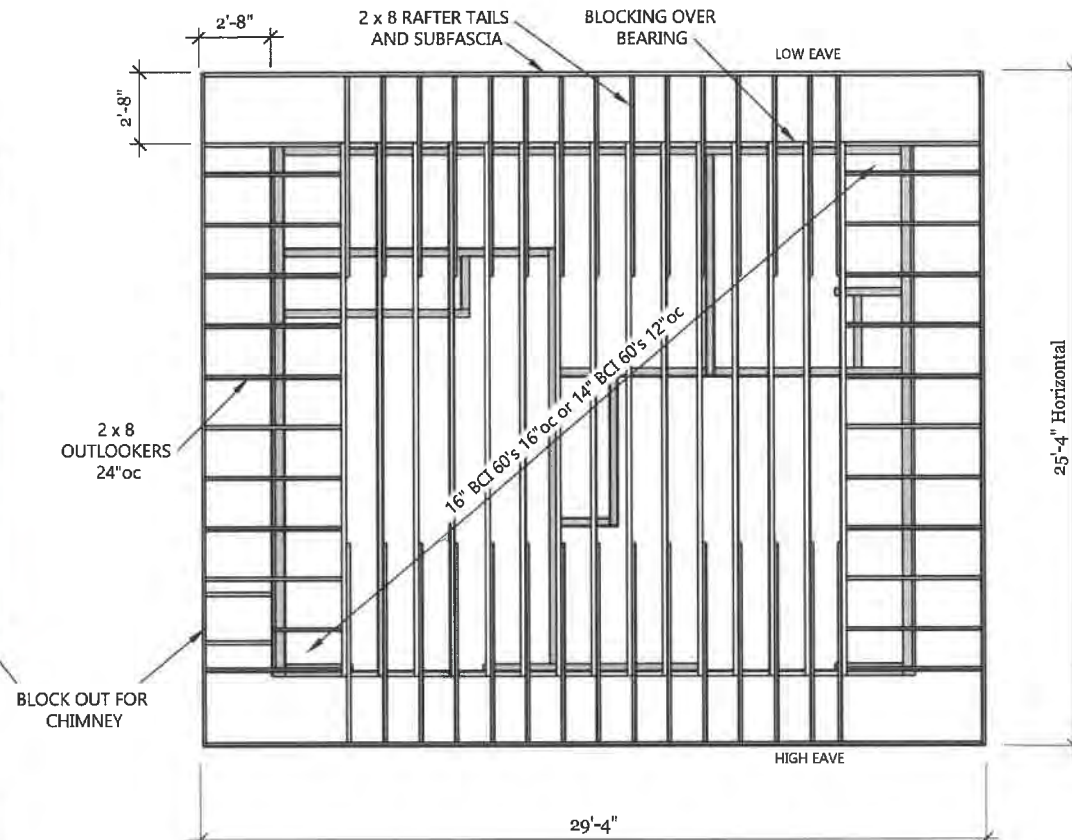
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BRIAN TOTTEN
FLUIDITY DESIGNS
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(907) 795-5319
brian_totten@yahoo.com

Deck Framing Plan	Foster Residence
1234 DEEP LAKE DRIVE VALDEZ, AK 99686	

11 of 12



1 Low Roof Framing Plan
scale: 1/4"=1', 4:12 pitch



2 High Roof Framing Plan
scale: 1/4"=1', 4:12 pitch

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(907) 795-5319	
brian_totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
Roof Framing Plan	
12 of 12	

BUILDING PLAN REVIEW

PERMIT #: 20-000197

DATE RECEIVED: 10-5-2020

DATE REVIEWED: 10-8-2020

APPLICANTS NAME: Rhett Foster PROPERTY OWNER: Same

LEGAL DESCRIPTION: LOT 4 BLOCK 4 SUBD/SURVEY Robe Lake

PHYSICAL LOCATION: ST ADDRESS 5975 Deep Lake Drive

GROUP: — CONSTR. TYPE: — ZONING: Rural Residential

DESCRIPTION: Construct new single family home.

APPROVED: Ok to issue building permit.
Ok to issue Electrical Permit.
Ok to issue Plumbing Permit.

NOT APPROVED: _____

NEED MORE INFO: Page #5 Master bedroom Egress?
Page #7 Sump pump details and reinforced pad size + details.

OK

Questions on Plumbing Permit regarding septic

CONDITIONS / NOTES:

Design Criteria Met per Engineering Report
Shed wall Nailing listed in Engineers Report
Hold downs required at both ends of each wall, and on either side of
any wall opening (doors + windows)

10/11/2020

Clarifications received via email from Owner

Septic System permit issued.

REVIEWED BY: _____

JAY YUNKER, BUILDING INSPECTOR

Jay Yunker

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Friday, October 9, 2020 1:33 PM
To: Jay Yunker
Subject: Foster Residence

> Thank you, Jay.

>

> #1. WND4 on page 5 shall be an operable slider with minimum opening of 5.7 square ft.

>

> #2. Sonotubes on page 7 shall be 10" diameter, reinforced with 3 sticks each #4 rebar with j bent on bottom tying into bf24" Bigfoot bases.

>

> #3. Concrete pad on page 7 shall be 9.25" deep, 36"by 36" square supporting a 6x6 post on pad. Reinforced with 4 sticks #5 rebar in grid pattern with minimum 3" concrete cover.

>

> Please let me know if you need anything further. Thanks again.

>

> Rhett

>

>

>> On Oct 8, 2020, at 4:31 PM, Jay Yunker <JYunker@valdezak.gov> wrote:

>>

>> Hey Rhett,

>> I've recently completed the preliminary review and have a few questions for you.

>> #1 Page 5 needs to detail if the window is operable and meets egress requirements.

>> #2 Page 7 requires sono-tube reinforcement details as well as type of base used including reinforcement.

>> #3 The reinforced concrete pad shown requires dimensions as well as reinforcement.

>> Everything else seems to be in place.

>> Please get this information to me in order for the review to proceed.

>> If you have questions, please let me know Thank You

>>

>>

>> Jay Yunker

>> Building Inspector

>> City of Valdez - Planning Department

>> C 907.834.3401 | jyunker@valdezak.gov

>>

>>

>>

>> -----Original Message-----

>> From: Rhett Foster <rhett.foster@gmail.com>

>> Sent: Thursday, October 8, 2020 2:35 PM

>> To: Jay Yunker <JYunker@ValdezAK.Gov>

>> Subject: Foster Residence

>>

>> Hello Jay,

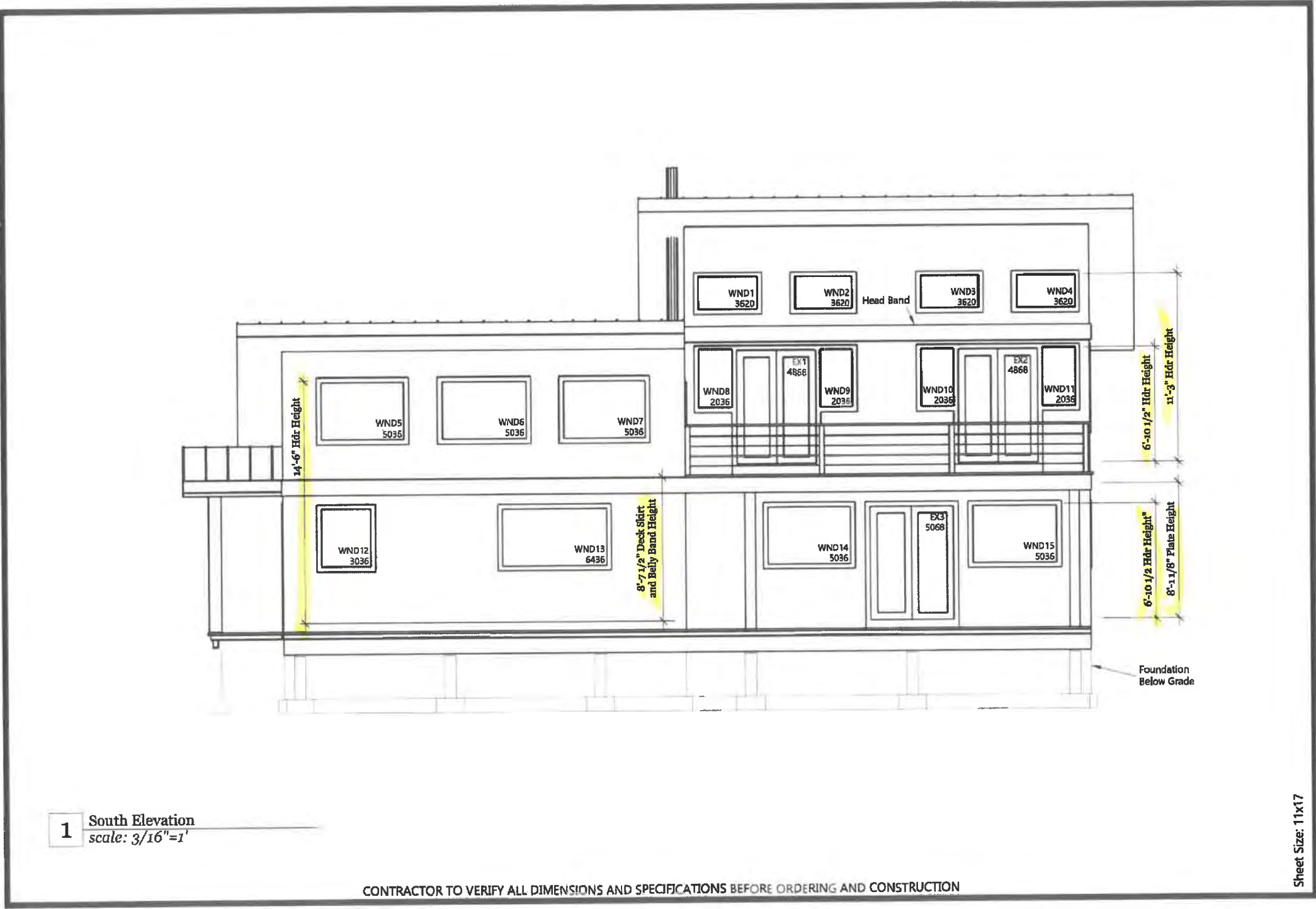
>>

>> Looking for an update on my building permit review, please...

DATE: _____

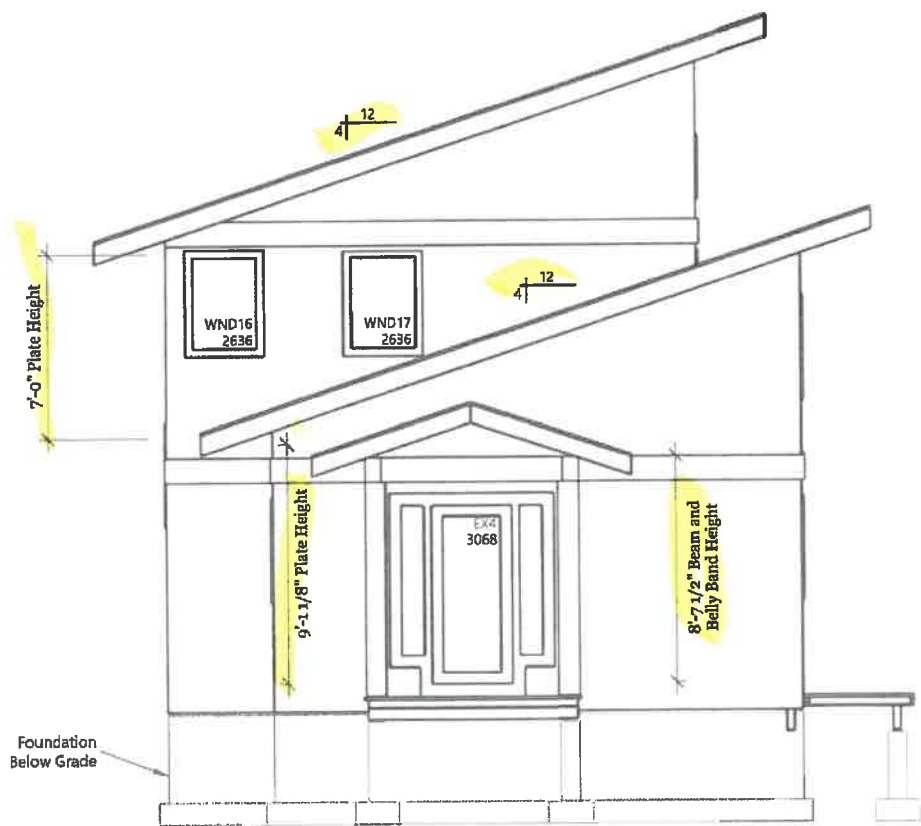
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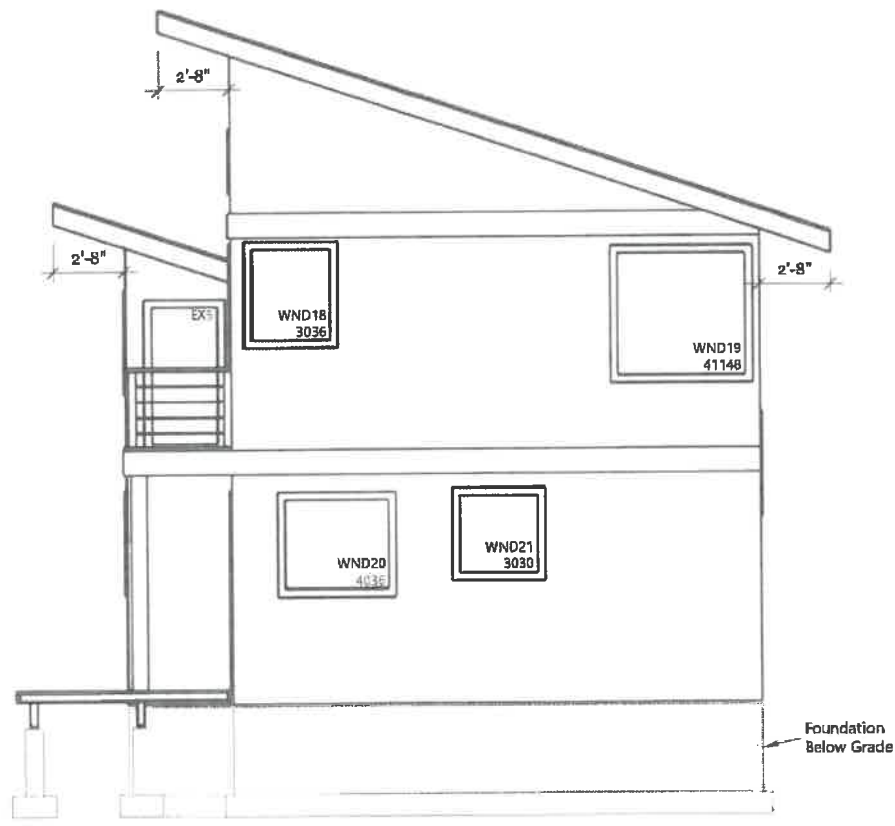


DATE	DESCRIPTION
5-12-20	1st Draft
DESIGNER: BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 333 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com	
Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
South Elevation 3/16"=1'	
2	Of 12

REVIEWED FOR CODE COMPLIANCE
BY: *[Signature]*
DATE: 10/11/2020



1 West Elevation
scale: 3/16"=1'



2 East Elevation
scale: 3/16"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

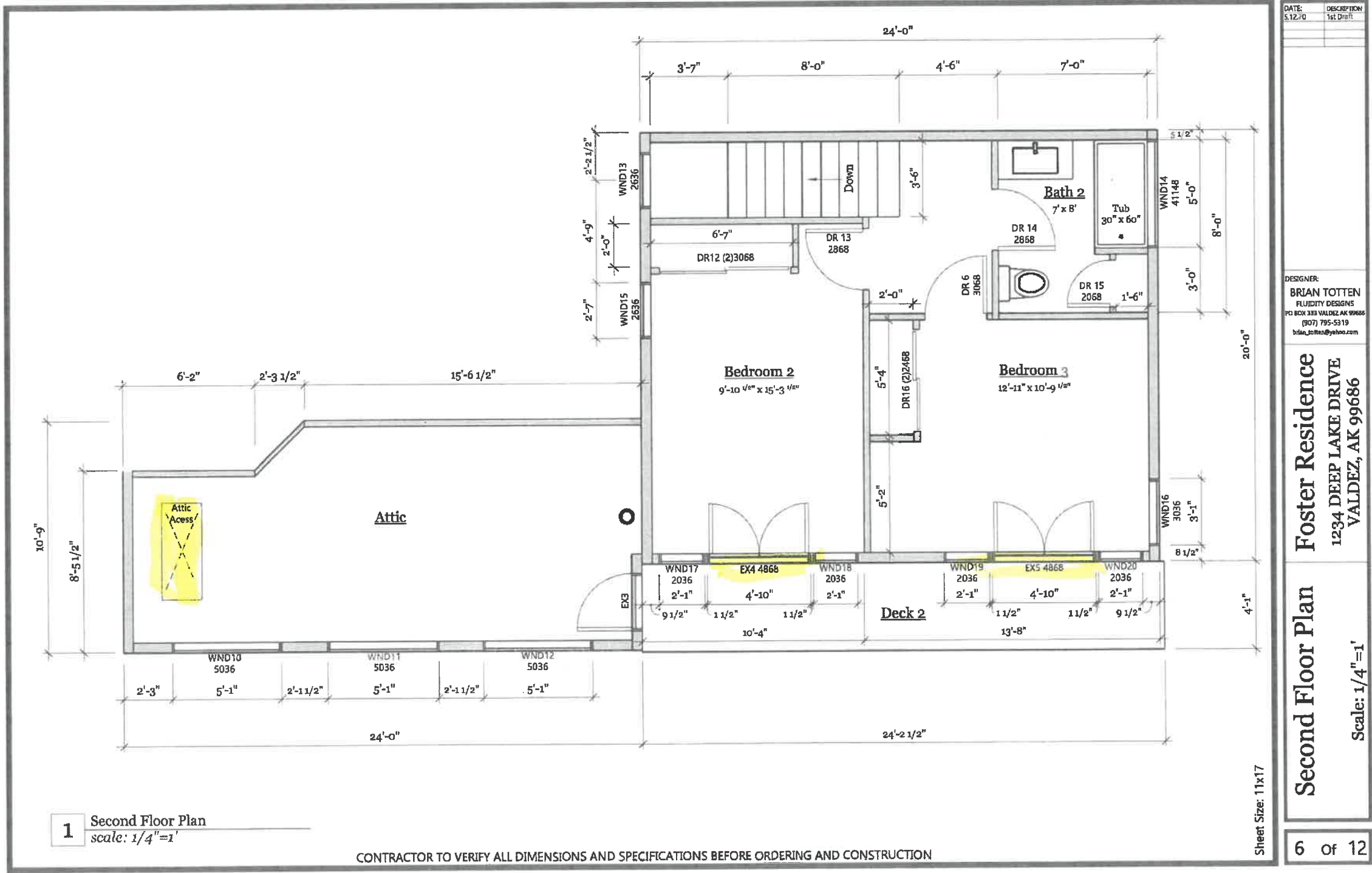
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DESIGNER:
BRIAN TOTTEN
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PO BOX 333 VALDEZ AK 99686
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brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

West Elevation, East Elevation

3 of 12



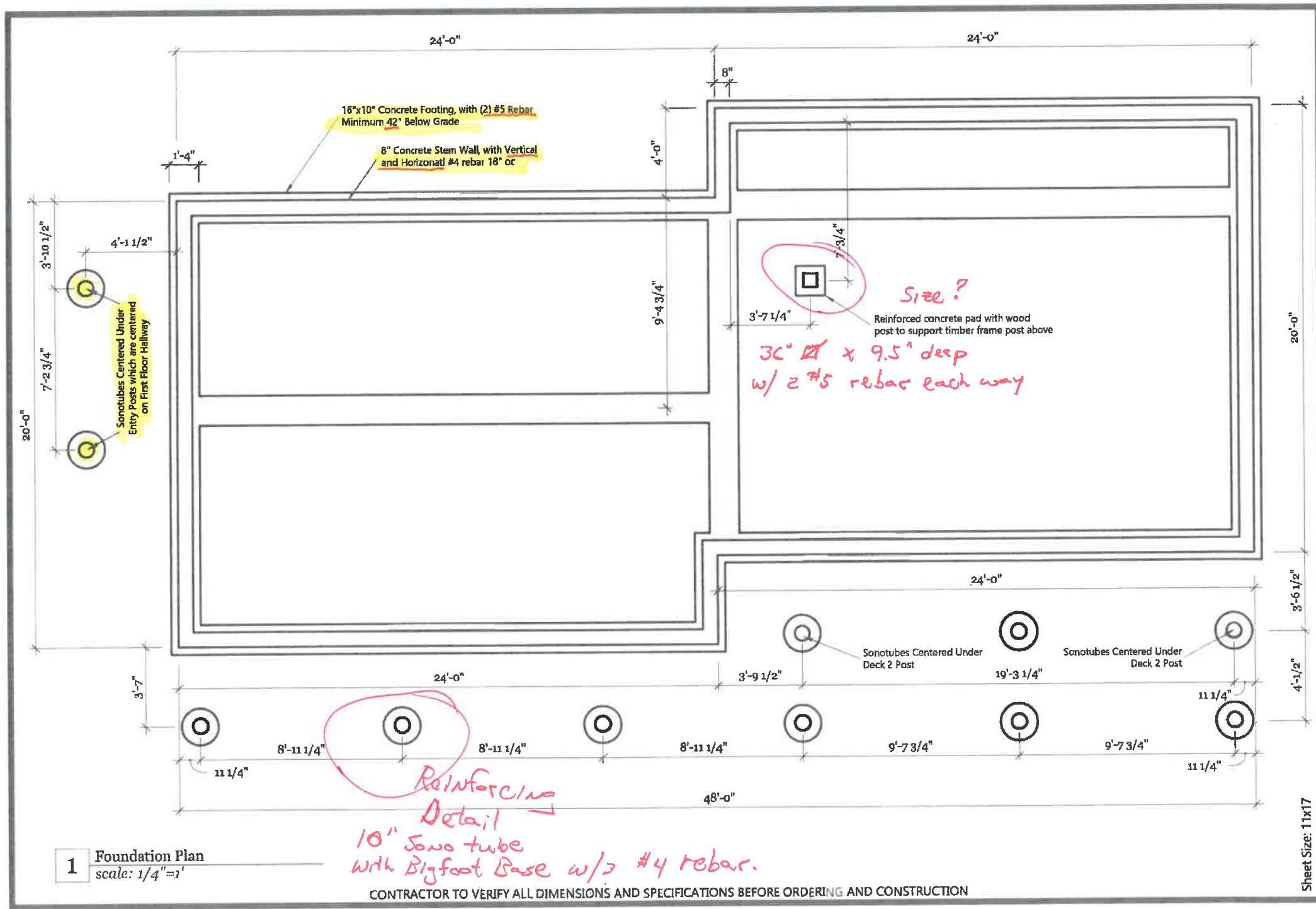
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(907) 795-5319
brian.totten@yahoo.com

Second Floor Plan
Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Scale: 1/4"=1'

6 of 12



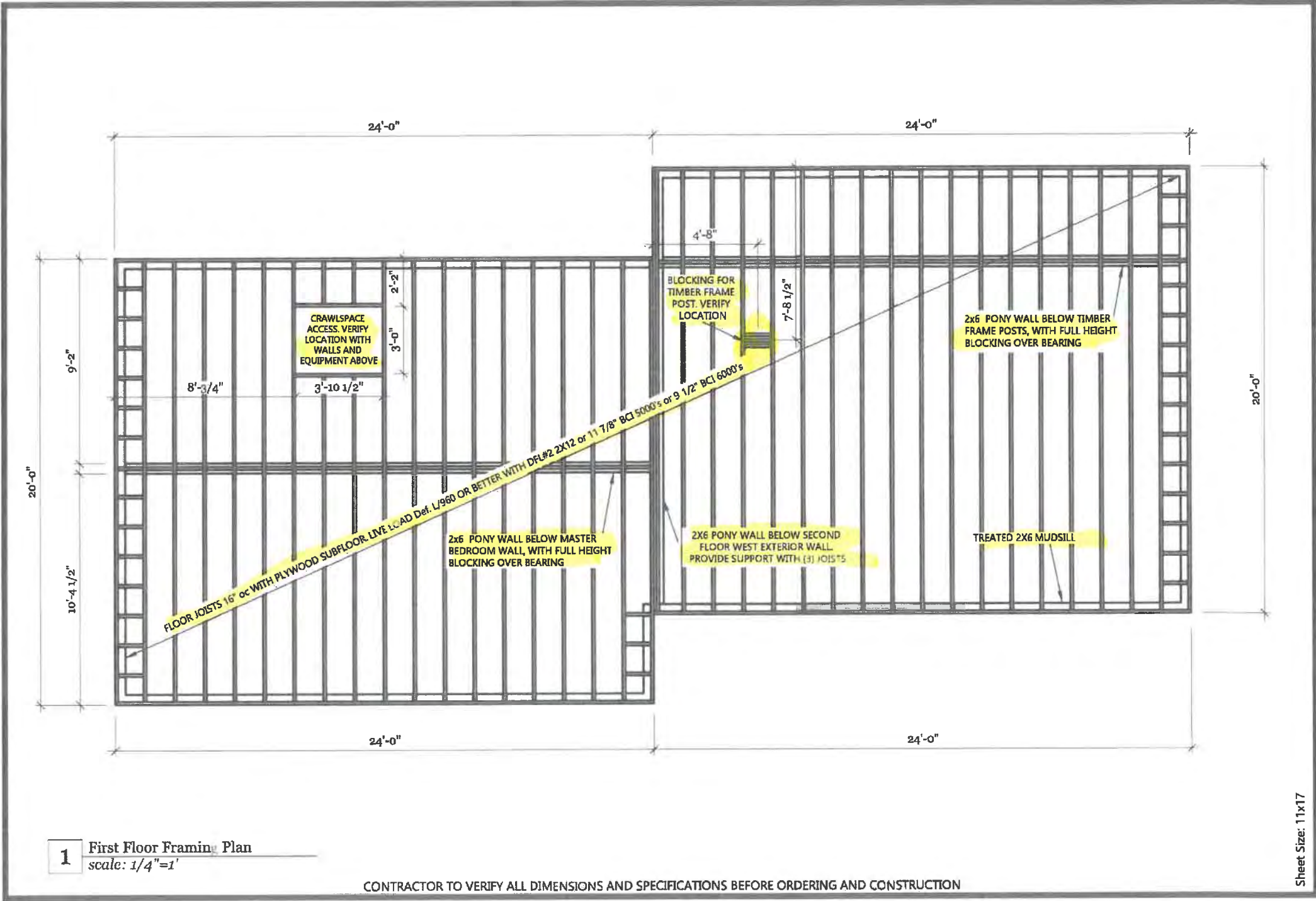
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5/12/20	1st Draft

DESIGNER:
BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 333 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com

Project Name	Address
Foster Residence	1234 DEEP LAKE DRIVE VALDEZ, AK 99686

Sheet Title	Scale
Foundation Plan	Scale: 1/4"=1'

Page Number
7 of 12



DATE	DESCRIPTION
5.12.20	1st Draft

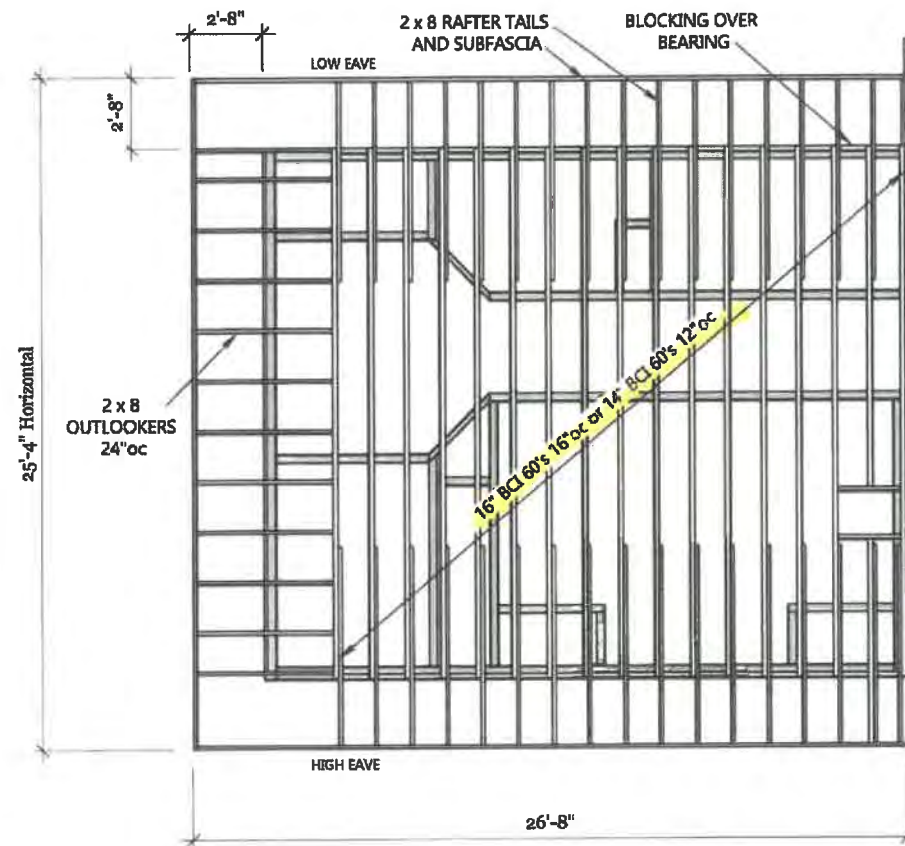
DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

First Floor Framing Plan
Scale: 1/4"=1'

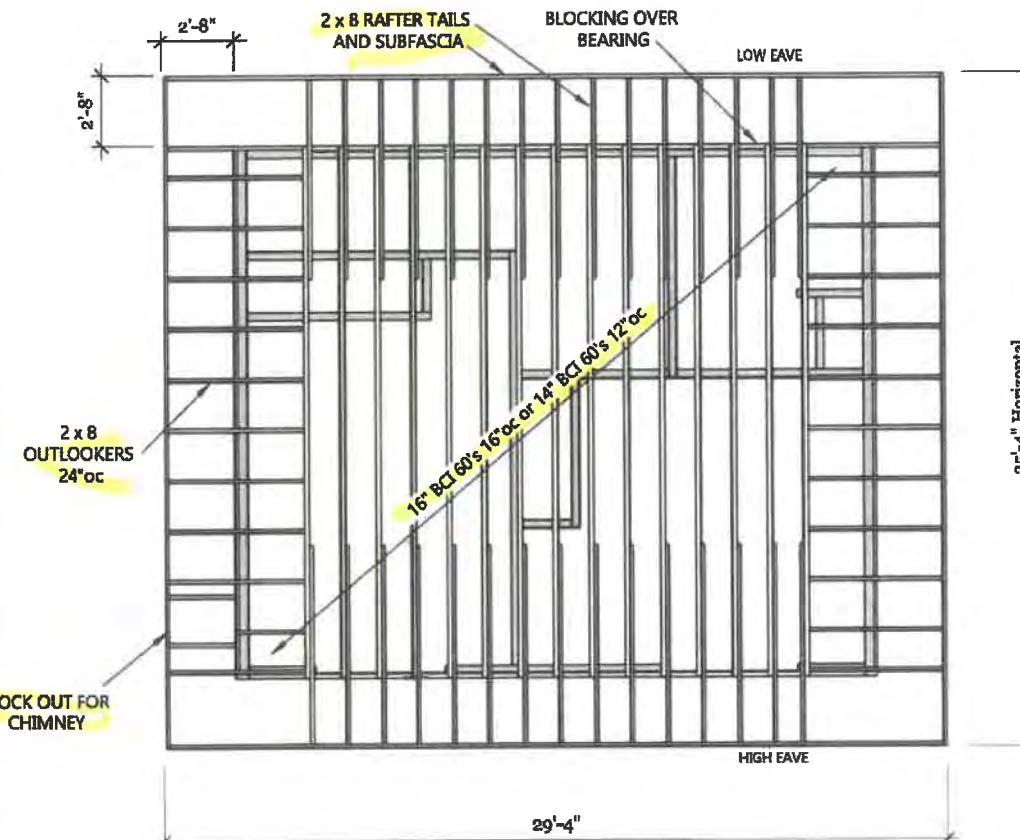
Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

8 of 12

Sheet Size: 11x17



1 Low Roof Framing Plan
scale: 1/4"=1', 4:12 pitch



2 High Roof Framing Plan
scale: 1/4"=1', 4:12 pitch

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Sheet Size: 11x17

DATE:	DESCRIPTION
5.12.20	Test Draft

DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99685
(907) 795-5319
brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Roof Framing Plan

12 of 12

CITY OF VALDEZ
Building Department
834-3401

POSTING NOTICE FOR BUILDING PERMIT

20-000197

PERMIT

Rhett Foster

NAME

5975 Deep Lake Drive

STREET ADDRESS

LOT 4 BLOCK 4 SUBDIVISION Robe Lake ISSUED ON: 10/11/2020

Valid for 360 days.

This shall be posted so it is visible from the street
Call to schedule an inspection.

Jay Yunker

From: Jay Yunker
Sent: Wednesday, October 21, 2020 3:57 PM
To: 'Rhett Foster'
Subject: RE: [External Attachment *Caution*]-Fwd: Rhett Foster-VDZ Residence

Thank Rhett,
That works. I have attached the documents to the file.

You and go ahead and pour the footings.

Thanks

Jay Yunker
Building Inspector
City of Valdez – Planning Department
☎ 907.834.3401 | ✉ jyunker@valdezak.gov

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Wednesday, October 21, 2020 1:14 PM
To: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: [External Attachment *Caution*]-Fwd: Rhett Foster-VDZ Residence

Jay,

See attached letter from Tom and pdf of revised page 7. Please call me and let me know if I am good to go.

Thank you.

Begin forwarded message:

From: Thomas Sanborn <tom@sanbornengrllc.com>
Date: October 21, 2020 at 12:50:35 PM AKDT
To: Rhett Foster <rhett.foster@gmail.com>
Subject: Re: Rhett Foster-VDZ Residence

Here you go.

Sincerely,
Tom Sanborn, PE
850-377-8978

On Tue, Oct 20, 2020 at 8:39 PM Thomas Sanborn <tom@sanbornengrllc.com> wrote:
Yeah. I can get you a letter tomorrow

On Tue, Oct 20, 2020, 6:52 PM Rhett Foster <rhett.foster@gmail.com> wrote:
Can you make this happen for me please, Tom?

Begin forwarded message:

From: Jay Yunker <JYunker@ValdezAK.Gov>
Date: October 20, 2020 at 5:02:42 PM AKDT
To: Rhett Foster <rhett.foster@gmail.com>
Subject: RE: Rhett Foster-VDZ Residence

Thanks Rhett,

Please have Tom provide a stamped letter indicating the acceptable spacing of the vertical rebar as well as we will need a revised plan sheet #7 indicating the change.

Thanks

Jay

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Tuesday, October 20, 2020 2:59 PM
To: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: Fwd: Rhett Foster-VDZ Residence

Hello Jay,

Please see Tom's clarification for footer to stemwall j bar reinforcement...

Begin forwarded message:

21 October 2020

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Foundation Reinforcement Inquiry – New Construction on Deep Lake Drive

BACKGROUND

On Tuesday 20 October 2020, you requested engineering guidance on the reinforcement requirements for the concrete footing and stem wall of the design your proposed new construction on Deep Lake Drive in Valdez, AK. Specifically:

- Given that the stem wall has vertical reinforcement spaced every 18" OC, does a J-bar embedded in the footer every 48" OC comply with code requirements?

RESPONSE

The code requirement per Chapter 4 of the International Residential Code for reinforcement between a concrete footing and stem wall are as follows:

- Reinforcement size: No. 4
- Maximum Spacing: 4' (48") on center.
- Embedment: Extending to 3" clear of bottom of the footing (with a standard hook) and extending a minimum of 14" into the stem wall.

If you have any additional questions, please let me know.



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

1Of12

Cover Page

Foster Residence

1234 DEEP LAKE DRIVE

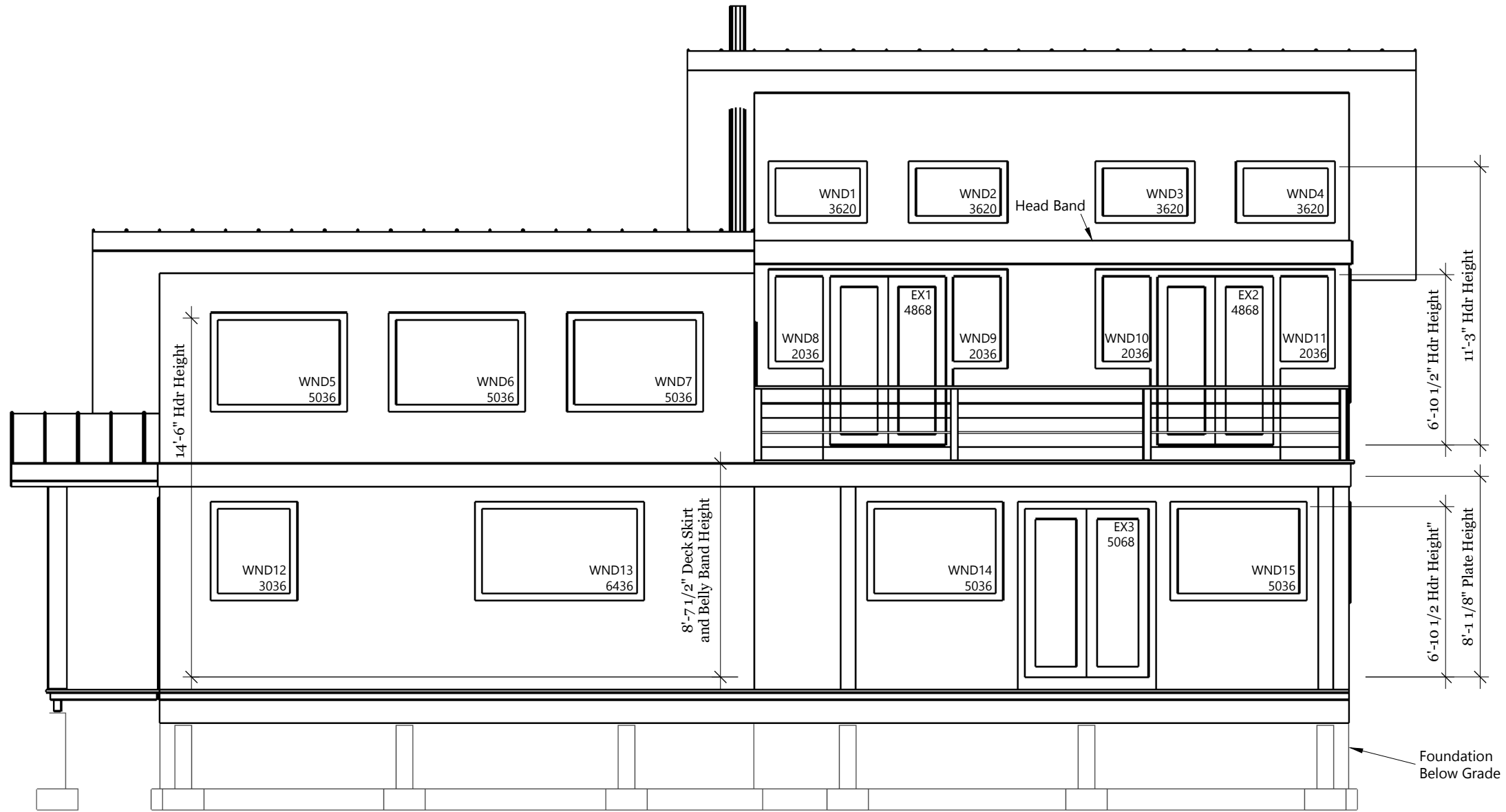
VALDEZ, AK 99686

DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

DATE:
5.12.20

DESCRIPTION
1st Draft

October 20, 2020



1 South Elevation
scale: 3/16"=1'

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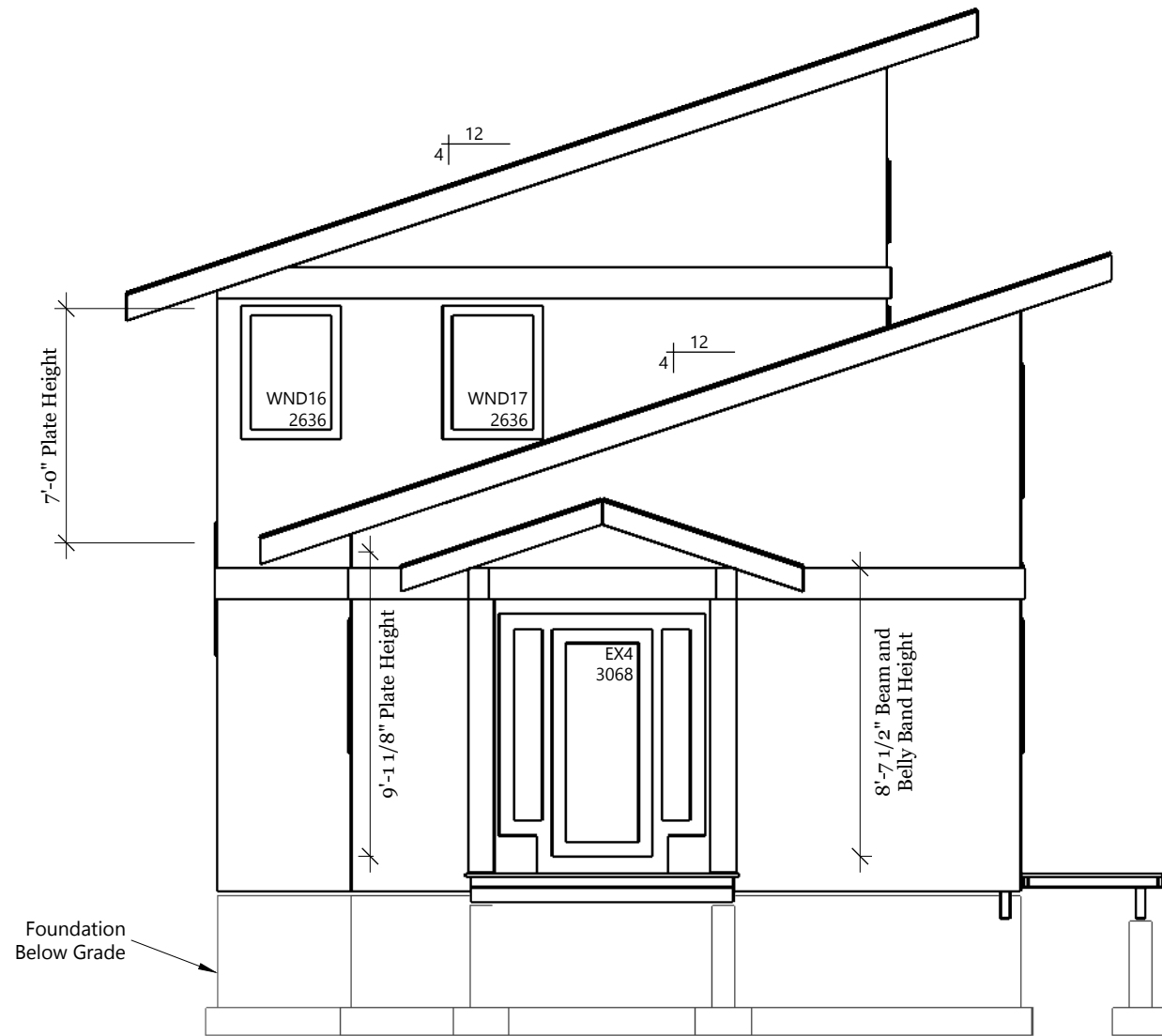
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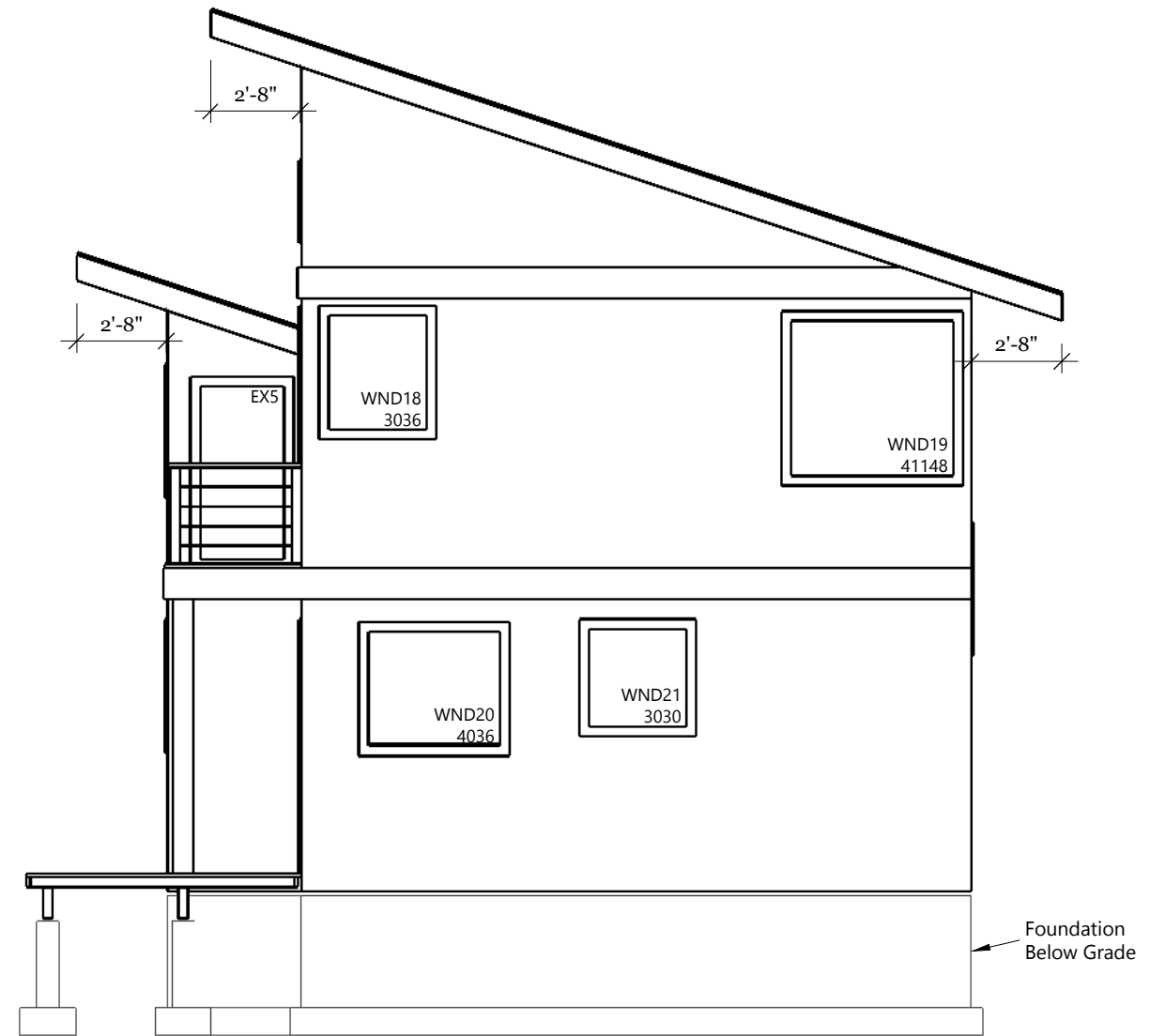
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(907) 795-5319
brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

South Elevation
3/16"=1'



1 West Elevation
scale: 3/16"=1'

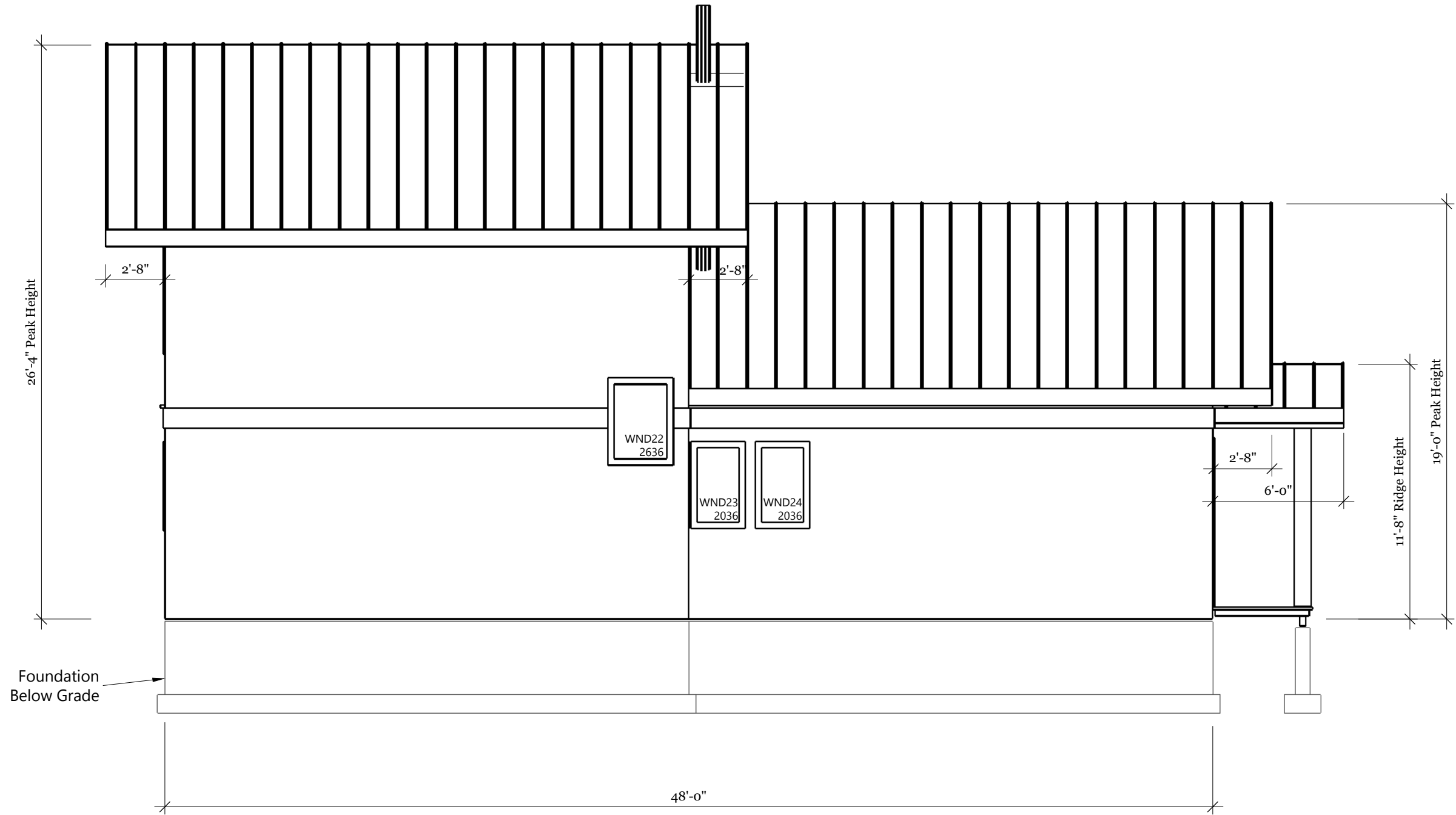


2 East Elevation
scale: 3/16"=1'

Sheet Size: 11x17

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(907) 795-5319	
brian_totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
West Elevation, East Elevation	
3	of 12

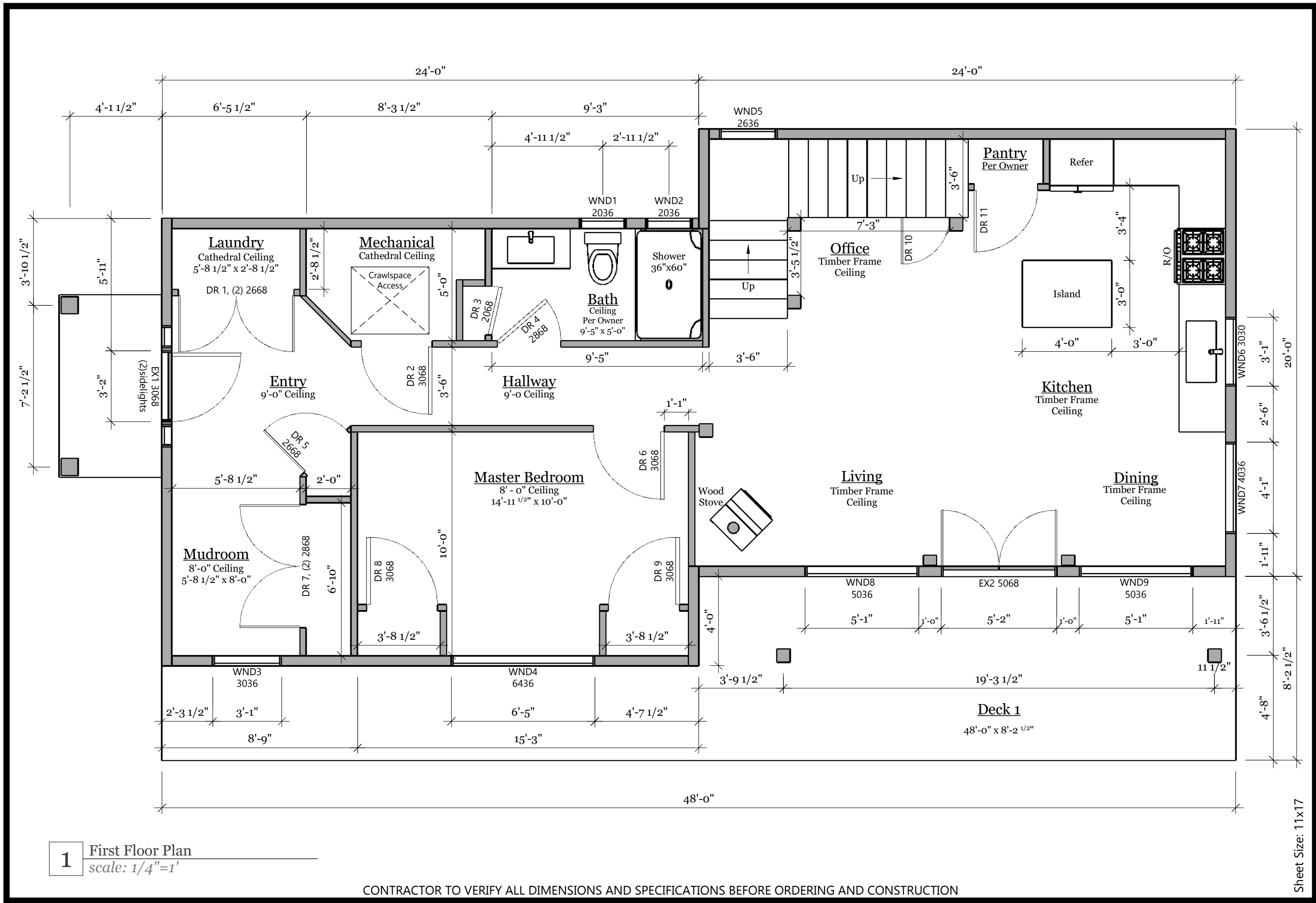


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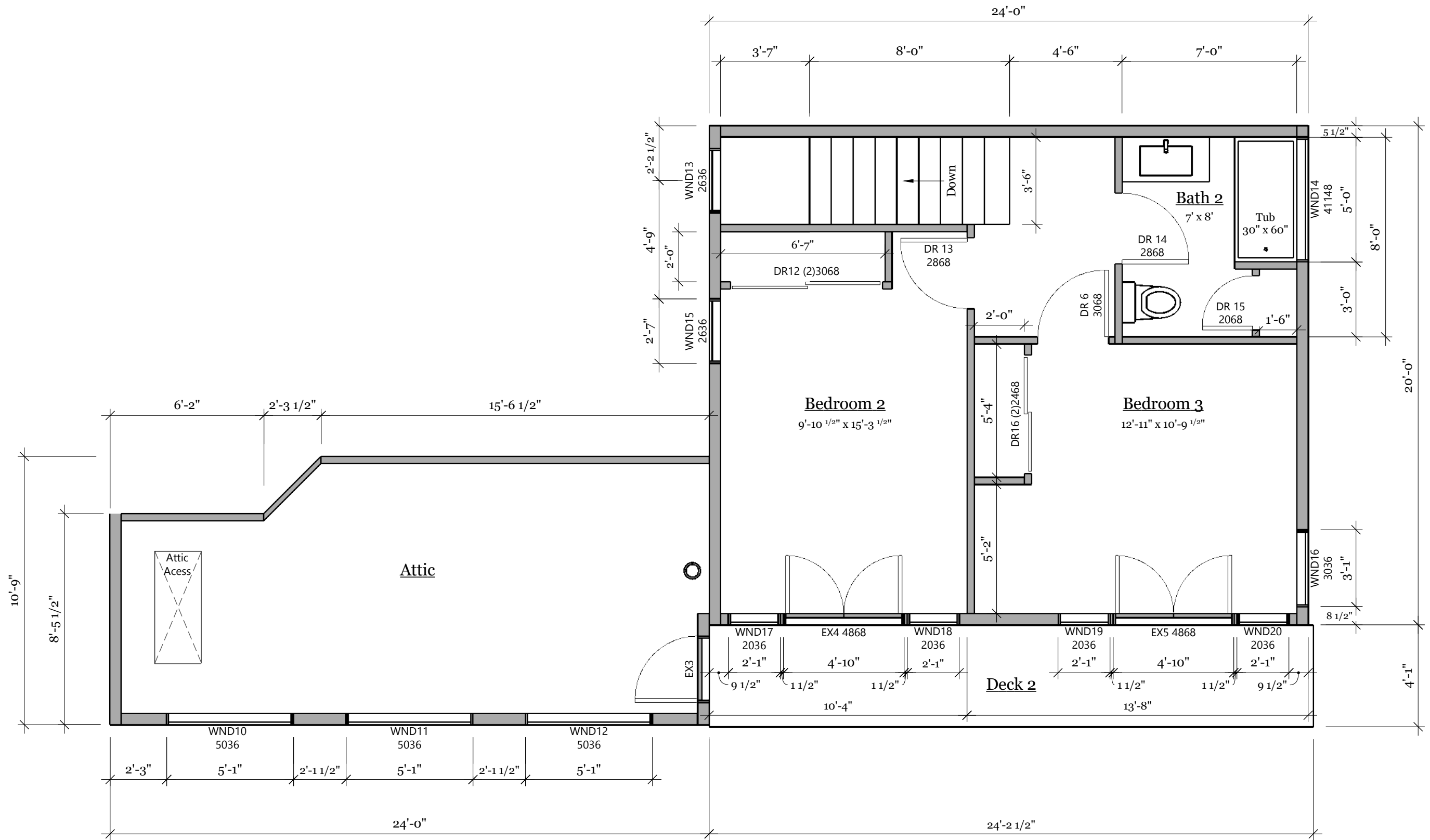
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DESIGNER: BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 333 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com	
Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
North Elevation	Scale: 3/16"=1'
4 of 12	



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brian_totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
First Floor Plan	
Scale: 1/4"=1'	
5	of 12



1 Second Floor Plan
scale: 1/4"=1'

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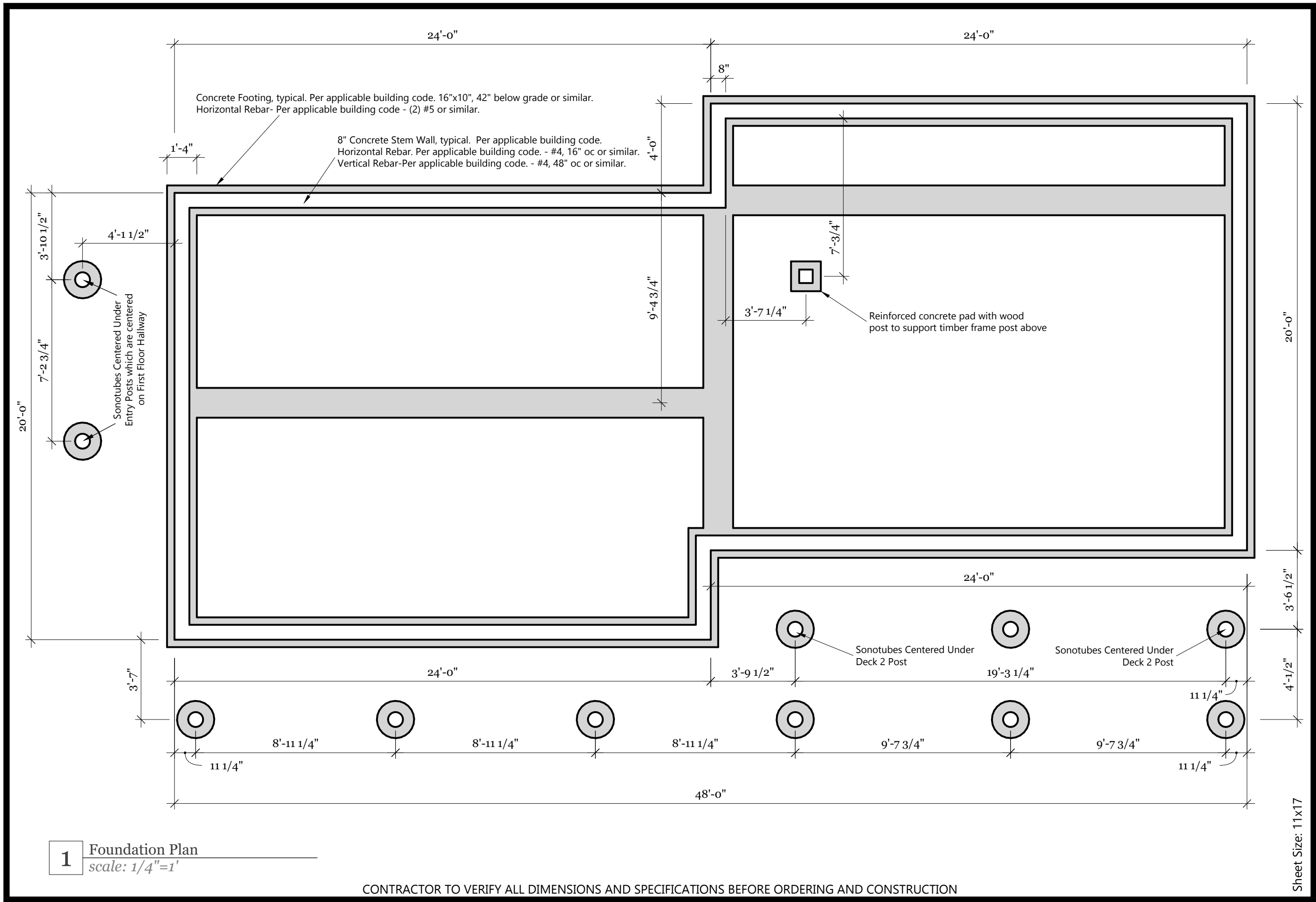
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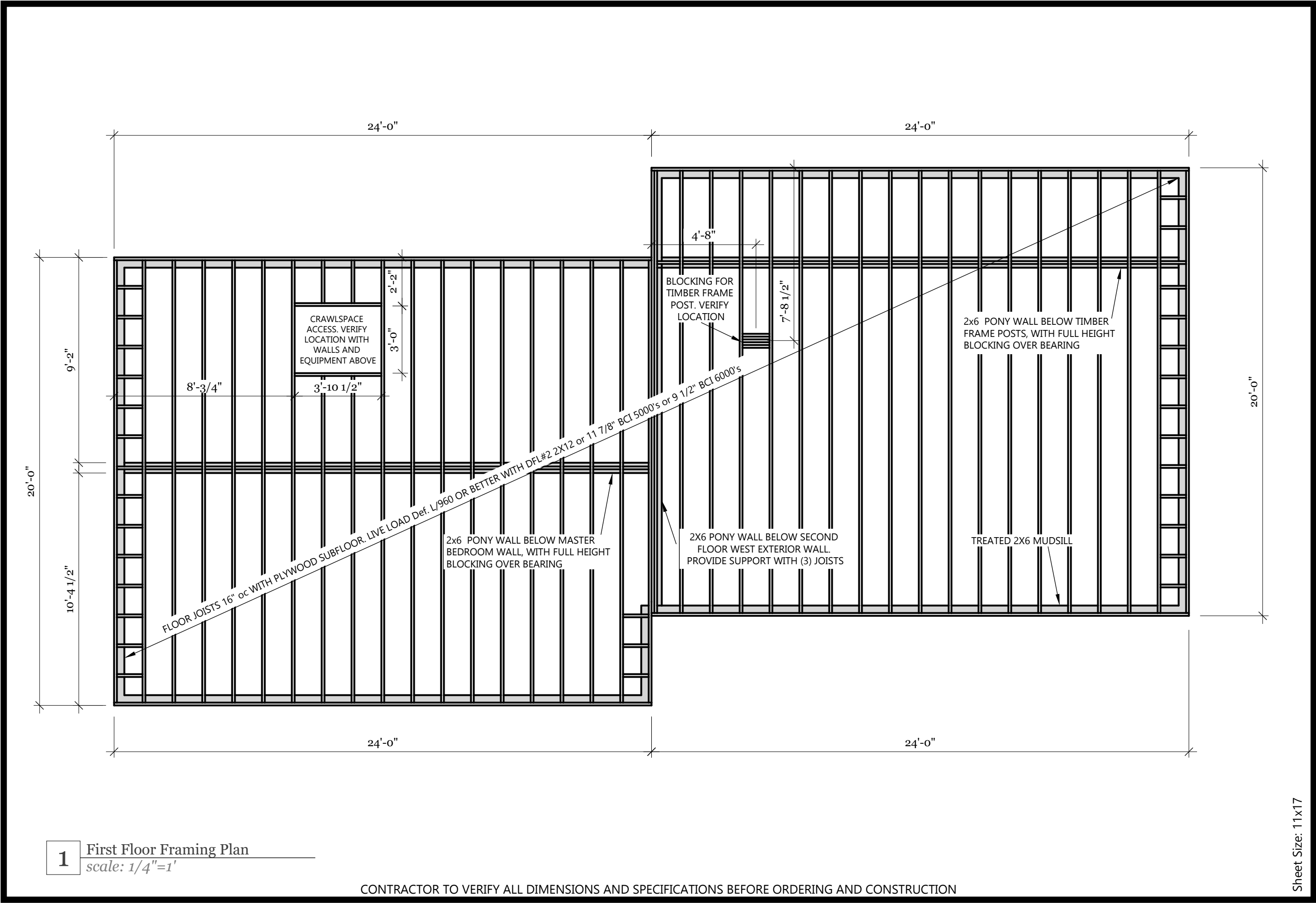
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Second Floor Plan
Scale: 1/4"=1'

6 of 12



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Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
Foundation Plan	
Scale: 1/4"=1'	
7 of 12	



1 First Floor Framing Plan
scale: 1/4"=1'

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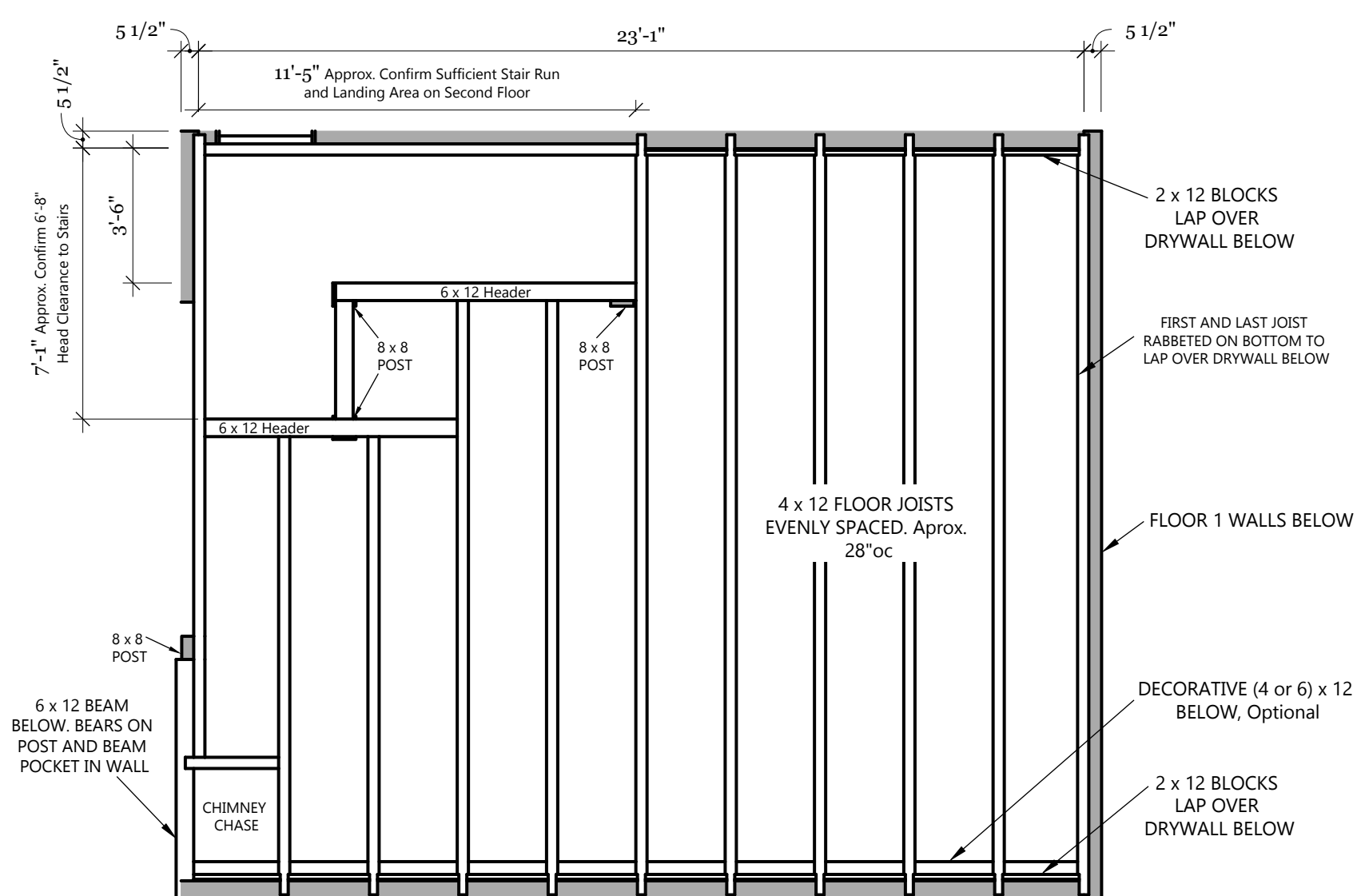
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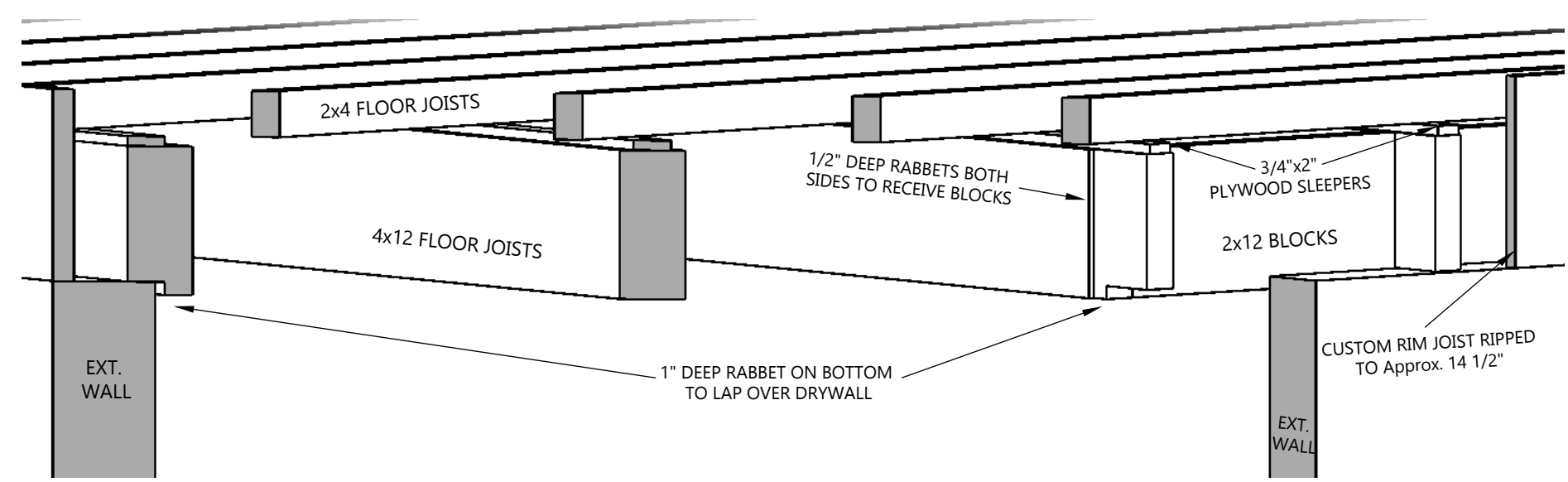
Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

First Floor Framing Plan
Scale: 1/4"=1'

8 Of **12**



1 Second Floor Timber Frame Plan
scale: 1/4"=1'



2 Timber Frame Floor Detail
Orthogonal View

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

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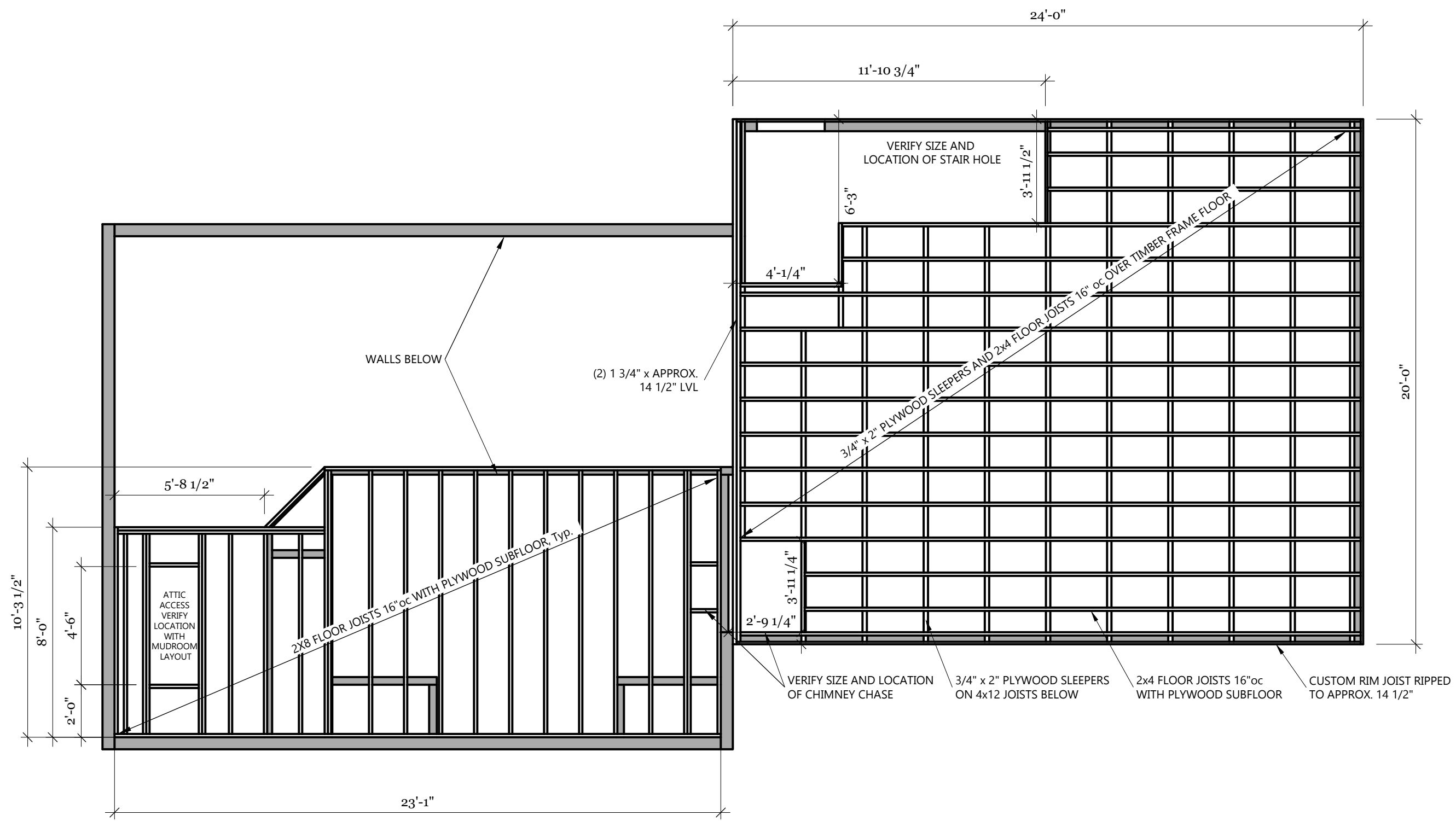
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 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Second Floor Timber Frame Plan

9 of 12



1 Second Floor Framing Plan
scale: 1/4"=1'

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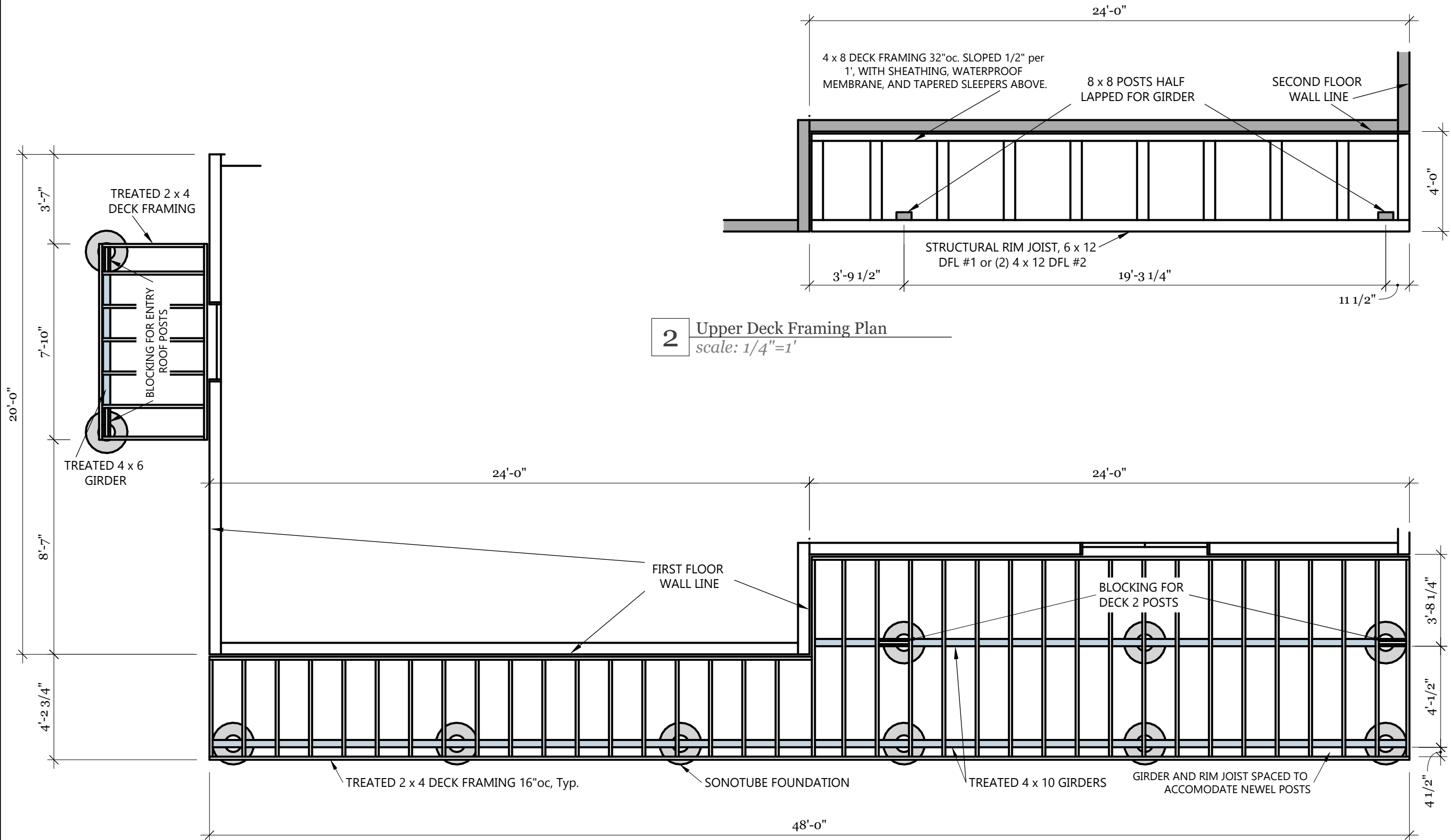
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brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Second Floor Framing Plan
Scale: 1/4"=1'

10 of 12



2 Upper Deck Framing Plan
scale: 1/4"=1'

1 Lower Deck Framing Plan
scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

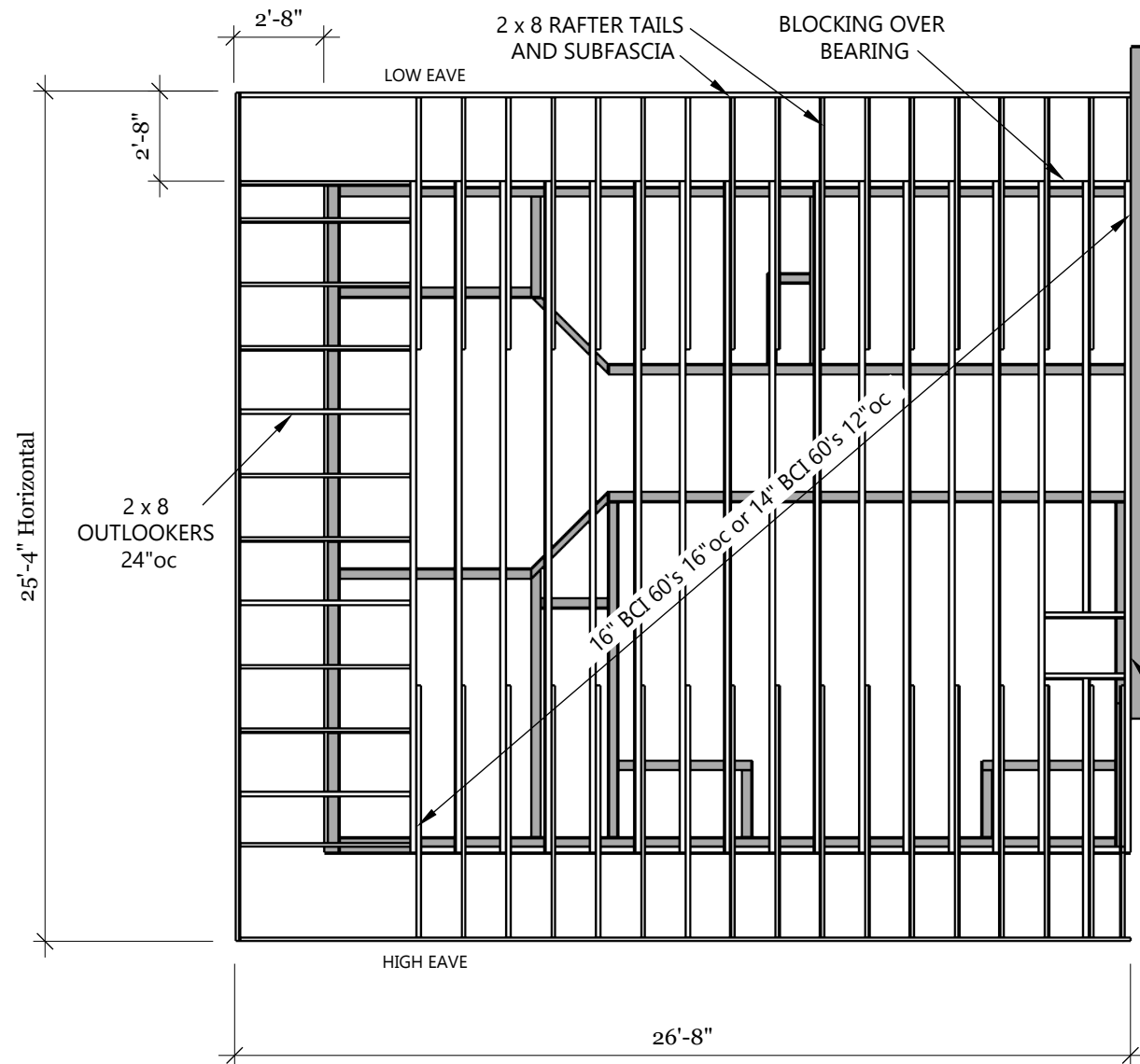
Sheet Size: 11x17

DATE:	DESCRIPTION
5.12.20	1st Draft

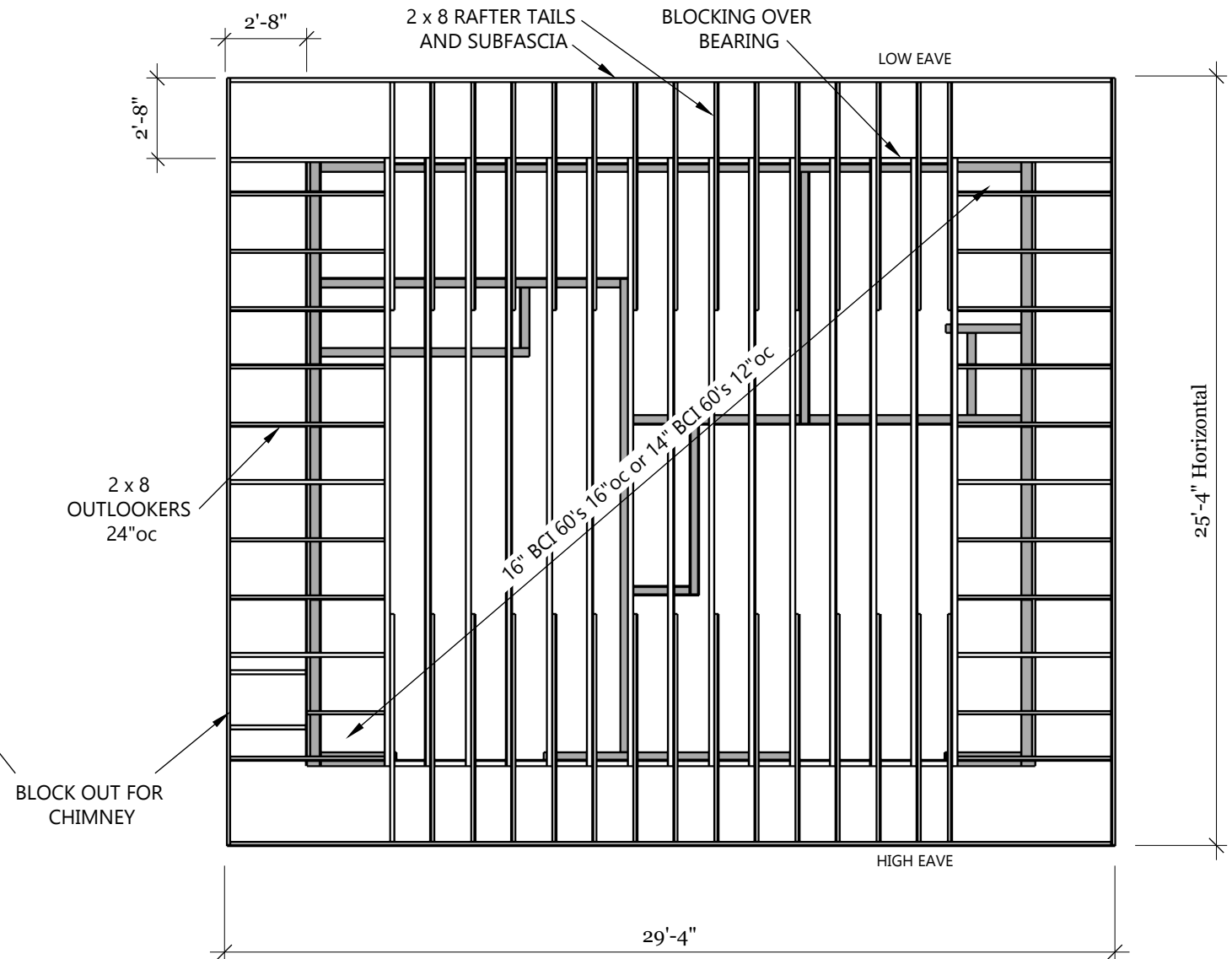
DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Deck Framing Plan



1 Low Roof Framing Plan
scale: 1/4"=1', 4:12 pitch



2 High Roof Framing Plan
scale: 1/4"=1', 4:12 pitch

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

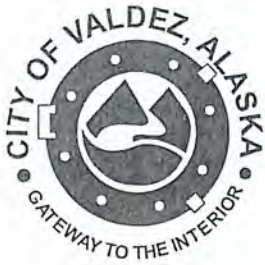
Sheet Size: 11x17

DATE:	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian_totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

Roof Framing Plan



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER
20	000197

20-000197

INSPECTION CHECKLIST

NAME <u>Rhett Foster</u>		PHONE <u>907-255-8133</u>
STREET ADDRESS <u>5975 Deep Lake Drive</u>		DATE OF REQUEST <u>10/23</u>
LOT <u>4</u>	BLOCK <u>4</u>	SUBDIVISION <u>Robe Lake</u>
TIME RECEIVED _____		
<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL
<input type="checkbox"/> FRAMING	<input type="checkbox"/> _____	<input type="checkbox"/> FUEL TANK
<input type="checkbox"/> INSULATION	<input type="checkbox"/> _____	<input type="checkbox"/> GAS
<input type="checkbox"/> VAPORBARRIER	<input type="checkbox"/> _____	<input type="checkbox"/> _____
<input type="checkbox"/> GYPSUM	<input type="checkbox"/> _____	<input type="checkbox"/> _____
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/> _____	<input type="checkbox"/> FINAL
<input type="checkbox"/> SEPTIC/LEACH FIELD		
<input type="checkbox"/> WELL		
<input type="checkbox"/> COMPLIANCE		
<input type="checkbox"/> STOP WORK ORDER		
<input type="checkbox"/> NO NONCOMPLIANCE OBSERVED AT THIS TIME		
<input type="checkbox"/> CORRECTIONS ESSENTIAL AS EXPLAINED BELOW		
<input type="checkbox"/> OBTAIN PERMIT PRIOR TO RESUMING WORK		
<input type="checkbox"/> WILL RE-EXAMINE AT NEXT INSPECTION		
<input type="checkbox"/> DO NOT CONCEAL UNTIL REINSPECTED		
<input checked="" type="checkbox"/> OK TO COVER <u>pour listed footings</u>		
CODE REF.	<u>3:00 PM 10/23/2020</u>	
	<u>Sonotubes # 4, 5, 6, 7, & 9 Reinspection.</u>	
	<u>Above listed Sonotubes corrected -</u>	
	<u>Rebar extended to within 3" of</u>	
	<u>top and evenly spaced.</u>	
	<u>Each with 3- #4 rebar with standard</u>	
	<u>hook into big foot base.</u>	
	<u>OK to pour these Footings.</u>	
WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401		
IN _____ OUT _____		
<u>10/23/2020</u>		
DATE		
(REV 07/06)		

Date & Time: Fri Oct 23 15:10:14 AKDT 2020
Position: +061°04'19.4" / -146°04'51.2"
Altitude: 206ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 127° S53E 2258mils (True)
Zoom: 2X



Date & Time: Fri Oct 23 15:10:35 AKDT 2020

Position: +061°04'19.1" / -146°04'50.9"

Altitude: 189ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 121° S59E 2151mils (True)

Zoom: 2X



Date & Time: Fri Oct 23 15:10:41 AKDT 2020
Position: +061°04'19.0" / -146°04'50.9"
Altitude: 185ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 053° N53E 0942mils (True)
Zoom: 2X





Date & Time: Fri Oct 23 15:10:55 AKDT 2020

Position: +061°04'19.1" / -146°04'50.6"

Altitude: 188ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 263° S83W 4676mils (True)

Zoom: 2X



Date & Time: Fri Oct 23 15:11:04 AKDT 2020

Position: +061°04'19.1" / -146°04'50.5"

Altitude: 187ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 250° S70W 4444mils (True)

Zoom: 1X

Date & Time: Fri Oct 23 15:11:13 AKDT 2020

Position: +061°04'19.1" / -146°04'50.4"

Altitude: 189ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 259° S79W 4604mils (True)

Zoom: 1X





Date & Time: Fri Oct 23 15:11:33 AKDT 2020

Position: +061°04'19.1" / -146°04'50.2"

Altitude: 190ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 077° N77E 1369mils (True)

Zoom: 1X

Date & Time: Fri Oct 23 15:11:41 AKDT 2020
Position: +061°04'19.2" / -146°04'50.3"
Altitude: 198ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 073° N73E 1298mils (True)
Zoom: 1X



Date & Time: Fri Oct 23 15:11:57 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

Altitude: 186ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 231° S51W 4107mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:12:00 AKDT 2020
Position: +061°04'19.3" / -146°04'49.9"
Altitude: 188ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 199° S19W 3538mils (True)
Zoom: 1X



Date & Time: Fri Oct 23 15:12:05 AKDT 2020
Position: +061°04'19.3" / -146°04'49.9"
Altitude: 188ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 197° S17W 3502mils (True)
Zoom: 1X



Date & Time: Fri Oct 23 15:12:09 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

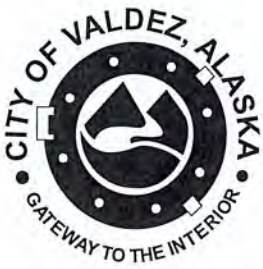
Altitude: 185ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 232° S52W 4124mils (True)

Zoom: 1X





CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER
20	000197

20-000197

INSPECTION CHECKLIST

NAME	Rhett Foster	PHONE	907-255-8133
STREET ADDRESS	5975 Deep Lake Dr	DATE OF REQUEST	10/20/2020
LOT	4	BLOCK	4
SUBDIVISION	Robe Lake	TIME RECEIVED	
<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION VAPOR BARRIER	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL
<input type="checkbox"/> NO NONCOMPLIANCE OBSERVED AT THIS TIME	<input checked="" type="checkbox"/> CORRECTIONS ESSENTIAL AS EXPLAINED BELOW	<input type="checkbox"/> OBTAIN PERMIT PRIOR TO RESUMING WORK	
<input checked="" type="checkbox"/> WILL RE-EXAMINE AT NEXT INSPECTION	<input checked="" type="checkbox"/> DO NOT CONCEAL UNTIL REINSPECTED	<input checked="" type="checkbox"/> OK TO COVER	stem walls only
CODE REF.	1:30pm	STEM inspection	10/23/2020
	Fox Block Foam Stem wall forms.		
	2 Course # 4 or higher rebar horizontals with corners bent and lapped.		
	All laps $\geq 24"$		
	Contractor to brace stem walls prior to pour. All forms in place with proper rebar.		
* Fully poured Sono tube footings - Several Sono tubes poured prior to inspection. - Several partially poured Sono tubes prior to inspection with rebar visible. Shall be removed and replaced.	Tubes # 1, 2, 3, 9, 10, 11, 12 & 13 all poured Full. Tubes # 4, 5, 6, 7 & 8 partially filled. Visible rebar placement is correct and needs to be straightened with some needed to be added on to with top ends within 3" of top of form. Ok to pour stem walls only. Corrections required on all Sono tubes.		
WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401			
INSPECTOR		IN	OUT
[Signature]		10/23/2020	
		DATE	(REV 07/06)

16 May 2021

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Partial Design Assessment – New Construction on Deep Lake Drive – Rebar in
Deck Footings

Dear. Mr. Foster,

The following report summarizes the assessment conducted by SANBORN
ENGINEERING & CONSULTING, LLC (SE&C).

Any requests for additional information or to address follow-up questions may be sent to
SE&C by the following means:

email: tom@sanbornengrllc.com

phone: 850-377-8978



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC

BACKGROUND

SE&C was originally asked to perform a partial design assessment on several elements of a two-story residence you plan to construct on Deep Lake Drive, Valdez, Alaska. An initial report was submitted, dated 4 June 2020. A supplemental report providing additional detail was later submitted, dated 13 September 2020.

Following submission of these reports, you contacted SE&C on 13 May 2021 and requested the following:

- Is the removal and repouring of the identified concrete sonotube footings supporting the deck necessary?

Several photographs, a description of the means & methods used in constructing the footings, and documentation from the local building department were provided by you and used in the analysis of this question.

ANALYSIS & RECOMMENDATIONS

The following conclusions are based on the information provided to SE&C. These conclusions are subject to revision or clarification in the event of any changes which may materially affect the current analysis.

1. Code Compliance Concerns.
 - a. The building inspector was not present when several footings were poured, and was only present for a partial pour of other footings.
 - b. Citing not being able to verify the rebar was properly oriented and within 3" of the top of the concrete, several footings were ordered to be removed and repoured.
 - c. In the correspondence following this order, the International Residential Code (specifically section R404.1.2.4.7.4) was referenced as requiring 3" of concrete cover.
 - d. It should be noted that the above IRC reference specifies minimum concrete cover based on the ground exposure of the concrete being

placed, but does not explicitly state the maximum coverage at the top of a footing.

- e. However, the general best practice is to meet the minimum coverage as close as practicable to ensure proper reinforcement throughout the concrete.

2. Means & Methods:

- a. After excavation and placement of the sonotubes (including the bigfoot bases), the rebar was placed in the sonotubes, the sonotubes were filled with concrete, and the rebar was then adjusted to the correct depth and orientation by hand.
- b. Adjustment of rebar/reinforcement placement during pouring is a common method in several concrete reinforcement applications. One such example is steel reinforcement in a hand formed concrete curbs, where rebar is laid horizontally in the forms before pouring, and lifted at regular interval to the proper height while concrete is being poured.
- c. The use of wire ties or other bar support system to hold the rebar in the specified orientation before pouring is a best practice and fully compliant with code. However, it is possible to achieve the same final outcome by placing the bars during pouring.

3. Loading Review.

- a. The governing loading condition for this deck is Snow Load plus Dead Load (S+D), which was reflected in the design of the load bearing elements of the deck.
- b. Given the orientation of the residential structure and this deck, it is highly unlikely this deck will ever experience the full design load. Conservatively half the deck is located beneath the roof overhang for the structure. This roof is pitched away from the side of the structure where the deck is located, protecting it from both falling snow, and snow shed from the roof itself.
- c. As these sonotube footings are separate from the stem wall foundation of the residence itself, the risk of any deck failure significantly affecting the structure is also minimal.

4. Recommendation: It is the recommendation of SE&C that these footings be allowed to remain in their current condition.
 - a. The means and methods applied in the construction of the sonotubes footings is likely to achieve proper strength.
 - b. Even if there was a minor deviation in the placement of rebar, the likelihood of an overloaded condition is further minimized by the orientation and design of the roof of the structure.
 - c. Lastly, given that the design load is during snow season when deck usage is at a minimum, and that a failure of the deck is unlikely to cause structural damage to the residence, the risk associated with such an unlikely failure is also minimized.

From: Kate Huber <KHuber@ValdezAK.Gov>
Sent: Friday, May 14, 2021 4:36 PM
To: Rhett Foster <rhett.foster@gmail.com>
Cc: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: RE: 5975 Deep Lake Dr : Permit 20-000197

Hi Rhett,

In order to be in good standing for your permit, you need to complete the corrections as required and have Jay come out to re-inspect the work. It is necessary for your building to be completed according to the submitted plans in order to avoid a stop work order on the project, and ultimately to obtain the certificate of occupancy. Additionally, there are penalties within the building code that you should be aware of in VMC 15.04.060 (see below).

My understanding is that the footings in question are related to a deck attached to your house. You could also consider requesting a modification to the scope of your building permit, should you choose not complete the deck on the house. However, keep in mind that the corrections will still need to be made in the future if you wanted to add a deck. If you opt for this route, you would need to obtain a separate building permit for any future deck, which would require the same changes Jay documented in his inspection paperwork. You'll also have to submit plans for the house without the deck in order for us to modify the existing permit.

If you intend to modify the scope of work, or move forward with the corrections necessary, please reach out to Jay (copied here) for the documentation or details of inspections that will be necessary. Unfortunately, I'm dealing with a family emergency and have to leave town suddenly. I will be available on email, but Jay will be faster to respond to your inquiries, so you can find a path forward.

Take care,

Kate

15.04.060 International Building Code—Violations—Penalties.  **SHARE**

A. Violation Penalties. Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter, repair or do work in violation of the approved construction documents or directive of the code official, or of a permit or certificate used under provisions of this code, shall be

punishable by a fine of not more than three hundred dollars. Each ten days that a violation continues after due notice has been served shall be deemed a separate offense.

B. Failure to Comply. Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be liable to a fine of not more than three hundred dollars, in addition to other remedies available by law. (Ord. 12-02 § 1 (part))

Kate Huber
Planning Director
City of Valdez | Planning Department
☎ 907.834.3401 | ✉ khuber@valdezak.gov

PUBLIC RECORDS LAW DISCLOSURE: This e-mail and responses to this email are subject to provisions of Alaska public records laws and may be made available to the public upon request.

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Thursday, May 6, 2021 5:51 PM
To: Kate Huber <KHuber@ValdezAK.Gov>
Subject: Re: 5975 Deep Lake Dr : Permit 20-000197

[EXTERNAL EMAIL - CAUTION: Possible Spam or Phishing Email. Do not open unexpected attachments or links. DO NOT reply and delete this message if in doubt.]

Hi Kate and thanks for your consideration.

The photos do not show the rebar to within 3” of the top of the tube because without concrete, the rebar is sitting on the ground. When the concrete is poured, the bar is then lifted up off the ground to the proper height of cover in the base and to the height from the top of the tube.

Respectfully, what is the consequence if I do not remove/replace the sonotubes as required?

On May 6, 2021, at 4:58 PM, Kate Huber <KHuber@valdezak.gov> wrote:

Hi Rhett,

Good to hear from you. Unfortunately, in this situation there isn't any alternative that I can offer you. We only accept photos in lieu of an inspection in certain extenuating circumstances. I really feel for you here, but given that Jay required corrections on all of sonotubes that he was able to inspect, and because your photos do not appear to have the rebar extended sufficiently to the top of the sonotube (within 3” of top) (per IRC R404.1.2.3.7.4) there isn't an alternative that I can offer.

The corrections that Jay detailed in the inspection report for sonotubes must be completed. Sonotubes #1, 2, 3, 9, 10, 11, 12, and 13 should be uncovered and inspected prior to pouring again.

I understand that this requires additional time and cost but I don't have any other alternatives to offer.

Take care,
Kate

Kate Huber
Planning Director
City of Valdez | Planning Department
☎ 907.834.3401 | ✉ khuber@valdezak.gov

PUBLIC RECORDS LAW DISCLOSURE: This e-mail and responses to this email are subject to provisions of Alaska public records laws and may be made available to the public upon request.

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Tuesday, May 4, 2021 8:04 PM
To: Kate Huber <KHuber@ValdezAK.Gov>
Subject: [External Attachment *Caution*]-5975 Deep Lake Dr : Permit 20-000197

[EXTERNAL EMAIL - CAUTION: Possible Spam or Phishing Email. Do not open unexpected attachments or links. DO NOT reply and delete this message if in doubt.]

Hello Kate,

You may or may not know about this but I have an issue to clear up with your department regarding our building process out on Deep Lake.

Last Fall we were doing our two phase foundation pour along with a number of sonotubes. Our building site required the concrete to be pumped so we hired a pumper from ANC to come down for a couple of days.

In the heat of the moment, not wanting to waste concrete and money, I went ahead and poured my sonotubes prior to inspection. I admit I made a mistake and in hindsight I wish I would have made some better preparations.

The sonotube footings average 5' in height and all have 24" bigfeet bases and standard rebar reinforcement. These sonotubes are supporting an exterior deck and they will be back filled with approximately 4' below ground, 1' above.

I've attached photos of the inspection forms from Jay.

I'm not entirely sure how to proceed. I know I made a mistake and I know that it would have been better for Jay to inspect, but considering the fact that this is my personal project and not a customer's, I feel that I have considerable motive to reinforce my footings properly.

I have photos of the tubes prior to pour, if that helps. Please let me know how I can smooth this out...I apologize for causing a headache.

Thanks Kate,
Rhett Foster

<image001.jpg>

<image002.jpg>

<image003.jpg>

<image004.jpg>



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

1	1	1
YEAR	NUMBER	

INSPECTION CHECKLIST

PHONE 707-231-2133
DATE OF REQUEST 10/20/2020
TIME RECEIVED _____

NAME hett
STREET ADDRESS 915 Lake Dr
LOT 1 BLOCK 1 SUBDIVISION 1

<input type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> VAPOR BARRIER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

☐ NO NONCOMPLIANCE OBSERVED AT THIS TIME
☒ WILL RE-EXAMINE AT NEXT INSPECTION
☒ CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
☐ OBTAIN PERMIT PRIOR TO RESUMING WORK
☒ OK TO COVER stem walls only

CODE REF.

130pm STEM inspection
Fox Block Form Stem wall forms.
2 Course #4 or higher rebar horizontals
with corners bent and lapped.
All laps $\geq 24"$
Contractor to brace stem walls prior to
pour. All forms in place with proper
rebar.
* Sono tube footings - Several sono tubes poured
fully poured prior to inspection. - Several partially poured
Sono tubes prior to inspection with rebar visible
shall be Tubes # 1, 2, 3, 9, 10, 11, 12 & 13 all poured full
removed Tubes # 4, 5, 6, 7, & 8 partially filled.
and replaced. Visible rebar placement incorrect and needs to
be straightened with some needed to be added on
to with top ends within 3" of top of form.
Ok to pour stem walls only. Corrections required
on all sono tubes.

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

INSPECTOR

IN

OUT

DATE

(REV 07/06)



CITY OF VALDEZ

BUILDING DEPARTMENT

P.O. BOX 307, Valdez, Alaska 99686

PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER
20	000197

20-000197

INSPECTION CHECKLIST

NAME Rhett Foster PHONE 907-255-8133

STREET ADDRESS 5975 Deep Lake Drive DATE OF REQUEST 10/23

LOT 4 BLOCK 4 SUBDIVISION Robe Lake TIME RECEIVED _____

<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> VAPOR BARRIER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

- ☐ NO NONCOMPLIANCE OBSERVED AT THIS TIME
- ☐ WILL RE-EXAMINE AT NEXT INSPECTION
- ☐ CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
- ☐ DO NOT CONCEAL UNTIL REINSPECTED
- ☐ OBTAIN PERMIT PRIOR TO RESUMING WORK
- ☒ OK TO COVER part listed footings

CODE REF. 3:00 PM 10/23/2020

Sono tubes # 4, 5, 6, 7, & 9 Reinspection.

Above listed Sono tubes corrected - rebar extended to within 3" of top and evenly spaced.

Each with 3- #4 rebar with standard hook into big foot base.

OK to pour these Footings.

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

[Signature]
INSPECTOR

IN 10/23/2020 OUT



