

CITY OF VALDEZ - 7 BUILDING ROOFS

City of Valdez

Valdez, Alaska

ABBREVIATIONS

ADD ALT	ADDITIVE ALTERNATE
ACM	ASBESTOS CONTAINING MATERIALS
APPROX	APPROXIMATELY
AVG	AVERAGE
BLDG	BUILDING
BUR	BUILT UP ROOFING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
COM DEV	COMMUNITY DEVELOPMENT
COV	CITY OF VALDEZ
DIA	DIAMETER
DWG	DRAWING
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATION
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EPS	EXPANDED POLYSTYRENE INSULATION
EQ	EQUAL
ETR	ELECTRICAL THROUGH ROOF
EXIST	EXISTING
FA	FULLY ADHERED
FIB BD	FIBER BOARD
GA	GAUGE
GALV	GALVANIZED
GLB	GLUE LAMINATED BEAM
GWB	GYPNUM WALL BOARD
INFO	INFORMATION
INSUL	INSULATION
J-BOX	JUNCTION BOX
LF	LINEAL FEET
LG	LIGHT GUARD
MAX	MAXIMUM
MCBUR	MINERAL CAP BUILT UP ROOF
MECH	MECHANICAL
MFR	MANUFACTURER
MISC	MISCELLANEOUS
MIN	MINIMUM
MV	MEMBRANE VENT
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
NTS	NOT TO SCALE
OC	ON CENTERS
OD	OUTSIDE DIAMETER
OFS	OVERFLOW SCUPPER
ORD	OVERFLOW ROOF DRAIN
POLY	POLYETHYLENE
POLYISO	POLYISOCYANURATE INSULATION
PREFAB	PREFABRICATE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE PRESERVATIVE TREATED
PTR	PIPE THROUGH ROOF
RD	ROOF DRAIN
RL	RAIN LEADER
RM	ROOM
SAM	SELF ADHERING MEMBRANE
SBS	STYRENE-BUTADIENE-STYRENE
SD	STORM DRAIN
SEBS	STYRENE-ETHYLENE-BUTADIENE-STYRENE
SF	SQUARE FOOT, SQUARE FEET
SIM	SIMILAR
SM	SHEET METAL
SPF	SPRAYED POLYURETHANE FOAM
SS	STAINLESS STEEL
STP	SEWAGE TREATMENT PLANT
STRUC	STRUCTURAL
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
VR	VAPOR RETARDER
VTR	VENT THROUGH ROOF
W	WIDE
W/	WITH
XPS	EXTRUDED POLYSTYRENE BOARD

DEAD LOAD ANALYSIS

CITY HALL LOW SLOPE

REMOVED FROM ROOF

SINGLE PLY MEMBRANE	1.0 PSF
WOOD FIBER BOARD	0.7 PSF
9 1/2" EPS INSULATION	1.2 PSF
POLY SHEETING	0.1 PSF
1-PLY BUR VR	0.5 PSF

3.5 PSF

ADDED TO ROOF

MINERAL CAP BUR	3.1 PSF
1/2" GWB	2.0 PSF
9.6" AVG EPS	1.4 PSF
BUR VAPOR RETARDER	0.7 PSF
1/2" GWB	2.0 PSF

9.2 PSF

CITY HALL STEEP SLOPE

REMOVED FROM ROOF

METAL ROOF PANELS	1.3 PSF
15# FELT (VIF)	0.3 PSF

1.6 PSF

ADDED TO ROOF

METAL ROOF PANELS	1.3 PSF
SAM	0.3 PSF
5/8" GWB	2.6 PSF

4.2 PSF

SCHOOL DISTRICT OFFICES

REMOVED FROM ROOF

1/2" BUR MEMBRANE	2.9 PSF
1 3/8" POLYISO INSULATION	0.3 PSF
3/4" PERLITE	0.6 PSF
KRAFT PAPER	0.2 PSF
3/4" PERLITE	0.6 PSF
1 3/8" POLYISO INSULATION	0.3 PSF
FELT VAPOR RETARDER	0.3 PSF

5.2 PSF

ADDED TO ROOF

MINERAL CAP BUR	3.1 PSF
1/2" GWB	2.0 PSF
8" EPS	0.9 PSF
BUR VAPOR RETARDER	0.7 PSF

6.7 PSF

TEEN CENTER

REMOVED FROM ROOF

SINGLE PLY MEMBRANE	1.0 PSF
POLY SHEETING	0.1 PSF
1/2" WOOD FIBER BOARD	0.7 PSF
9 1/4" EPS INSULATION	1.2 PSF
1-PLY BUR VR	0.5 PSF

3.5 PSF

ADDED TO ROOF

MINERAL CAP BUR	3.1 PSF
1/2" GWB	2.0 PSF
9.6" AVG EPS	1.4 PSF
BUR VAPOR RETARDER	0.7 PSF

7.2 PSF

HARBORMASTER

REMOVED FROM ROOF (ROOF 1 ?)

APP MEMBRANE	2.0 PSF
3/4" PLYWOOD (ROOF 1)	2.3 PSF
2x FURRING (ROOF 1)	0.7 PSF
BUR MEMBRANE	2.9 PSF

7.9 PSF

ADDED TO ROOF

MINERAL CAP BUR	3.1 PSF
1/2" GWB	2.0 PSF
6" AVG EPS	0.5 PSF

5.6 PSF

SEWAGE TREATMENT PLANT

REMOVED FROM ROOF

APP MEMBRANE	2.5 PSF
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2.5 PSF

ADDED TO ROOF

MINERAL CAP BUR	3.1 PSF
1/2" GWB	2.0 PSF
3" AVG EPS	0.4 PSF

5.5 PSF

FIRE STATION / COM DEV

REPLACE (E) METAL PANELS WITH NEW METAL PANELS- NO CHANGE TO ROOF LOADS

NOTE: ALL BUILDINGS WERE DESIGNED FOR A MINIMUM 90 PSF ROOF LIVE LOAD. SOME ARE MORE.

ACCESS & STAGING NOTES

- MAINTAIN ALL SITE ACCESS AND BUILDING OCCUPANT AND VEHICLE ENTRIES FREE FROM OBSTRUCTIONS AT ALL TIMES.
- STAGING AREAS, BUILDING ACCESS AND CONSTRUCTION ACTIVITIES TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR TO BE RESPONSIBLE FOR TEMPORARY FENCING AND MATERIAL STORED ON SITE.

ENVIRONMENTAL

- CITY HALL - THE BUR VAPOR RETARDER TESTED NEGATIVE FOR ACM.
- SCHOOL DISTRICT OFFICES - THE BUR MEMBRANE TESTED NEGATIVE FOR ACM.
- TEEN CENTER - THE BUR VAPOR RETARDER TESTED NEGATIVE FOR ACM.
- HARBORMASTER - THE BUR MEMBRANE TESTED POSITIVE FOR ACM.
- SEWAGE TREATMENT PLANT - THE BUR MEMBRANE TESTED NEGATIVE FOR ACM.
- CONTRACTOR TO REMOVE AND DISPOSE OF ACM PER CURRENT AND APPLICABLE (AT THE TIME OF THE ACTUAL WORK) OSHA, EPA, AND LOCAL REGULATIONS.
- SEE SPECIFICATIONS FOR ACM TEST RESULTS

COLOR SCHEDULE

CITY HALL

- MCBUR - WHITE
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- PENTHOUSE METAL SIDING AND ROOF - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- LADDER- PAINT COLOR TO BE SELECTED BY ARCHITECT

SCHOOL DISTRICT OFFICES

- MCBUR - WHITE
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS

TEEN CENTER

- MCBUR - WHITE
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS

HARBORMASTER

- MCBUR - WHITE
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- LADDER - PAINT TO MATCH EXISTING PAINTED SIDING

SEWAGE TREATMENT PLANT

- MCBUR - WHITE
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS

FIRE STATION / COM DEV

- METAL ROOF PANELS - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS
- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
- METAL TRIM - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS

SENIOR CENTER CANOPY

- METAL COPING / FASCIA - COLOR TO BE CHOSEN BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS
- WOOD- STAIN COLOR TO BE CHOSEN BY ARCHITECT

DESIGN/CODE DATA

- THIS DESIGN/CODE DATA REFERS TO ROOFING WORK ONLY
- 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2012 UNIFORM PLUMBING CODE (UPC)
- COMPLY WITH APPLICABLE CITY OF VALDEZ AMENDMENTS
- WIND DESIGN SPEED = 110 MPH PER 2009 IBC (EXPOSURE C)
- CLASS "A" ROOF COVERINGS
- AVERAGE ROOF INSULATION = R40 (ESTABLISHED PER DETAILS)

ADDITIVE ALTERNATES

- COM DEV: SEE SHEETS A7.1, A7.2, & A7.3
- SENIOR CENTER: SEE SHEETS A8.1, A8.2 & S1

GENERAL NOTES

- THE "NATIONAL ROOFING CONTRACTOR'S ASSOCIATION (NRCA) ROOFING MANUAL" IS USED AS THE BASIS FOR THIS DESIGN AND IS TO BE USED BY THE CONTRACTOR AS A BASIS FOR CONSTRUCTION, UNLESS OTHERWISE NOTED.
- ROOF INVESTIGATIVE INFORMATION IS SHOWN ON EXISTING DETAILS.
- EXISTING CONDITIONS ARE SHOWN AS ACCURATELY AS POSSIBLE. SITE VERIFY ALL INFORMATION NOTED IN THESE CONTRACT DOCUMENTS.
- ALL DETAILS ARE TO BE CONSIDERED TYPICAL. SIMILAR DETAILS OCCUR AT SIMILAR LOCATIONS.
- IF DECAYED WOOD OR STEEL IS FOUND, INFORM THE OWNER'S REPRESENTATIVE.
- NO SILICONE SEALANT IS TO BE USED. USE APPROVED POLYURETHANE SEALANT.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES, ELECTRICAL EQUIPMENT AND WIRING BEFORE PROCEEDING WITH ANY WORK.
- ALL ROOFING AND BUILDING MATERIALS ARE TO BE KEPT DRY.
- CONTRACTOR TO WORK ON ONLY THE PORTION OF THE ROOFING THAT CAN BE WATERPROOFED THAT DAY. IN THE EVENT OF A LEAK DURING CONSTRUCTION, THE CONTRACTOR IS SOLELY RESPONSIBLE TO PROVIDE ALL LABOR TO MOVE FURNITURE, INTERIOR ITEMS, ETC, TO CLEAN AND REMOVE WATER.
- CLEANING DURING CONSTRUCTION: CONTROL ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE OF WASTE IMMEDIATELY. KEEP AREAS FREE OF HAZARDS AND RUBBISH. IF ENTERING THE BUILDING THE CONTRACTOR WILL BE REQUIRED TO USE RUNNERS TO PROTECT INTERIOR FLOOR FINISHES. DAILY CLEANUP OF THE BUILDINGS IS REQUIRED. NO ASPHALT IS TO BE TRACKED INTO THE BUILDING.
- BUILDINGS ARE TO BE OCCUPIED DURING REROOF WORK. COORDINATE ALL WORK SO AS TO NOT INTERRUPT OCCUPANCY REQUIREMENTS.
- CONTRACTOR TO COORDINATE WITH THE OWNER'S REPRESENTATIVE AS TO LOCATION OF ASPHALT KETTLES TO MINIMIZE FUMES ON BUILDING OCCUPANTS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE SITE AND BUILDING FROM PROJECT RELATED DAMAGE.
- PROTECT EXISTING BUILDING WALLS FROM ACCIDENTAL DISCHARGE OR LEAKING FROM HOT ASPHALT DELIVERY PIPING SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING INTERIOR FINISHES AND FURNITURE FROM DUST, WATER, FALLING DEBRIS, ETC.
- TAKE SPECIAL CARE TO SECURE ALL CONSTRUCTION AND DEMOLITION MATERIALS FROM WIND DISPLACEMENT.
- COORDINATE WITH OWNER'S REPRESENTATIVE TO ACCOMMODATE ANY SPECIAL REASONABLE NEEDS.
- NO NOISE PRODUCING WORK BEFORE 7 AM OR AFTER 10 PM.
- TENTING: IN ORDER TO MEET SCHEDULES IN VALDEZ, TENTING IS REQUIRED. PROVIDE TENTS THAT KEEP THE ROOF AREA DRY & RESIST WINDS TO 60 MPH. IF STRONGER WINDS ARE PREDICTED, TEMPORARILY REMOVE TENTING. PROVIDE VENTILATION OF TENTED AREA WHEN UTILIZING HOT ASPHALT.

SUMMARY OF WORK

- CITY HALL - REPLACE LOW SLOPE ROOF SYSTEM. REMOVE AND REPLACE SLOPED METAL ROOF PANELS.
- SCHOOL DISTRICT OFFICES - REPLACE LOW SLOPE ROOF SYSTEM.
- TEEN CENTER - REPLACE LOW SLOPE ROOF SYSTEM.
- HARBORMASTER - REPLACE LOW SLOPE ROOF SYSTEM.
- SEWAGE TREATMENT PLANT - REPLACE LOW ROOF SYSTEM.
- FIRE STATION / COM DEV - REPLACE METAL ROOF PANELS.
- SENIOR CENTER CANOPY - NEW CONSTRUCTION

SPECIAL CONDITIONS

- CONTRACTOR MAY UTILIZE POWER AND WATER AT THE SITE AT NO COST.
- CONTRACTOR TO PROVIDE PORTABLE TOILETS.
- COORDINATE ANY BUILDING EQUIPMENT SHUTDOWNS WITH THE OWNER'S REPRESENTATIVE.
- FULL SIZE DRAWING SHEETS TO BE UTILIZED ON SITE (22x34).

SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER WHERE DETAIL IS LOCATED
	CONTINUOUS LUMBER
	DISCONTINUOUS LUMBER
	RIGID INSULATION
	BATT INSULATION
	PLYWOOD
	GYPNUM WALL BOARD
	ROOF INSULATION COVER BOARD
	EXISTING ROOF DRAIN
	NEW ROOF DRAIN
	EXISTING SCUPPER
	NEW SCUPPER
	HOT STACK
	HOT STACK W/ CURB
	ROUND SHEET METAL VENT STACK
	MECHANICAL VENT ON CURB
	PLUMBING VENT THROUGH ROOF
	PIPE THROUGH ROOF
	ROOF SLOPE DIRECTION
	ROOF CUT / CORE SAMPLE LOCATION
	TAPERED EPS DRAINAGE CRICKET
	ROOF ACCESS LADDER
	INDICATES ROOF AREA NUMBER
	APPROXIMATE ROOF ELEVATION
	APPROXIMATE ELEVATION AT THIS LOCATION
	ROOF DECK HEIGHT CHANGE DUE TO SLOPE

SHEET INDEX

- A1.1 TITLE AND INFORMATION SHEET
A1.2 SITE PLANS

- A2.1 CITY HALL EXISTING ROOF PLAN
A2.2 CITY HALL NEW ROOF PLAN
A2.3 CITY HALL LOWER ROOF PLAN
A2.4 CITY HALL ROOF DETAILS
A2.5 CITY HALL ROOF DETAILS
A2.6 CITY HALL ROOF DETAILS
A2.7 CITY HALL ROOF DETAILS
A2.8 CITY HALL ROOF DETAILS

- A3.1 SCHOOL DISTRICT OFFICES ROOF PLANS
A3.2 SCHOOL DISTRICT OFFICES ROOF DETAILS

- A4.1 TEEN CENTER ROOF PLANS
A4.2 TEEN CENTER ROOF DETAILS

- A5.1 HARBORMASTER ROOF PLANS
A5.2 HARBORMASTER ROOF DETAILS
A5.3 HARBORMASTER ROOF DETAILS
A5.4 HARBORMASTER ELEVATIONS & DETAILS

- A6.1 SEWAGE TREATMENT PLANT PLANS & DETAILS
A7.1 FIRE STATION / COM DEV EXIST ROOF PLAN
A7.2 FIRE STATION / COM DEV NEW ROOF PLAN
A7.3 FIRE STATION / COM DEV ROOF DETAILS
A7.4 FIRE STATION / COM DEV ROOF DETAILS
A7.5 FIRE STATION / COM DEV ROOF DETAILS

- A8.1 SENIOR CENTER CANOPY PLANS - ADD ALT #2
A8.2 SENIOR CENTER CANOPY DETAILS - ADD ALT #2
S1 SENIOR CENTER CANOPY STRUCTURAL - ADD ALT #2



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VALDEZ, ALASKA
CITY OF VALDEZ
7 BUILDING ROOFS

BDS PROJECT NOs: 017002.000
017003.000
017008.000

PHASE
BID DOCUMENTS
DATE
April 6, 2018
DRAWING TITLE
TITLE AND
INFORMATION
SHEET

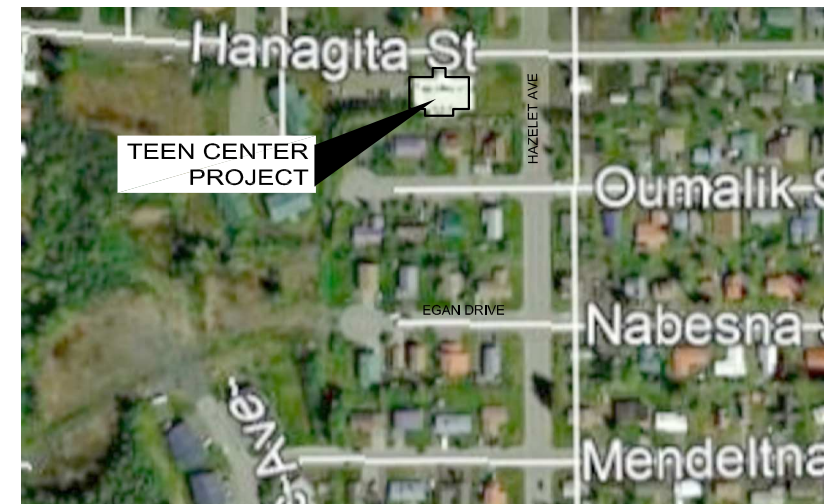
A1.1



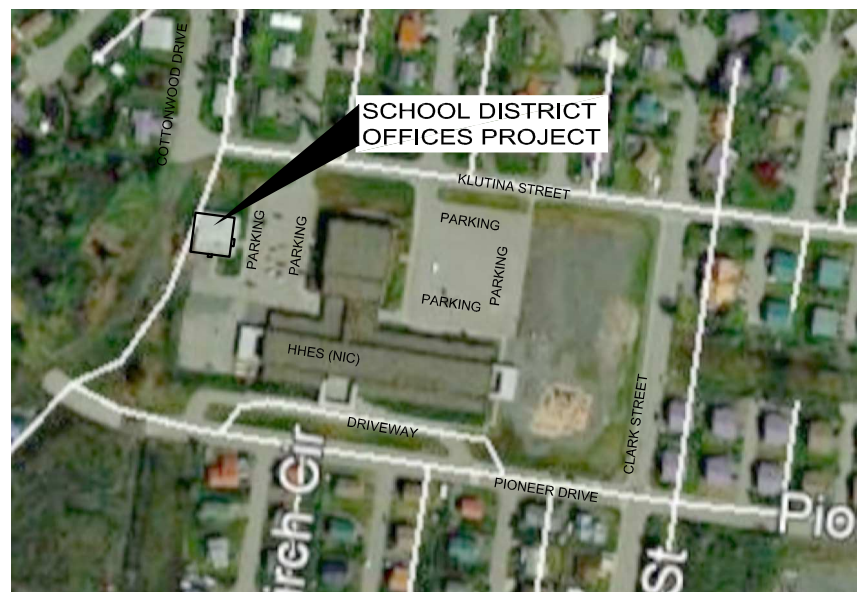

5 VALDEZ VICINITY MAP
 A1.2 NTS




5 SEWAGE TREATMENT PLANT SITE PLAN
 A1.2 SCALE 1" = 200'




4 TEEN CENTER SITE PLAN
 A1.2 SCALE 1" = 200'



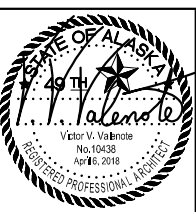

3 SCHOOL DISTRICT OFFICES SITE PLAN
 A1.2 SCALE 1" = 200'




2 HARBORMASTER SITE PLAN
 A1.2 SCALE 1" = 200'




1 CITY HALL / FIRE STATION / COM DEV SITE PLAN
 A1.2 SCALE 1" = 200'



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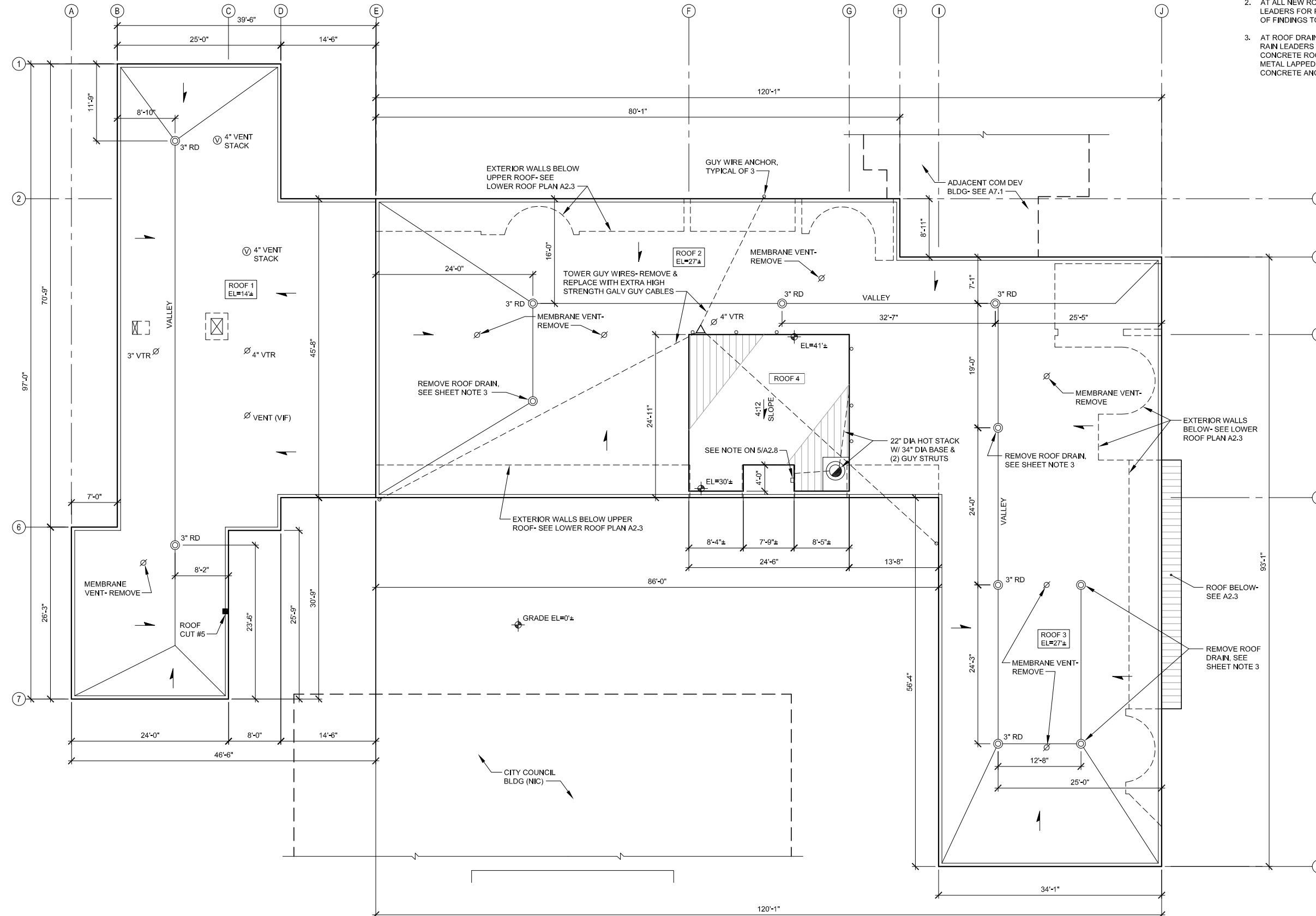
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 CITY OF VALDEZ
 7 BUILDING ROOFS

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 017003.000
 017008.000

PHASE
 BID DOCUMENTS
 DATE
 April 6, 2018
 DRAWING TITLE
 SITE PLANS

1. ROOF ELEVATIONS SHOWN ARE APPROXIMATE. DATUM FOR ROOF ELEVATIONS IS 0' AT GRADE.
2. AT ALL NEW ROOF DRAIN LOCATIONS, WATER-TEST RAIN LEADERS FOR PROPER DRAINAGE FLOW. PROVIDE REPORT OF FINDINGS TO OWNER'S REPRESENTATIVE.
3. AT ROOF DRAIN LOCATIONS TO BE REMOVED, CAP AND SEAL RAIN LEADERS BELOW ROOF DECK. COVER HOLE IN CONCRETE ROOF DECK WITH 20-GAUGE GALVANIZED SHEET METAL LAPPED 6-INCHES BEYOND EDGES OF HOLE, WITH CONCRETE ANCHORS 6-INCHES OC (TYPICAL OF 4).



1
A2.1

SCALE 1/8" = 1'-0"



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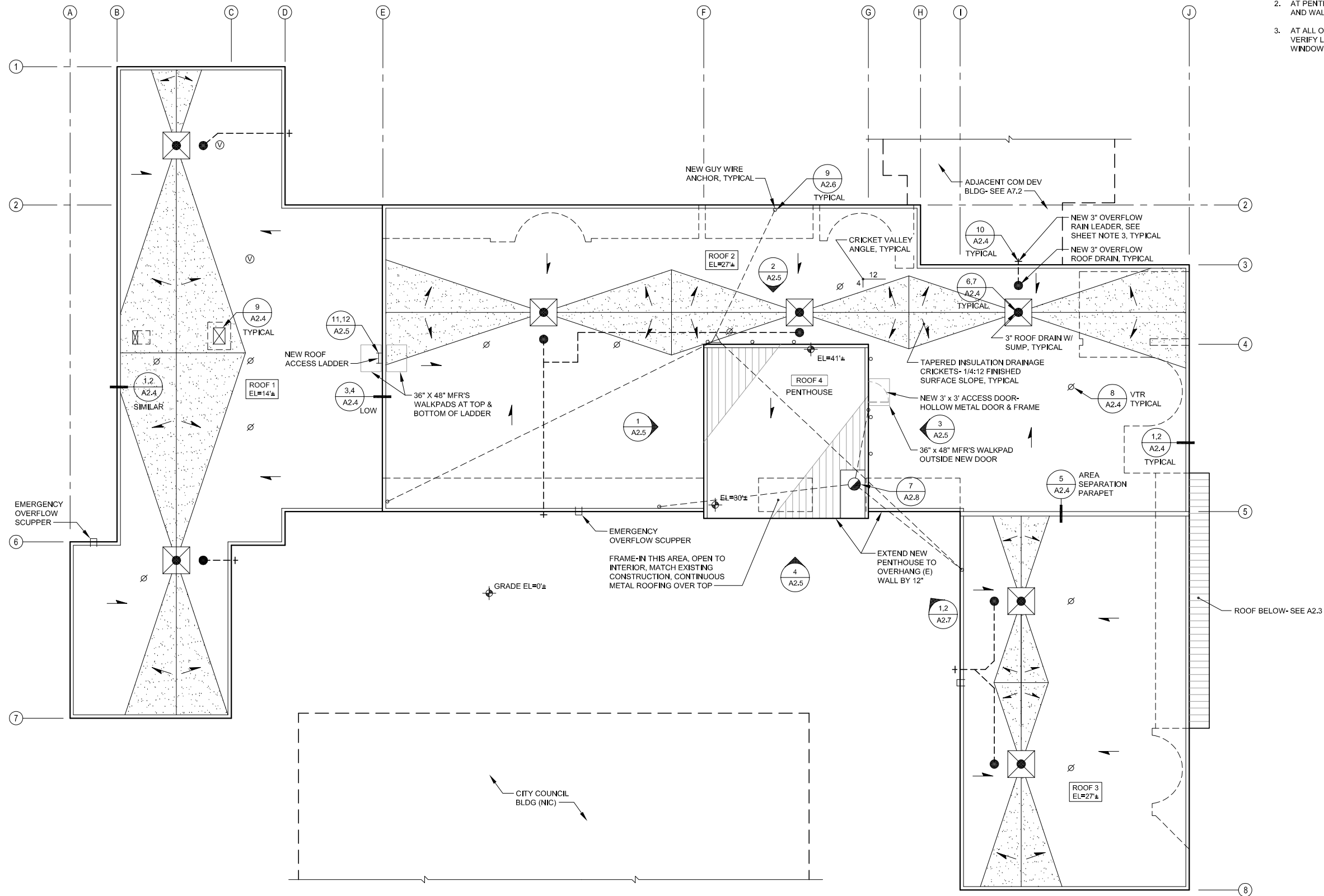
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DRAWING TITLE
CITY HALL
EXISTING
ROOF PLAN

A2.1

SHEET NOTES:

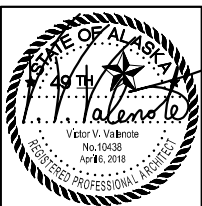
1. ROOF ELEVATIONS SHOWN ARE APPROXIMATE. DATUM FOR ROOF ELEVATIONS IS 0' AT GRADE.
2. AT PENTHOUSE WALLS: REMOVE AND REPLACE METAL ROOF AND WALL PANELS.
3. AT ALL OVERFLOW RAIN LEADER DRAIN NOZZLES FIELD VERIFY LOCATIONS TO AVOID CONFLICTS WITH DOORS, WINDOWS, MECHANICAL EQUIPMENT, ETC., TYPICAL OF 6.



1
A2.2

NEW ROOF PLAN

SCALE 1/8" = 1'-0"



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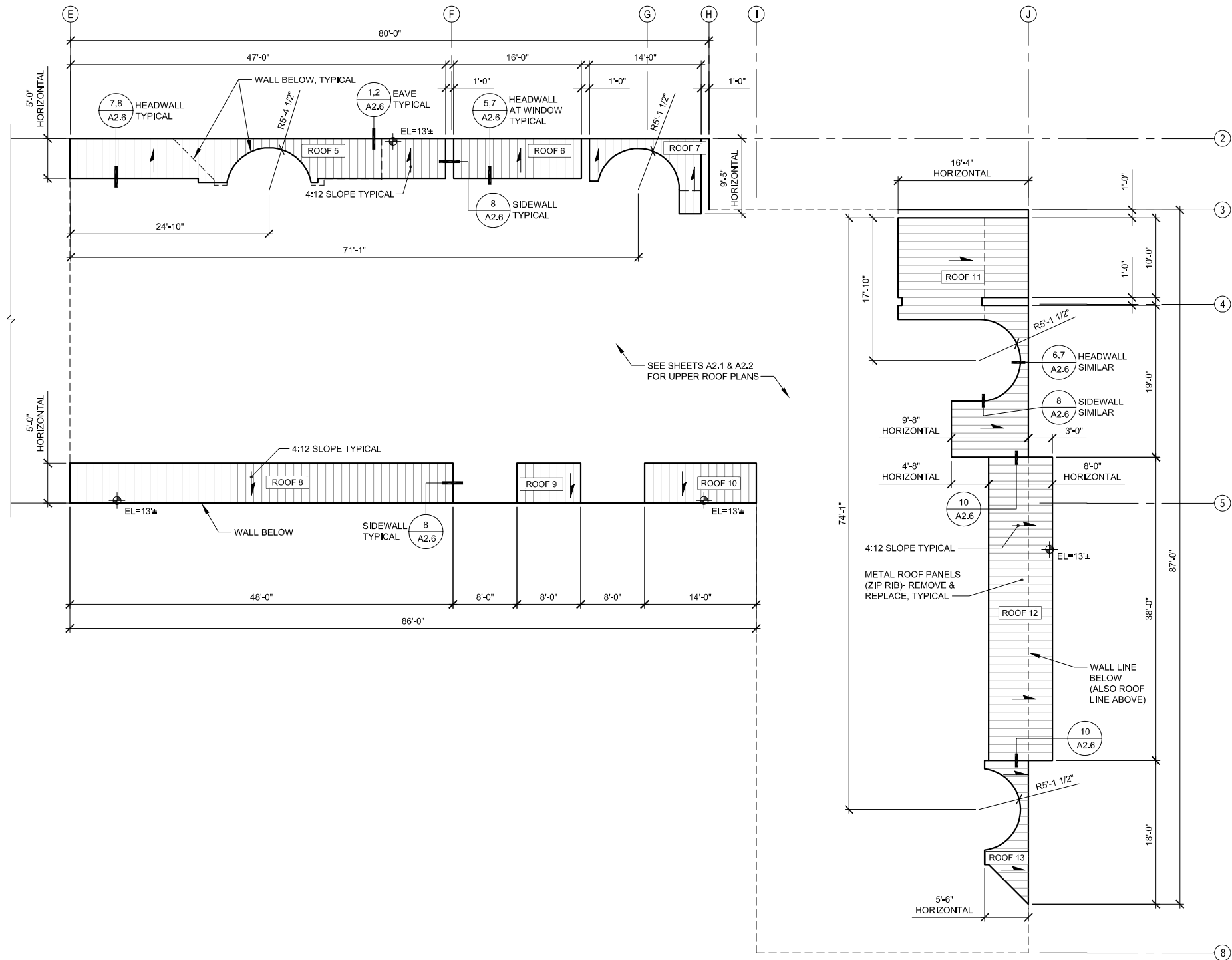
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CITY HALL
NEW ROOF PLAN

A2.2

SHEET NOTES:
1. ROOF ELEVATIONS SHOWN ARE APPROXIMATE. DATUM FOR ROOF ELEVATIONS IS 0' AT GRADE.

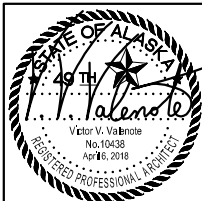


1
A2.3

LOWER FLOOR ROOF PLAN

SCALE 1/8" = 1'-0"

(EXISTING & NEW)



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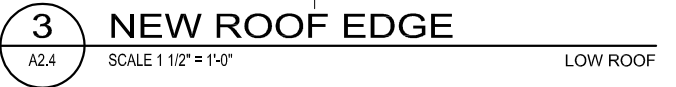
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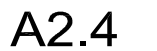
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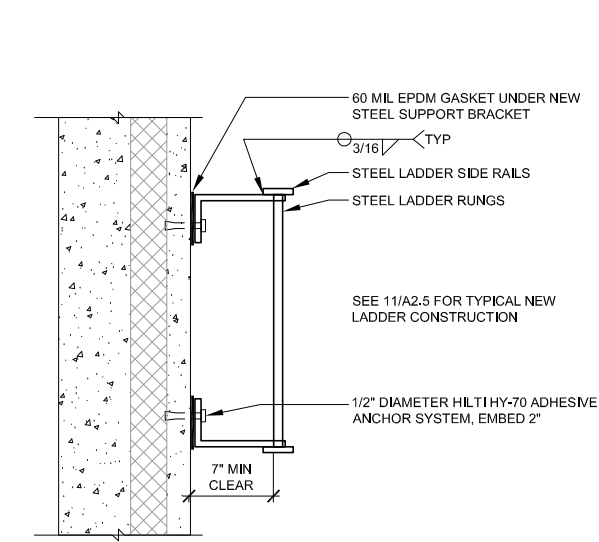
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DRAWING TITLE
CITY HALL
LOWER FLOOR
ROOF PLAN

A2.3



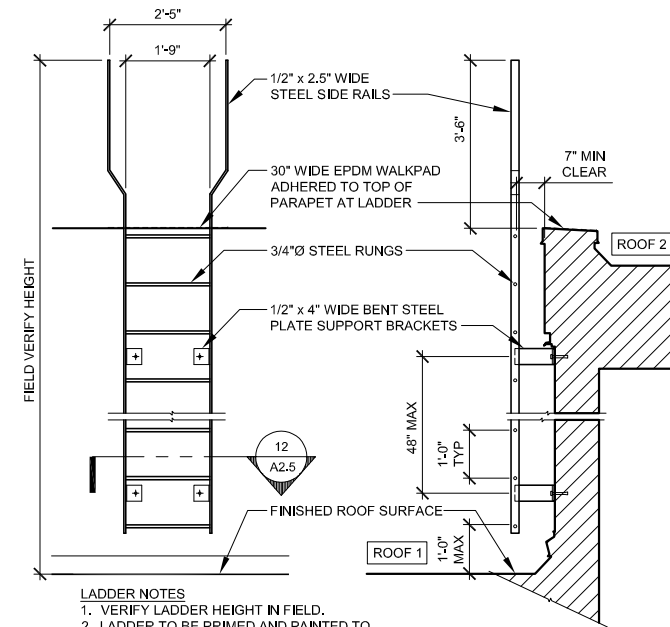
11 ROOF SECTION CHART





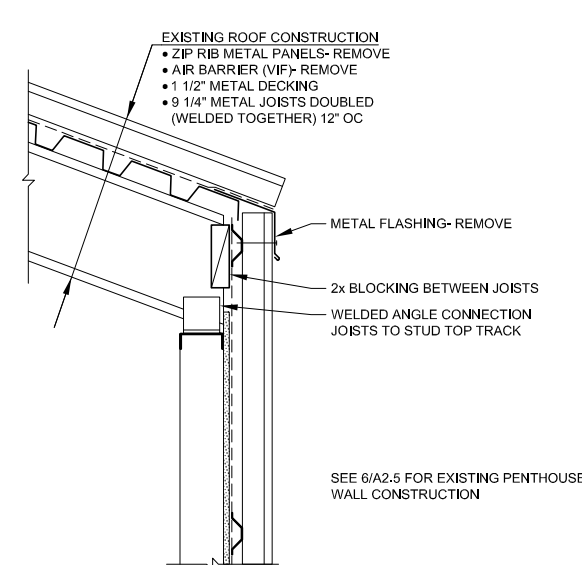
12 LADDER PLAN DETAIL

A2.5 1 1/2" = 1'-0"



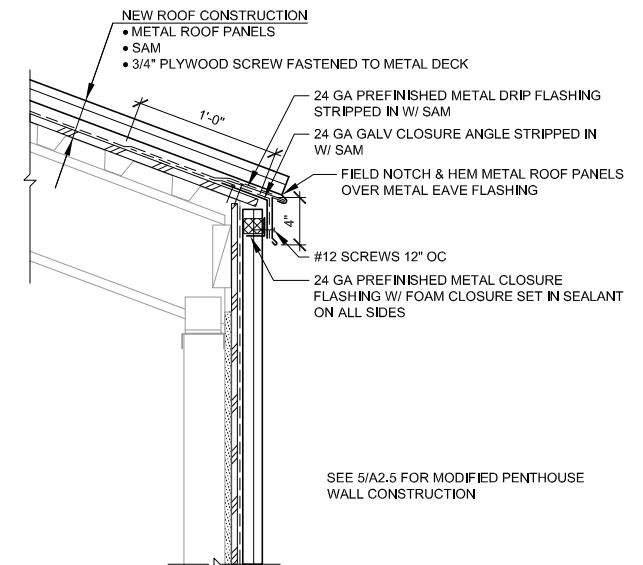
11 NEW LADDER DETAIL

A2.5 1/2" = 1'-0"



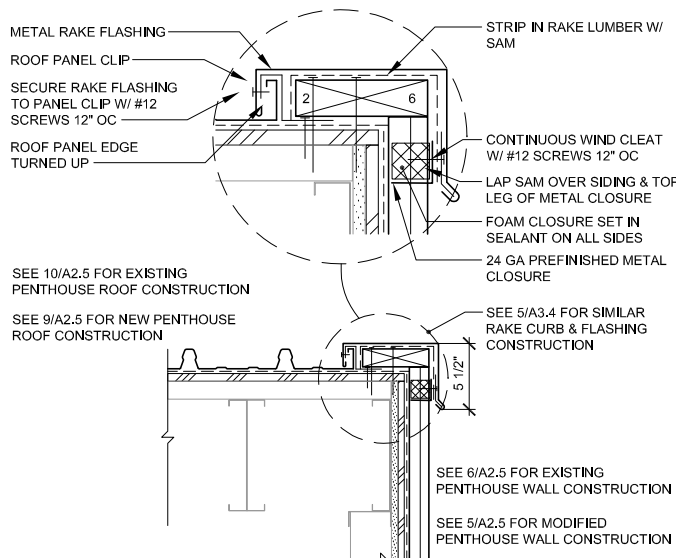
10 EXIST PENTHOUSE EAVE

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



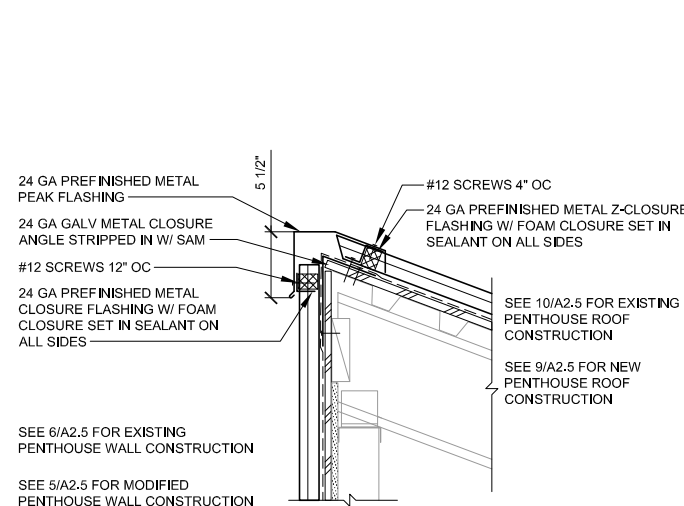
9 NEW PENTHOUSE EAVE

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



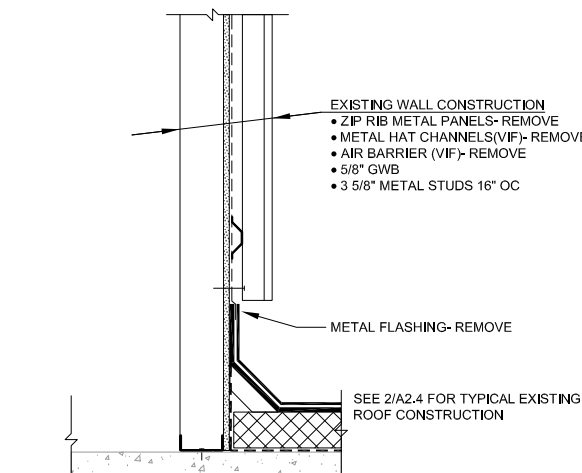
8 NEW PENTHOUSE RAKE

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



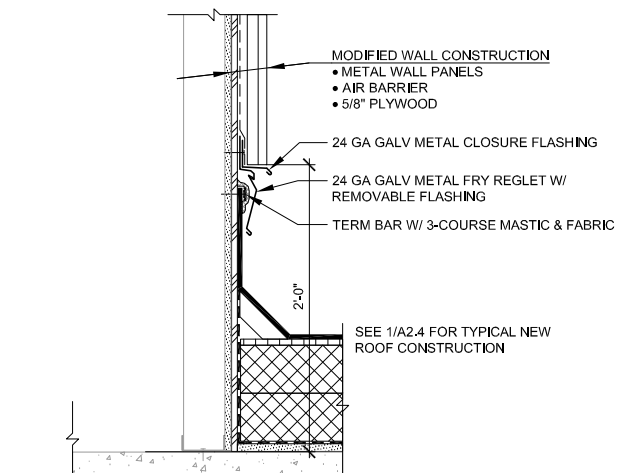
7 NEW PENTHOUSE PEAK

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



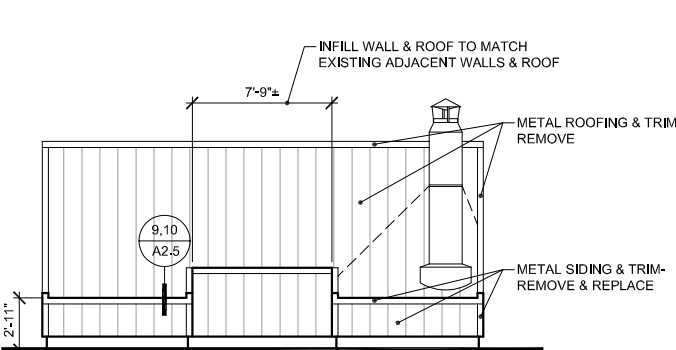
6 EXIST PENTHOUSE SIDEWALL

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



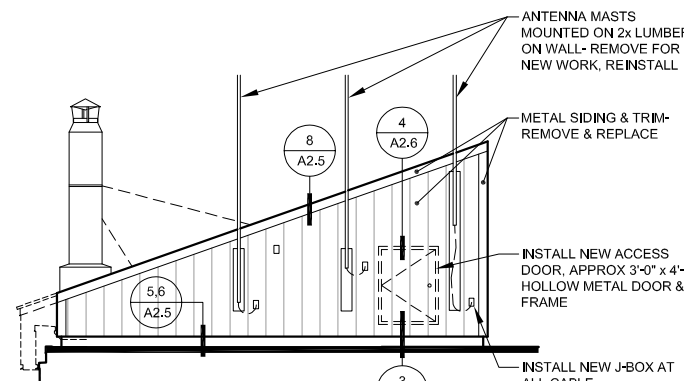
5 NEW PENTHOUSE SIDEWALL

A2.5 SCALE 1 1/2" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



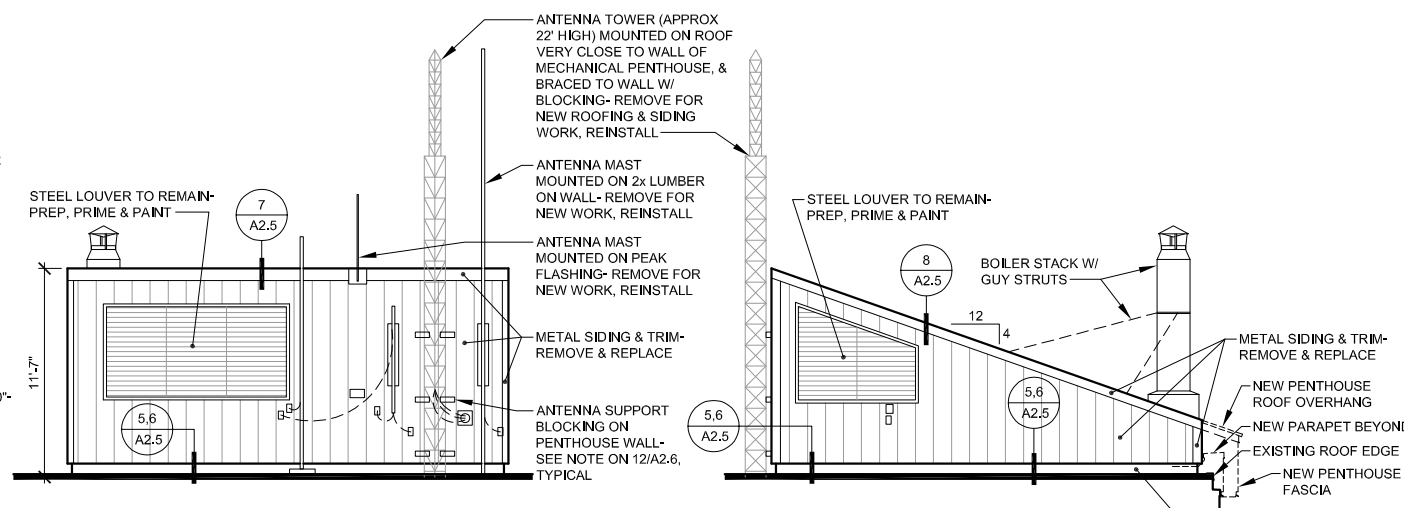
4 SOUTH ELEVATION- (E) UON

A2.5 SCALE 3/16" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



3 EAST ELEVATION- (E) UON

A2.5 SCALE 3/16" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE

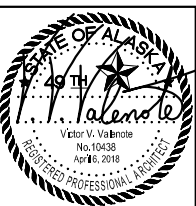


2 NORTH ELEVATION- (E) UON

A2.5 SCALE 3/16" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE

1 WEST ELEVATION- (E) UON

A2.5 SCALE 3/16" = 1'-0" ROOF 4- MECHANICAL PENTHOUSE



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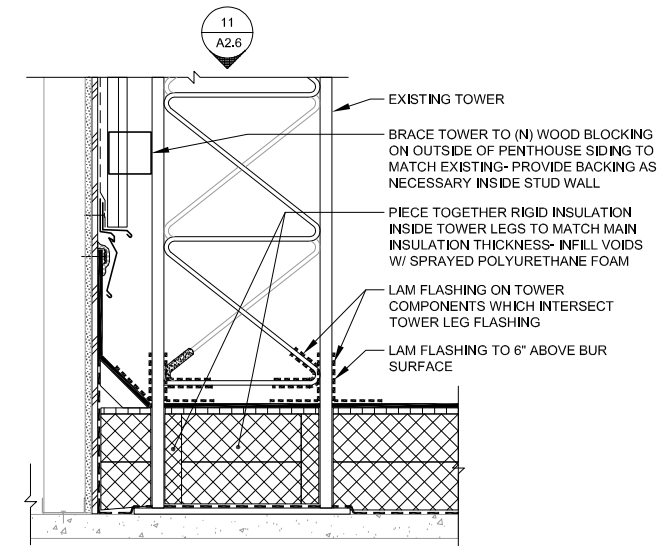
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VALDEZ, ALASKA
CITY OF VALDEZ
7 BUILDING ROOFS

BDS PROJECT NOS.: 017002.000
017003.000
017008.000

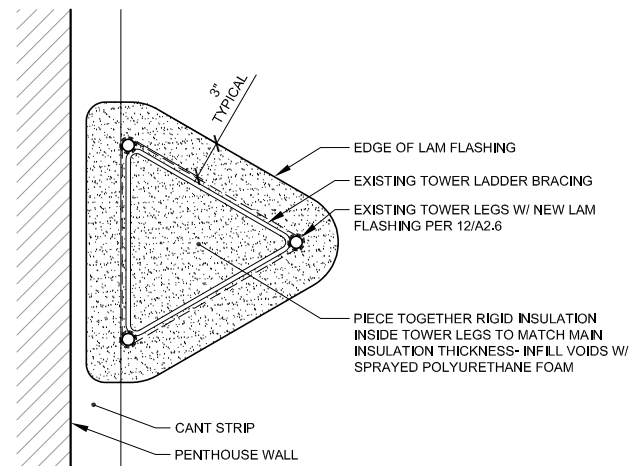
PHASE
BID DOCUMENTS
DATE
April 6, 2018
DRAWING TITLE
CITY HALL
ROOF DETAILS

A2.5



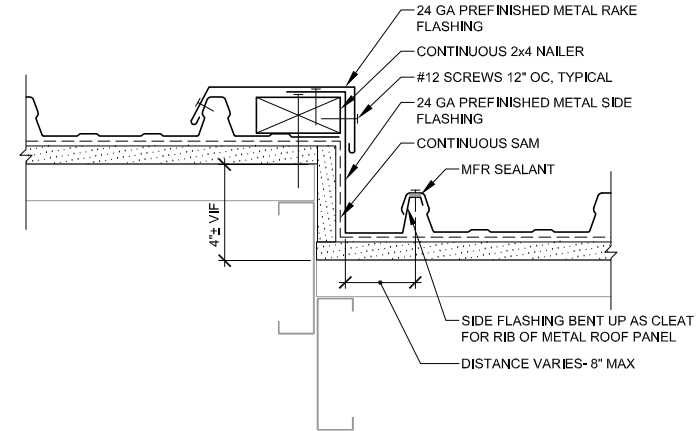
12 TOWER BASE DETAIL

A2.6 SCALE 1 1/2" = 1'-0"



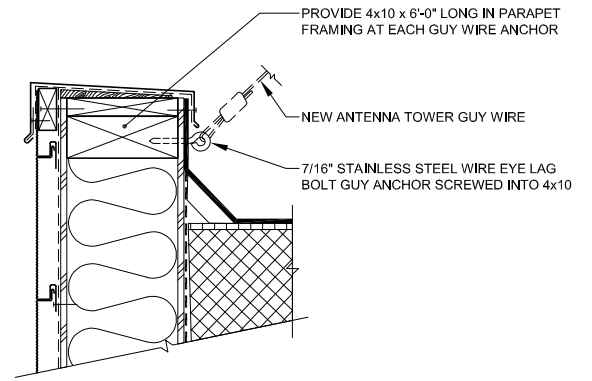
11 TOWER BASE- PLAN VIEW

A2.6 SCALE 1 1/2" = 1'-0"



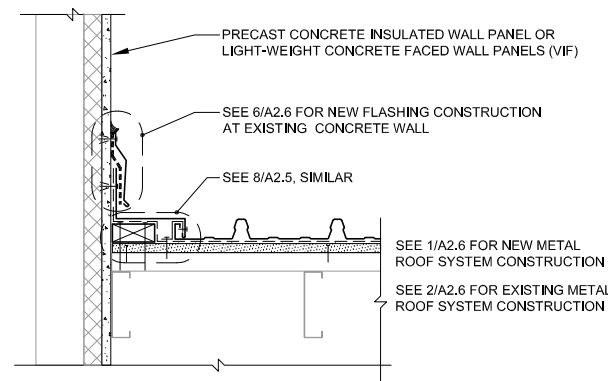
10 METAL ROOF TRANSITION

A2.6 SCALE 3" = 1'-0"



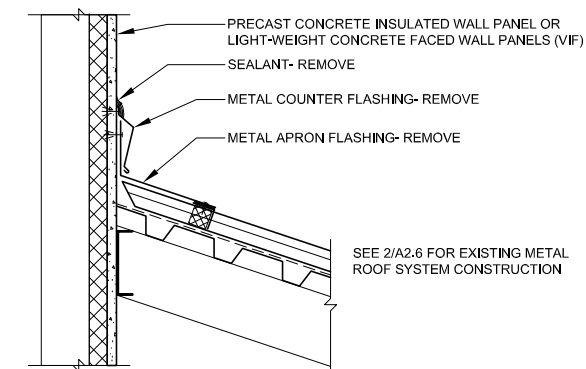
9 NEW GUY ANCHOR

A2.6 SCALE 1 1/2" = 1'-0"



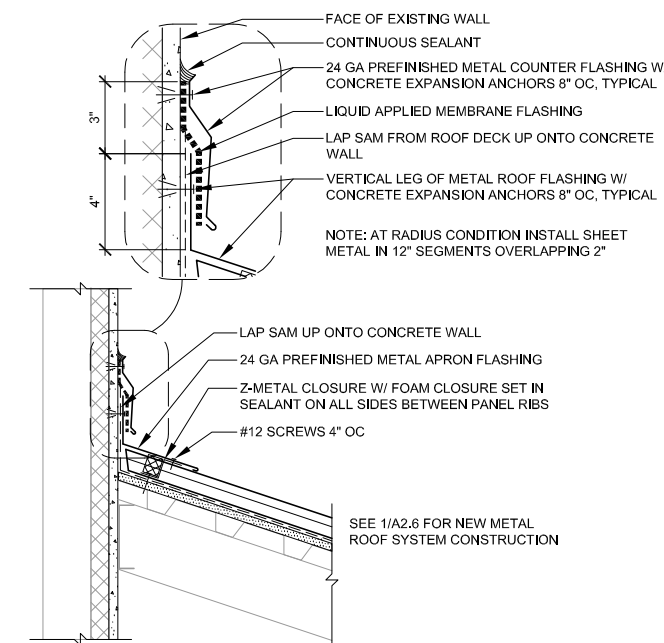
8 NEW SIDEWALL

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



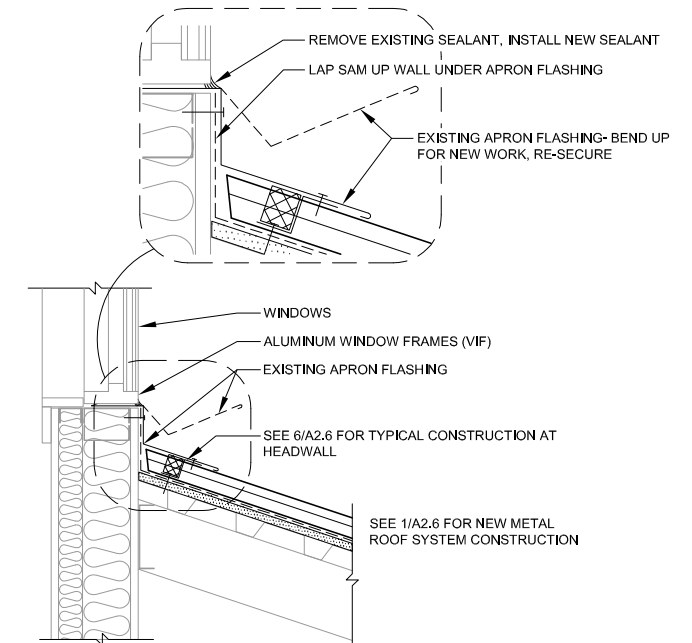
7 EXISTING HEADWALL

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



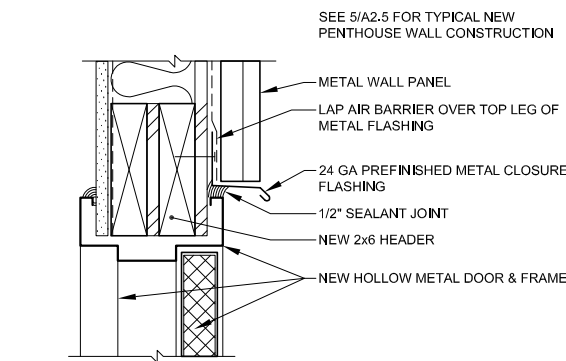
6 NEW HEADWALL

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



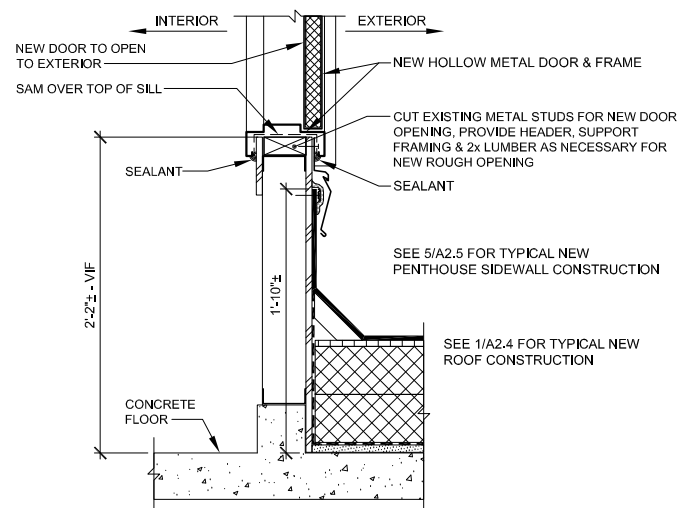
5 NEW HEADWALL @ WINDOW

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



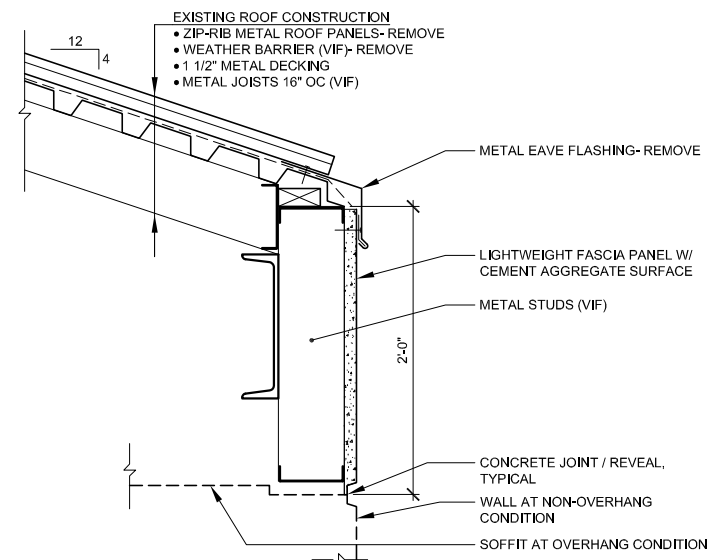
4 NEW DOOR HEAD-JAMB SIMILAR

A2.6 3" = 1'-0" PENTHOUSE



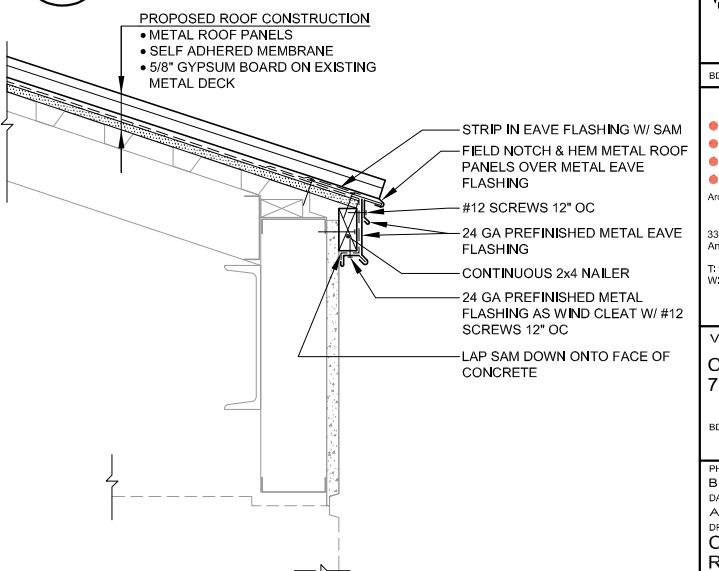
3 NEW DOOR SILL

A2.6 1 1/2" = 1'-0" PENTHOUSE



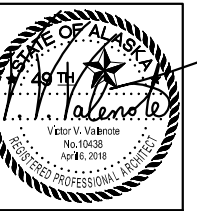
2 EXISTING ROOF EDGE

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



1 NEW ROOF EDGE

A2.6 SCALE 1 1/2" = 1'-0" STEEP SLOPE METAL ROOFS



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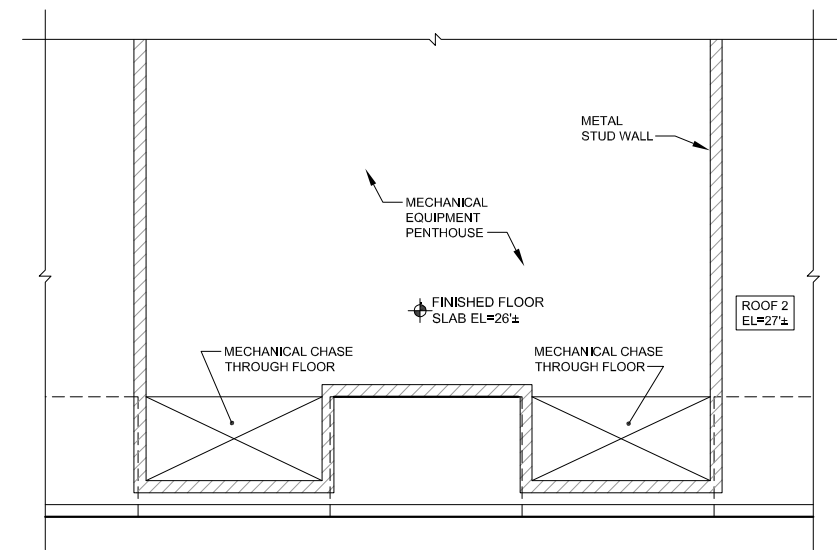
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CITY OF VALDEZ
7 BUILDING ROOFS

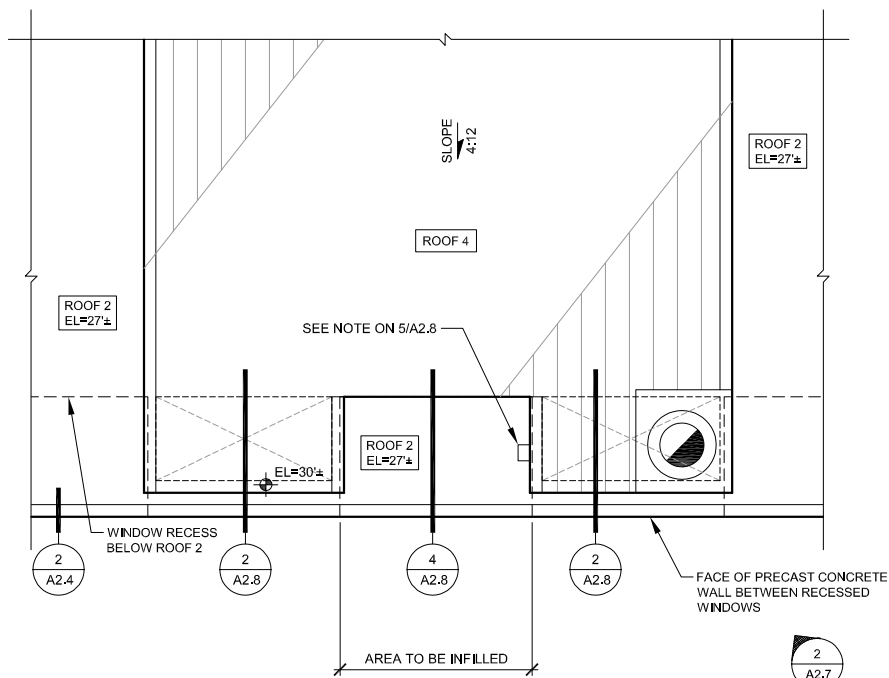
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ROOF DETAILS

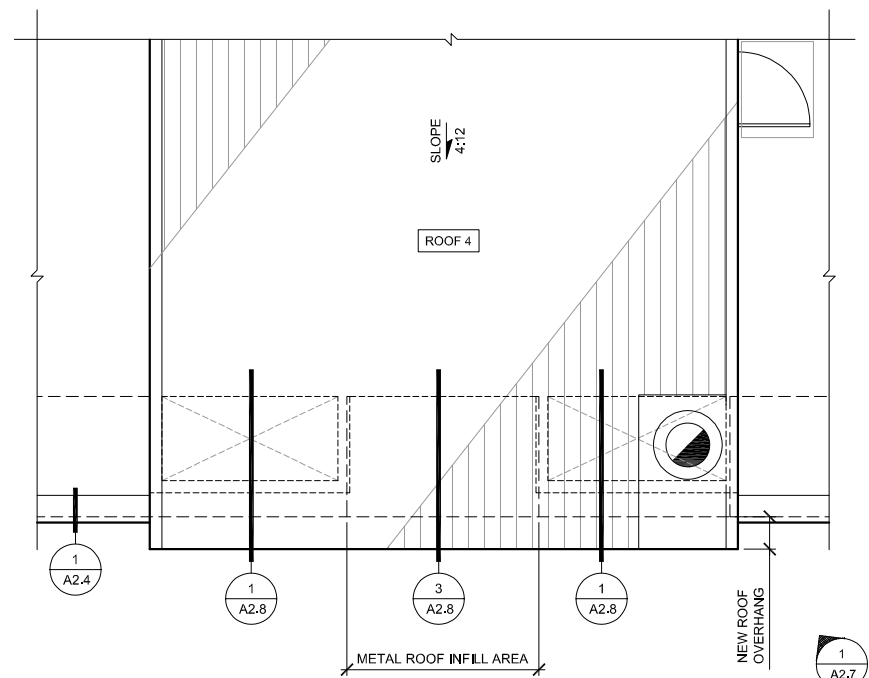
A2.6



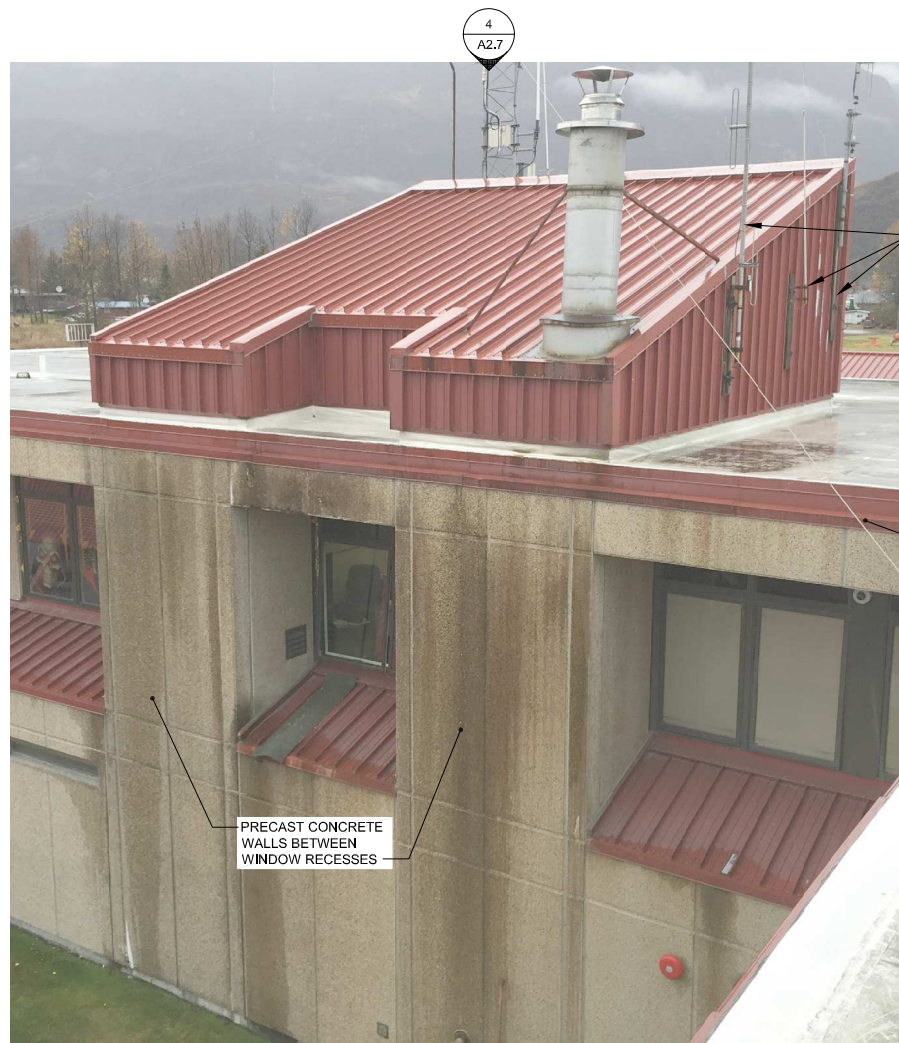
5
MECHANICAL PENTHOUSE
PARTIAL FLOOR PLAN
A2.7
1/4" = 1'-0"



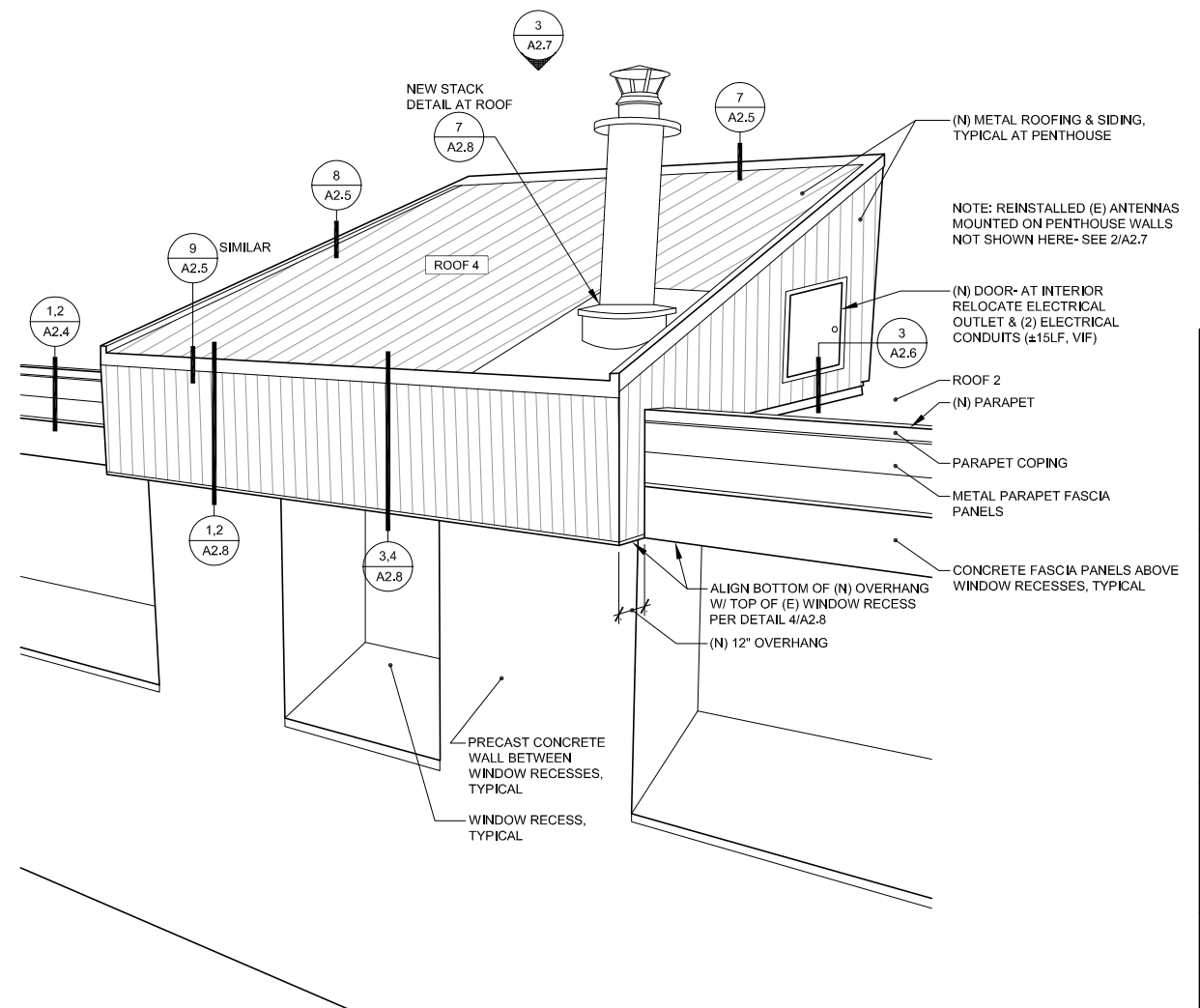
4
MECHANICAL PENTHOUSE
EXISTING PARTIAL ROOF PLAN
A2.7
1/4" = 1'-0"



3
MECHANICAL PENTHOUSE
NEW PARTIAL ROOF PLAN
A2.7
1/4" = 1'-0"



2
EXISTING PENTHOUSE
A2.7
NTS



1
NEW PENTHOUSE
A2.7
NTS



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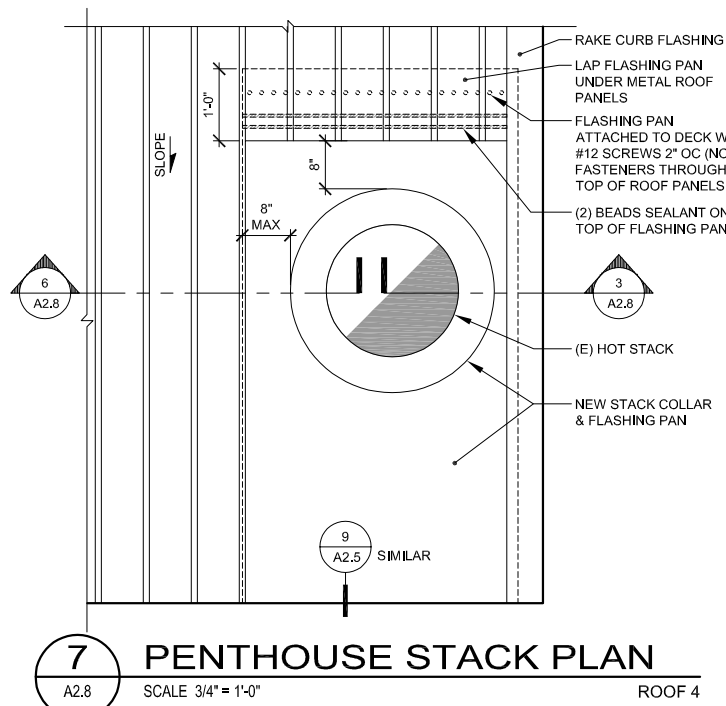
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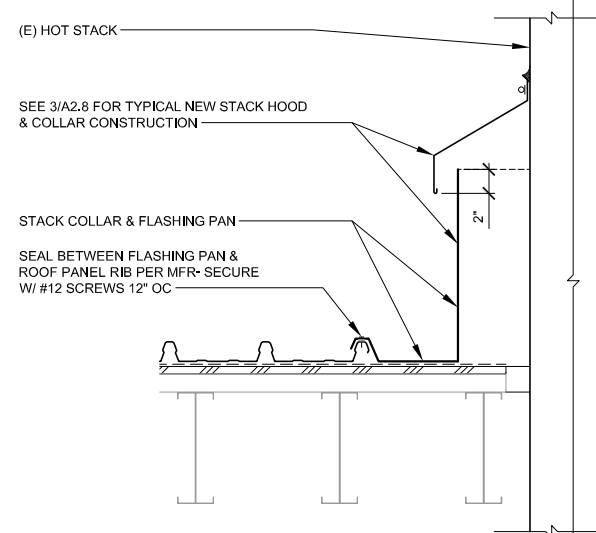
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ROOF DETAILS

A2.7



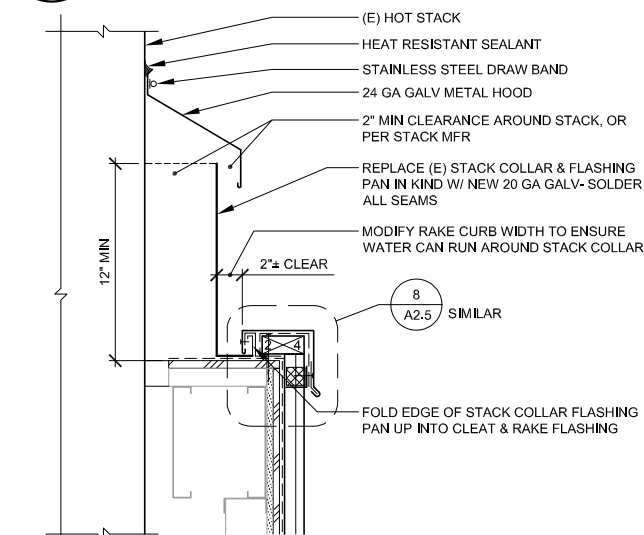
7 PENTHOUSE STACK PLAN

A2.8 SCALE 3/4" = 1'-0" ROOF 4



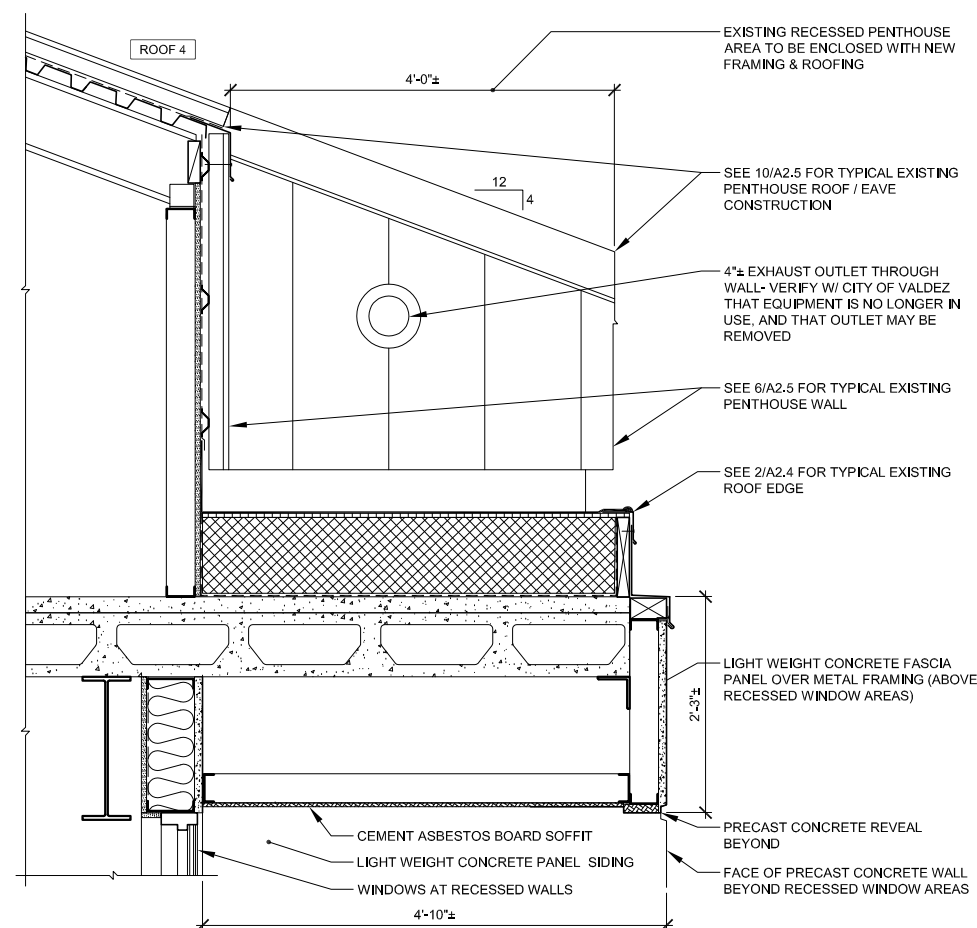
6 PENTHOUSE STACK DETAIL

A2.8 SCALE 1 1/2" = 1'-0"



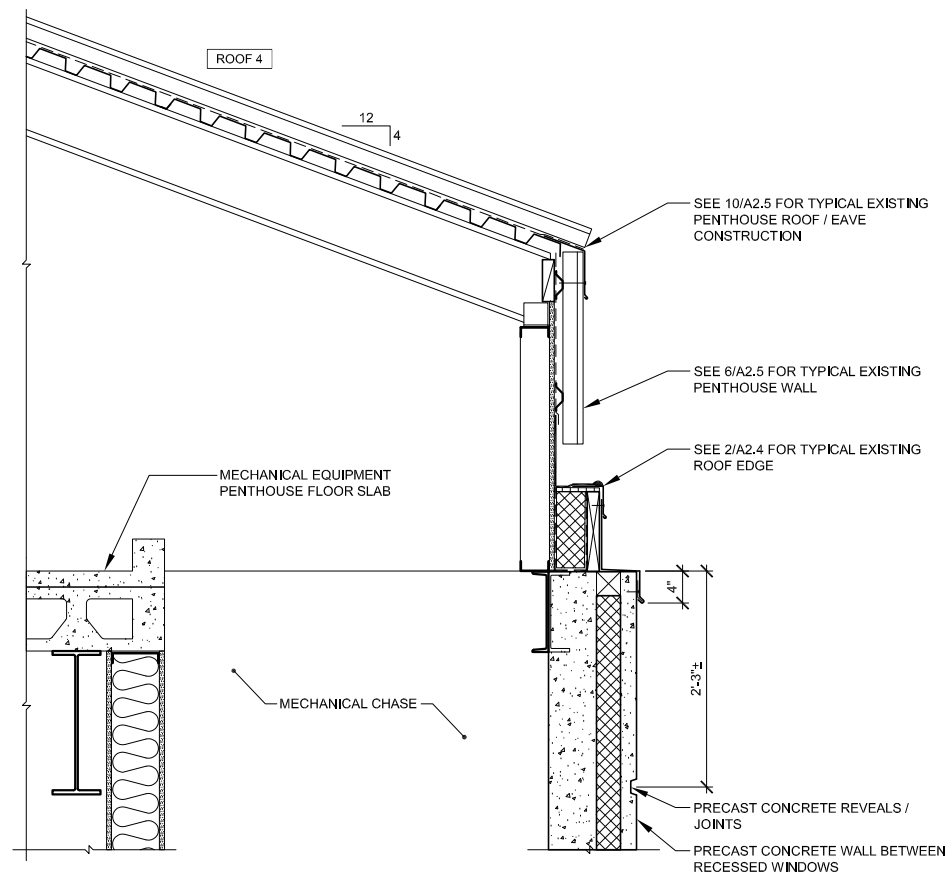
3 PENTHOUSE STACK DETAIL

A2.8 SCALE 1 1/2" = 1'-0"



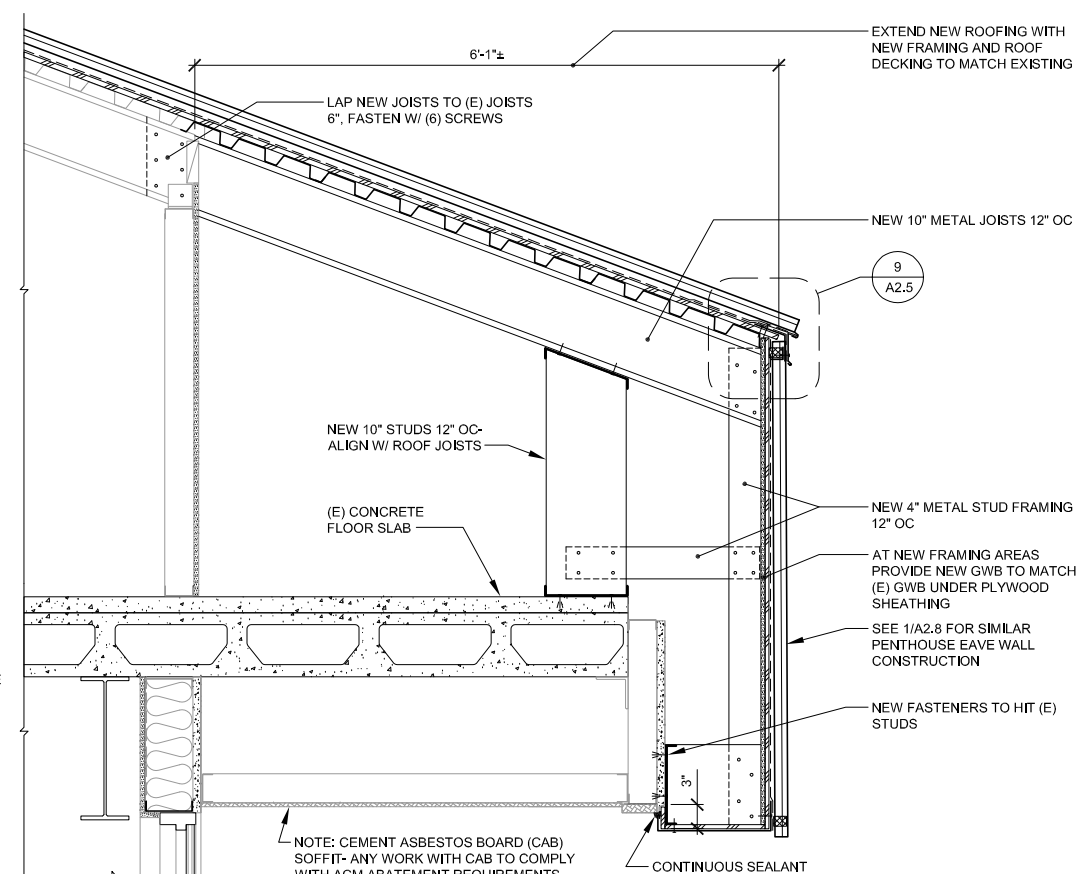
5 EXISTING PENTHOUSE DETAIL

A2.8 SCALE 1" = 1'-0"



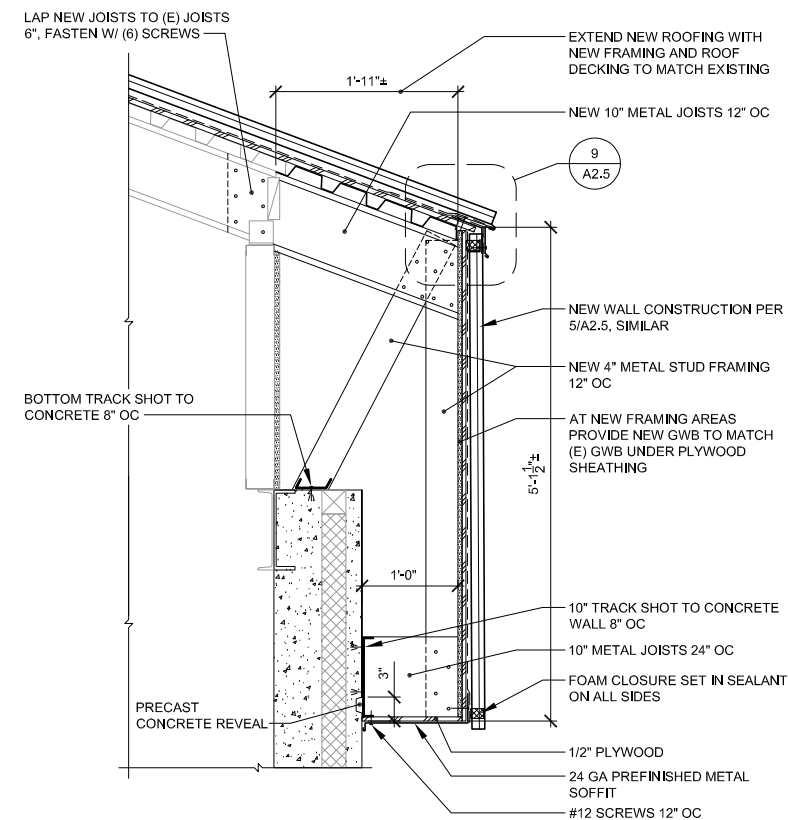
2 EXISTING PENTHOUSE DETAIL

A2.8 SCALE 1" = 1'-0"



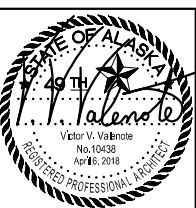
4 MODIFIED PENTHOUSE DETAIL

A2.8 SCALE 1" = 1'-0"



1 MODIFIED PENTHOUSE DETAIL

A2.8 SCALE 1" = 1'-0"



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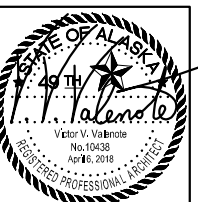
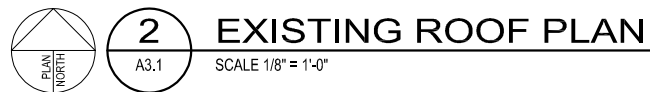
VALDEZ, ALASKA
**CITY OF VALDEZ
7 BUILDING ROOFS**

BOS PROJECT NOs: 017002.000
017003.000
017008.000

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BID DOCUMENTS
DATE
April 6, 2018
DRAWING TITLE
**CITY HALL
ROOF DETAILS**

A2.8

1. ROOF ELEVATIONS SHOWN ARE APPROXIMATE. DATUM FOR ROOF ELEVATIONS IS 0' AT GRADE.
2. WATER-TEST RAIN LEADERS FOR PROPER DRAINAGE FLOW. PROVIDE REPORT OF FINDINGS TO OWNER'S REPRESENTATIVE.



BDS INC. ENTITY# 25796D



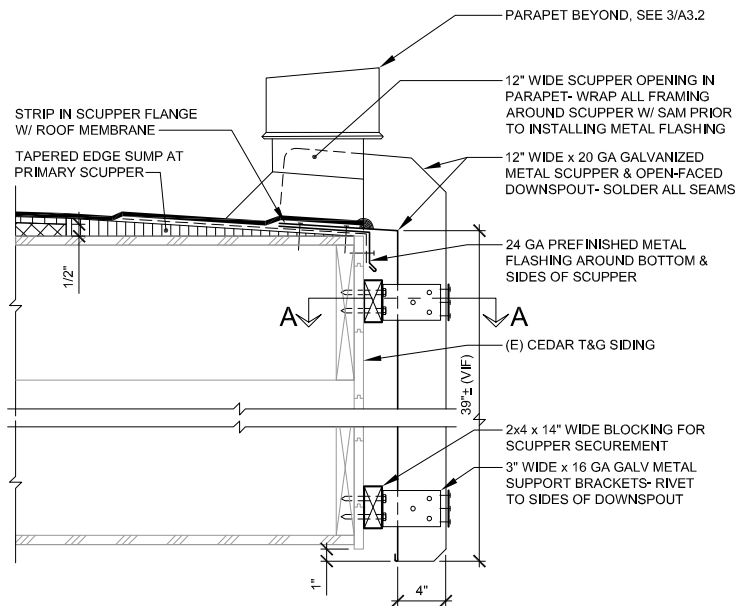
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CITY OF VALDEZ
7 BUILDING ROOFS

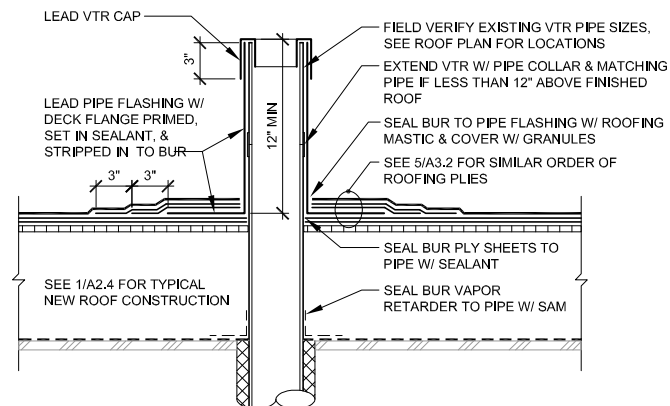
BDS PROJECT NOS.: 017002.000
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017008.000

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DATE
April 6, 2018
DRAWING TITLE
SCHOOL DISTRICT
OFFICES
ROOF PLANS

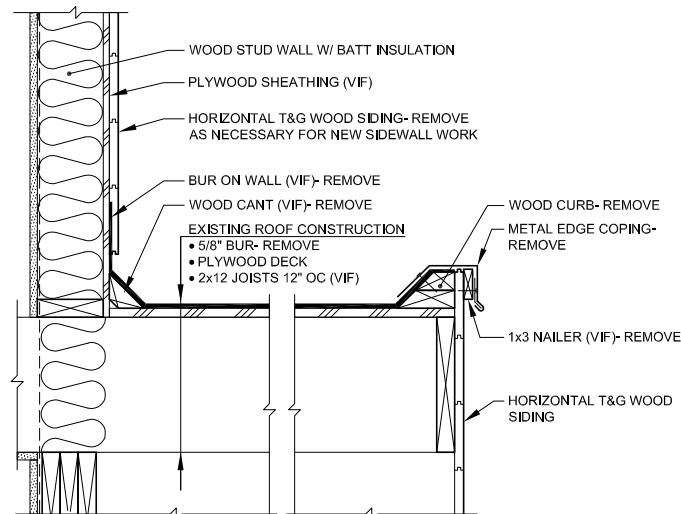
A3.1



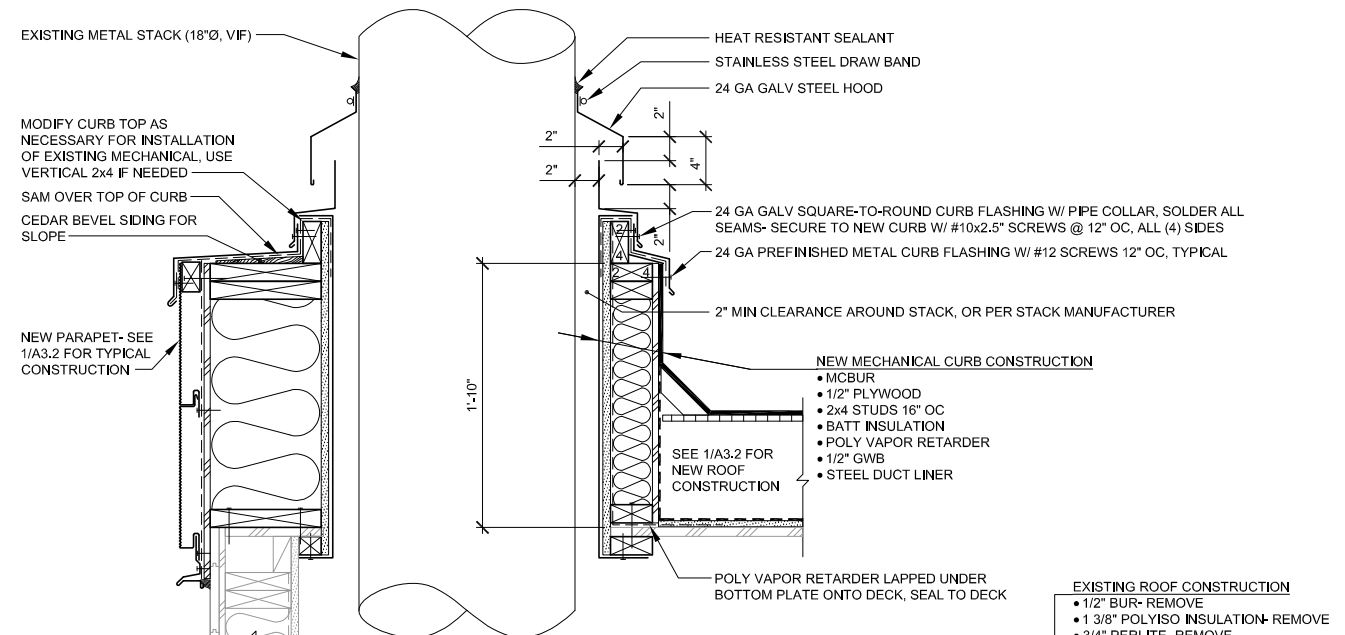
9 PRIMARY SCUPPER
A3.2 SCALE 1 1/2" = 1'-0"



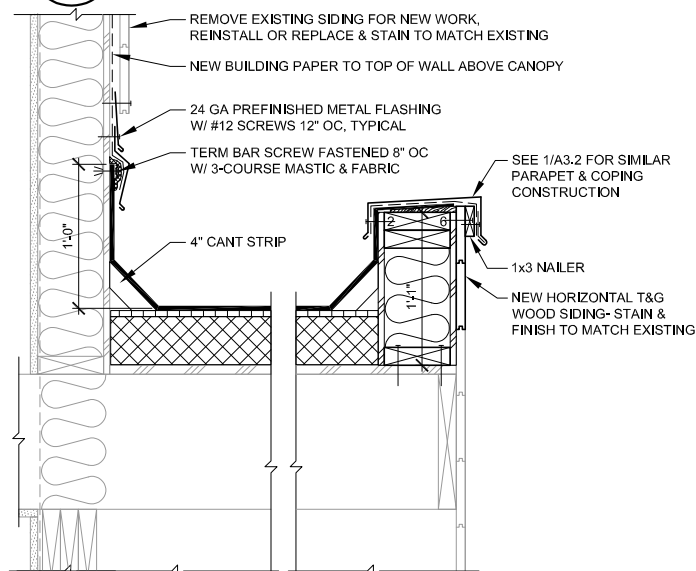
7 TYPICAL VTR / ETR
A3.2 SCALE 1 1/2" = 1'-0"



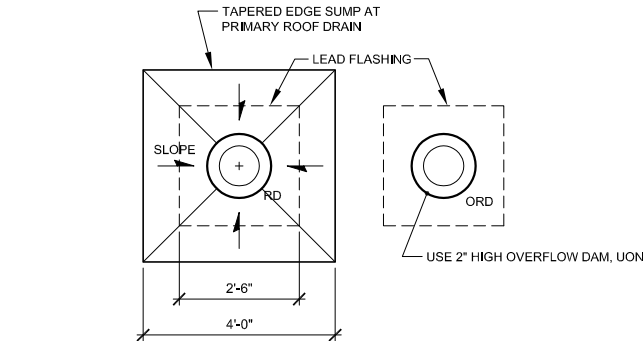
4 EXISTING CANOPY DETAIL
A3.2 SCALE 1 1/2" = 1'-0"



6 HOT STACK CURB AT PARAPET
A3.2 SCALE 1 1/2" = 1'-0"

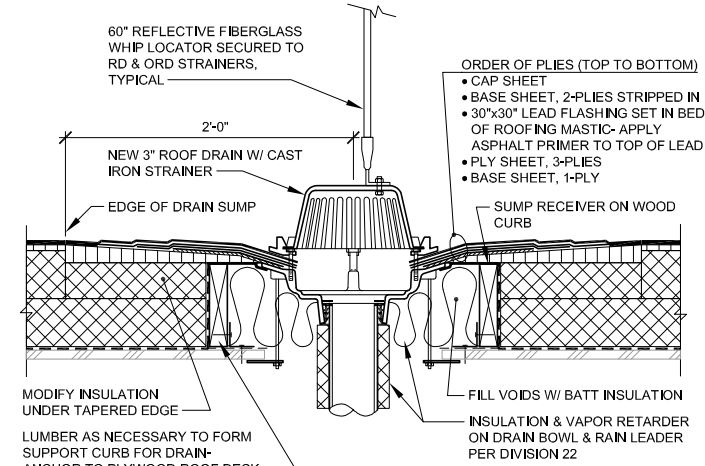


3 NEW CANOPY DETAIL
A3.2 SCALE 1 1/2" = 1'-0"

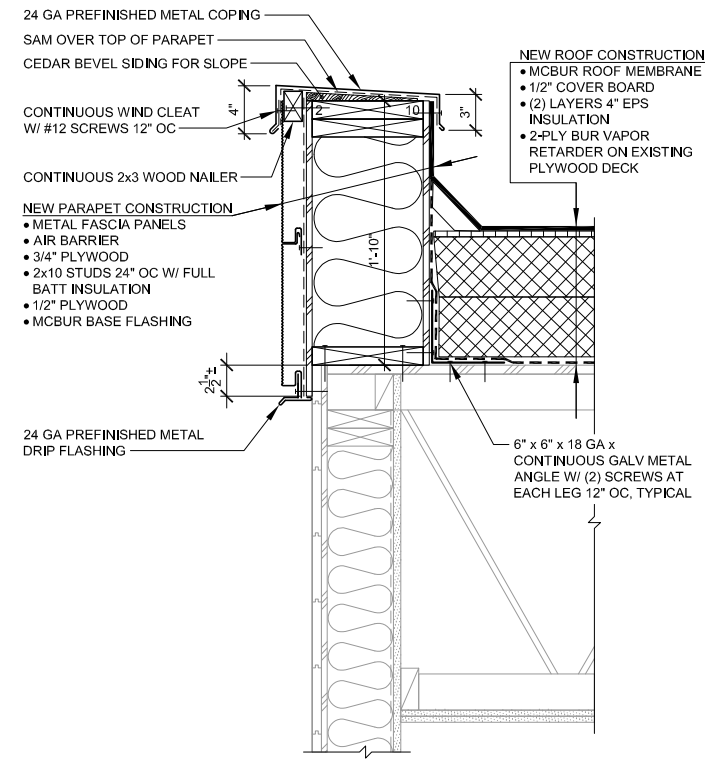


8 RD / ORD SCHEMATIC
A3.2 NTS

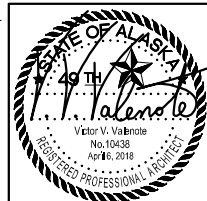
- NOTES:
1. ALL ROOF DRAINS TO BE REPLACED. NEW ROOF DRAINS TO BE 3" TO MATCH EXISTING.
 2. INSULATION THICKNESS AT CENTER OF PRIMARY ROOF DRAINS: FLAT EPS = 7" TOTAL
 3. NEW OVERFLOW ROOF DRAIN DETAIL IS SIMILAR, BUT NO DRAIN SUMP. PROVIDE 2" DAM AT OVERFLOW DRAINS.
 4. SEE 8/A3.2 FOR RD / ORD SCHEMATIC.



5 TYPICAL ROOF DRAIN
A3.2 SCALE 1 1/2" = 1'-0"



1 NEW ROOF EDGE
A3.2 SCALE 1 1/2" = 1'-0"



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VALDEZ, ALASKA
**CITY OF VALDEZ
7 BUILDING ROOFS**

BDS PROJECT NOS.: 017002.000
017003.000
017008.000

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DATE
April 6, 2018
DRAWING TITLE
SCHOOL DISTRICT
OFFICES
ROOF DETAILS

A3.2

1. COORDINATE WITH OWNER'S REPRESENTATIVE FOR STORAGE, STAGING AND BUILDING ACCESS AREAS AT SITE.



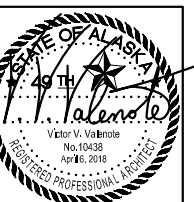
EXISTING ROOF PLAN

SCALE 1/8" = 1'-0"



NEW ROOF PLAN

SCALE 1/8" = 1'-0"



OS INC. ENTITY# 25796D



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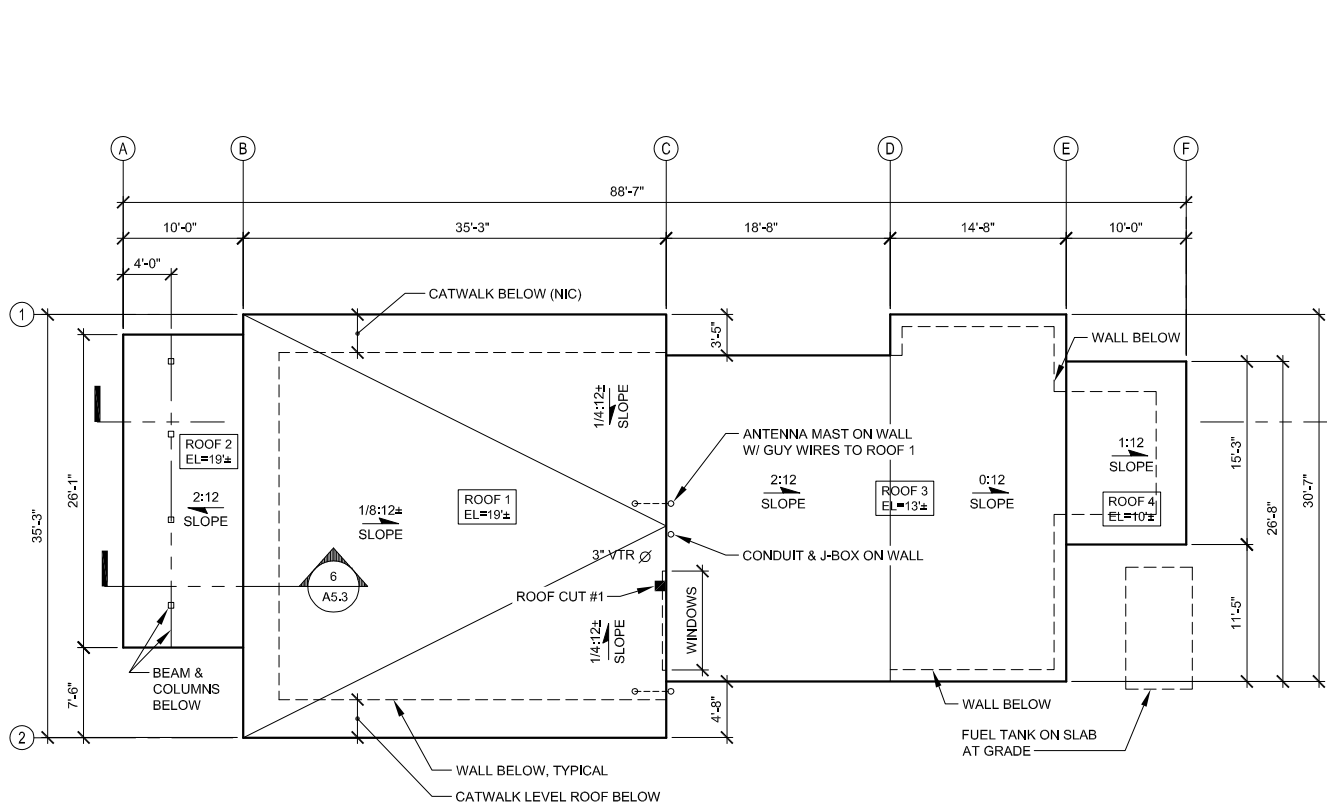
CITY OF VALDEZ
BUILDING ROOFS

DS PROJECT NOS.: 017002.000
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017008.000

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DATE
April 6, 2018
DRAWING TITLE
TEEN CENTER
ROOF PLANS

A4.1

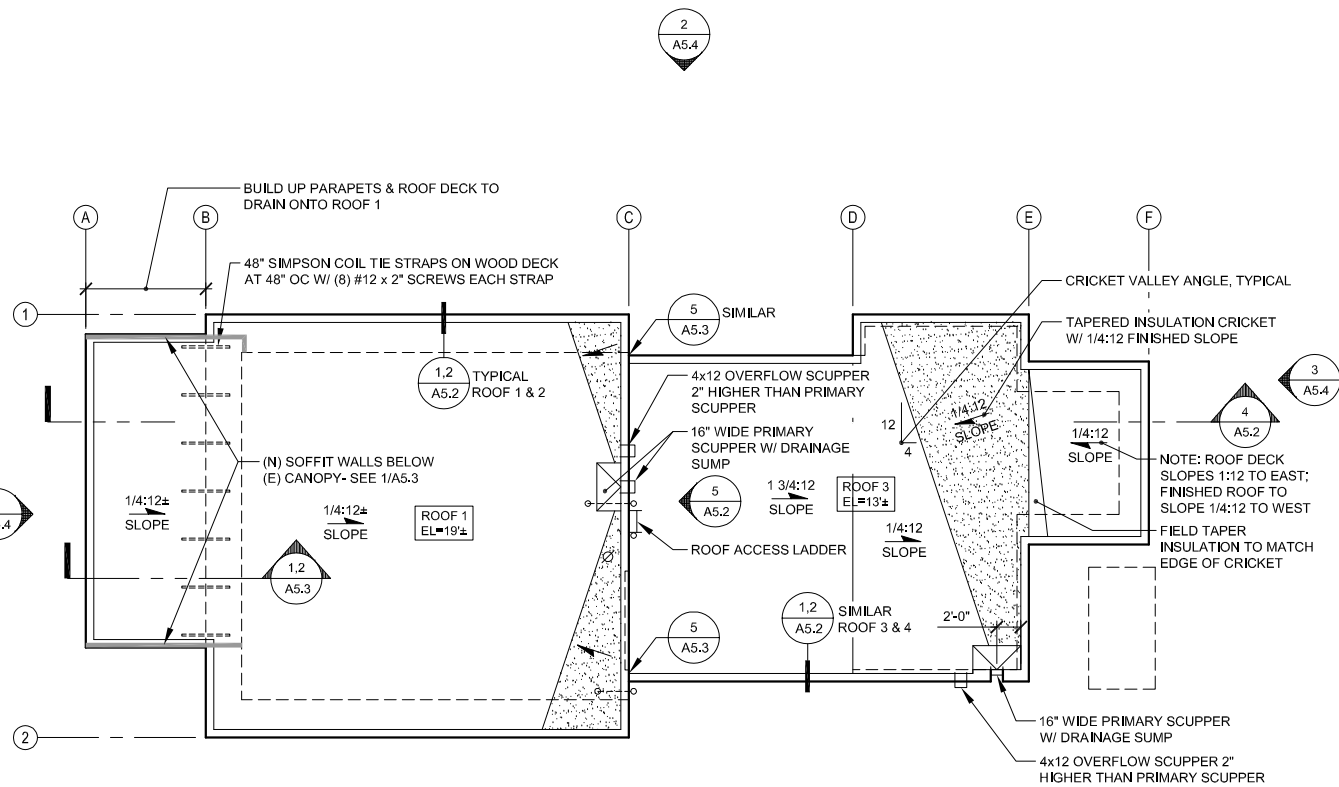
SHEET NOTES:
1. COORDINATE WITH OWNER'S REPRESENTATIVE FOR STORAGE, STAGING AND BUILDING ACCESS AREAS AT SITE.



2
A5.1

EXISTING ROOF PLAN

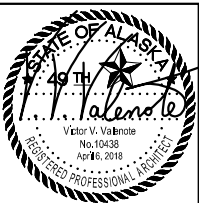
SCALE 1/8" = 1'-0"



1
A5.1

NEW ROOF PLAN

SCALE 1/8" = 1'-0"



BDS INC. ENTITY# 25796D

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Architecture | Planning | Roof Technology

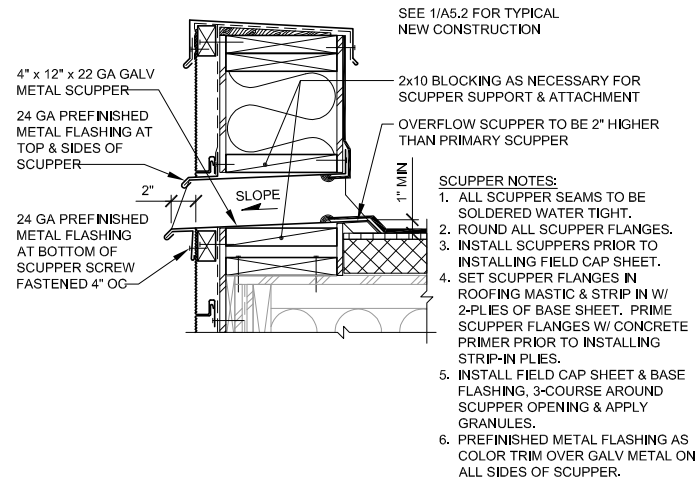
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VALDEZ, ALASKA
CITY OF VALDEZ
7 BUILDING ROOFS

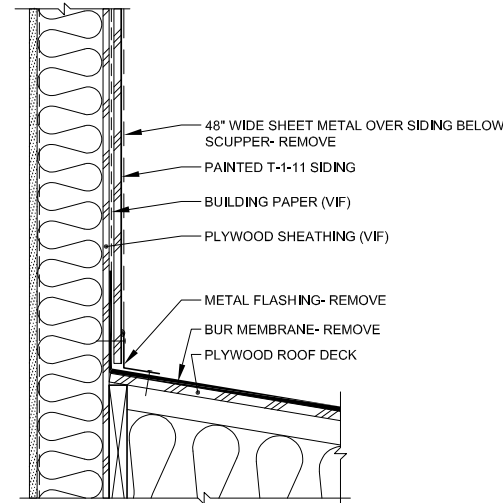
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DRAWING TITLE
HARBORMASTER
ROOF PLANS

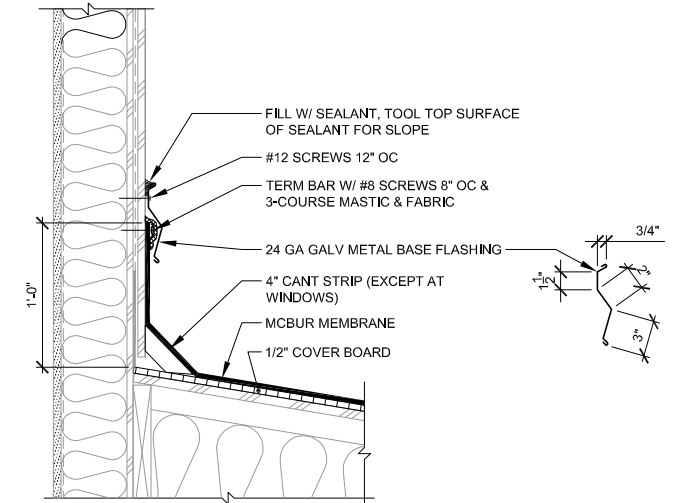
A5.1



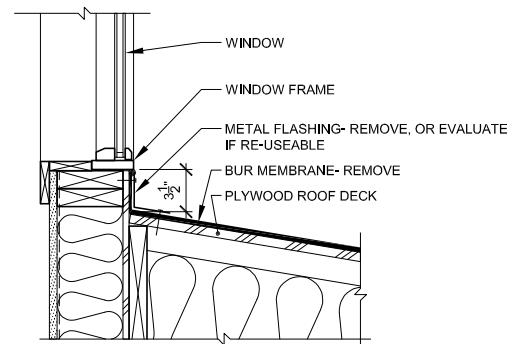
10 OVERFLOW SCUPPER
A5.2 SCALE 1 1/2" = 1'-0"



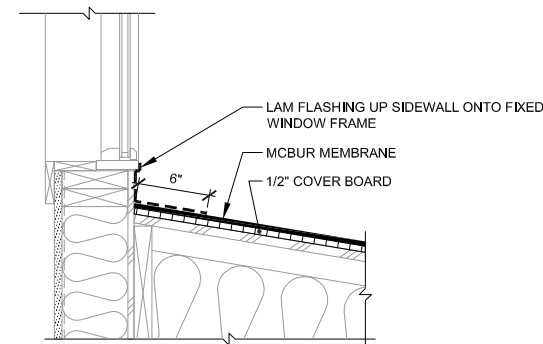
9 EXIST HEADWALL AT SIDING
A5.2 SCALE 1 1/2" = 1'-0"



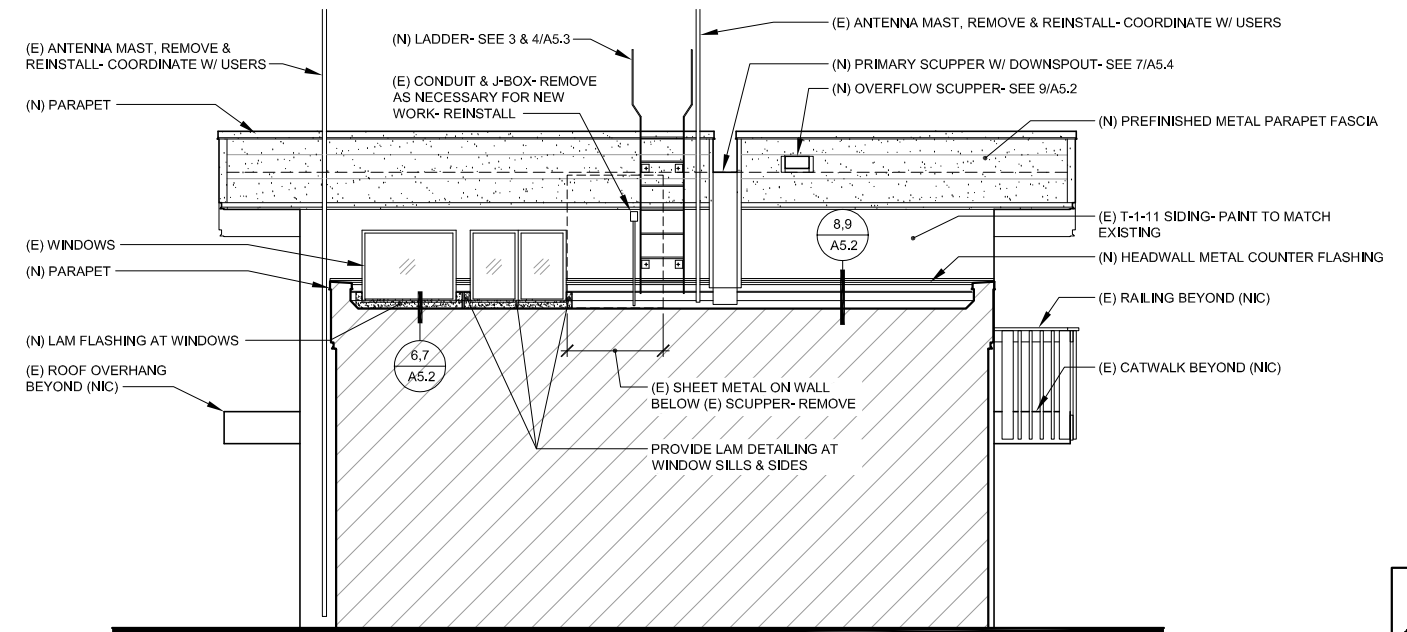
8 NEW HEADWALL AT SIDING
A5.2 SCALE 1 1/2" = 1'-0"



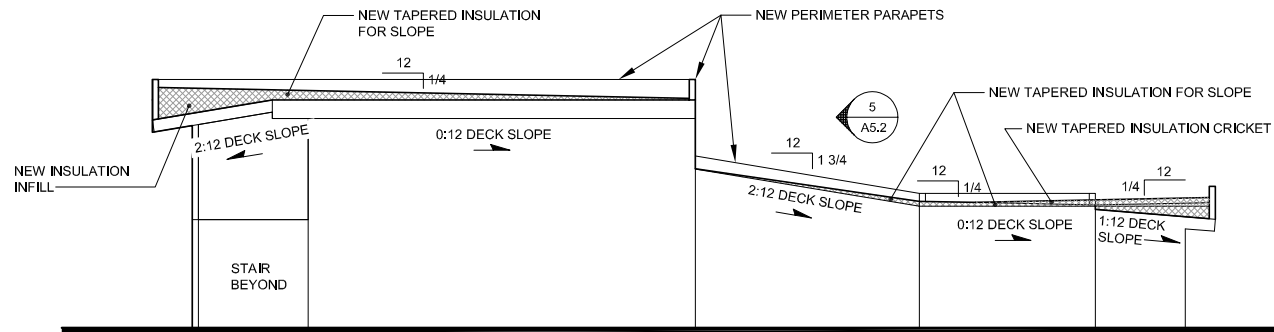
7 EXIST HEADWALL AT WINDOW
A5.2 SCALE 1 1/2" = 1'-0"



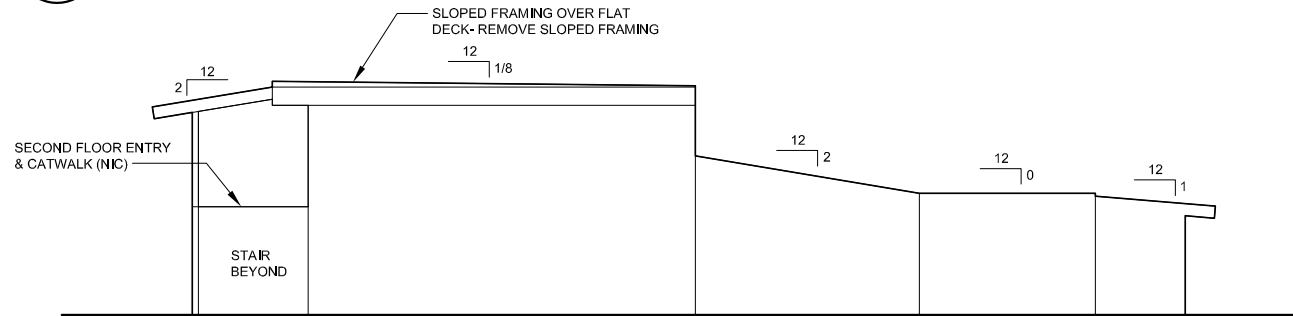
6 NEW HEADWALL AT WINDOW
A5.2 SCALE 1 1/2" = 1'-0"



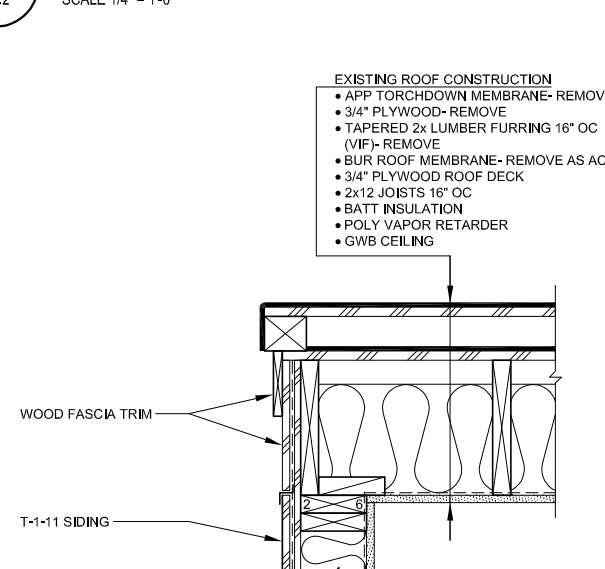
5 PARTIAL EAST ELEVATION
A5.2 SCALE 1/4" = 1'-0"



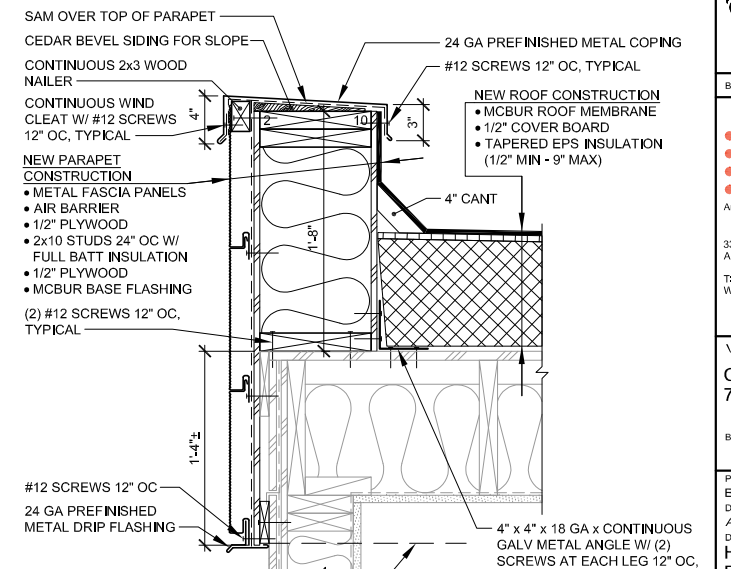
4 NEW SECTION
A5.2 SCALE 1/8" = 1'-0"



3 EXISTING SECTION
A5.2 SCALE 1/8" = 1'-0"



2 EXISTING ROOF EDGE
A5.2 SCALE 1 1/2" = 1'-0"



1 NEW ROOF EDGE
A5.2 SCALE 1 1/2" = 1'-0"

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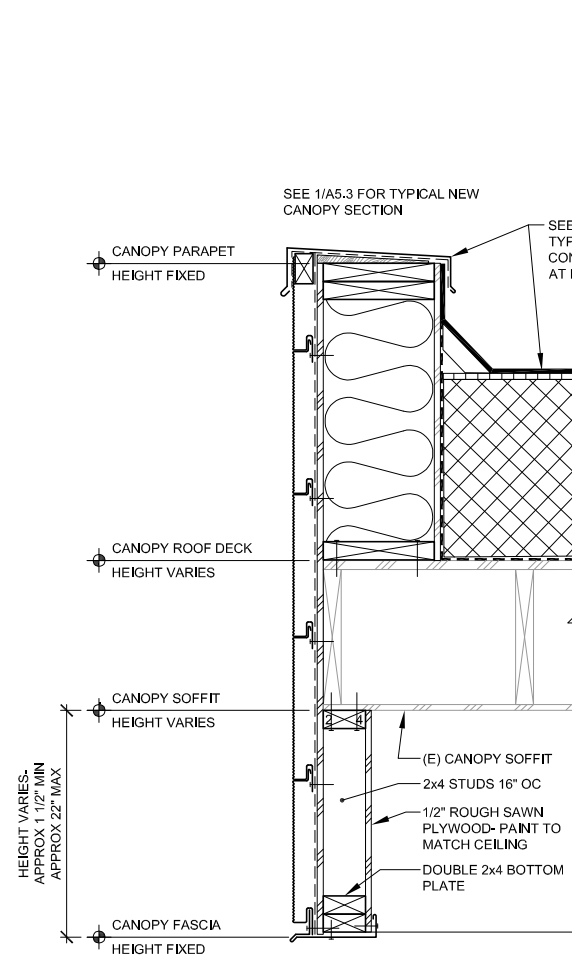
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VALDEZ, ALASKA
**CITY OF VALDEZ
7 BUILDING ROOFS**

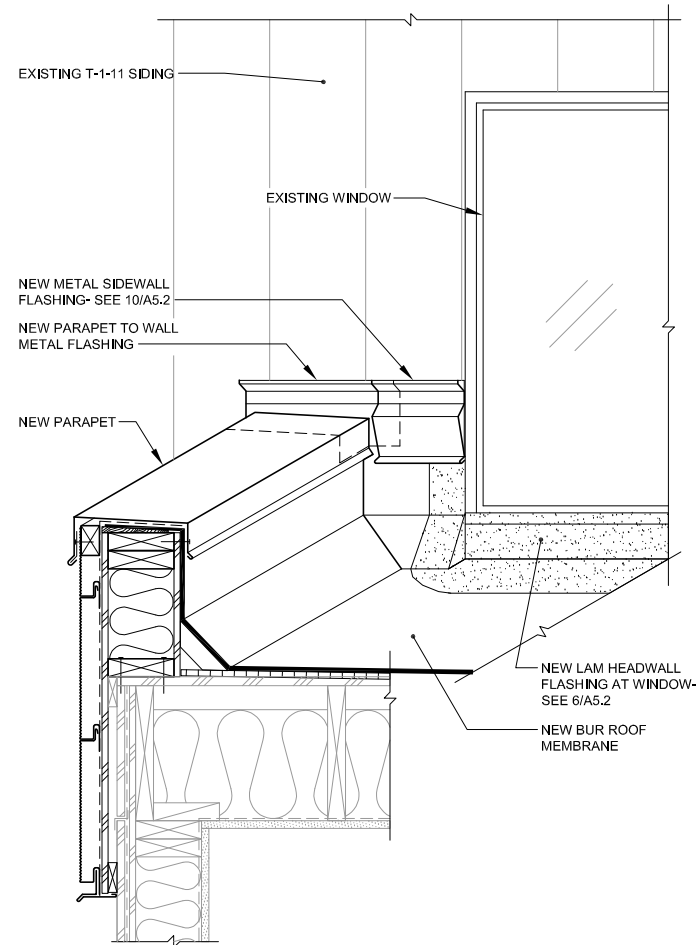
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**HARBORMASTER
ROOF DETAILS**

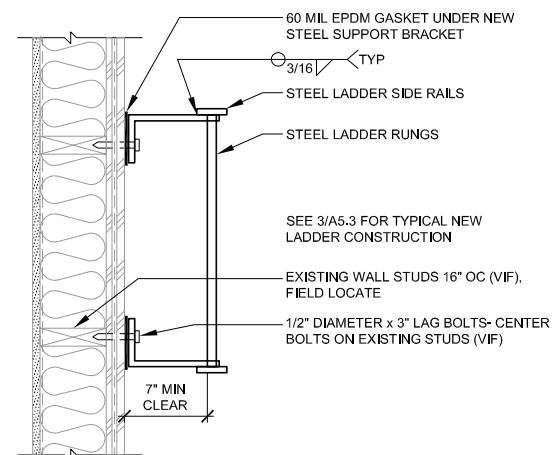
A5.2



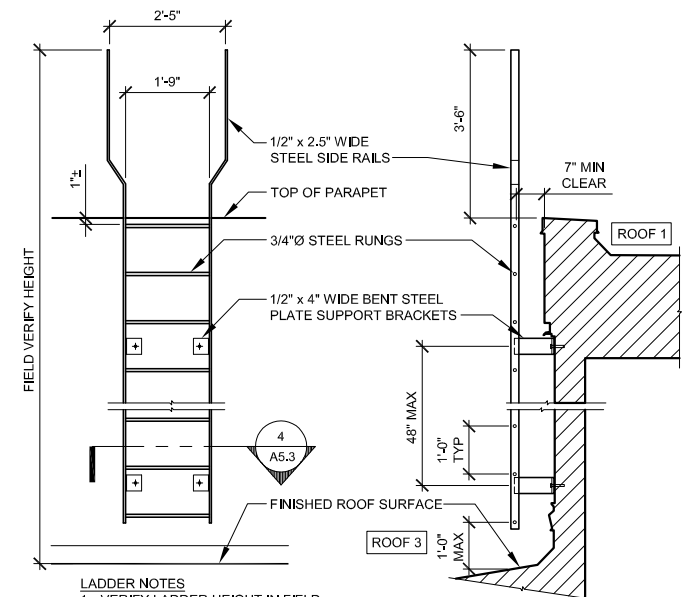
6 CANOPY FASCIA FRAMING
A5.3 SCALE 1 1/2" = 1'-0"



5 PARAPET TO WALL
A5.3 NTS ROOF 3

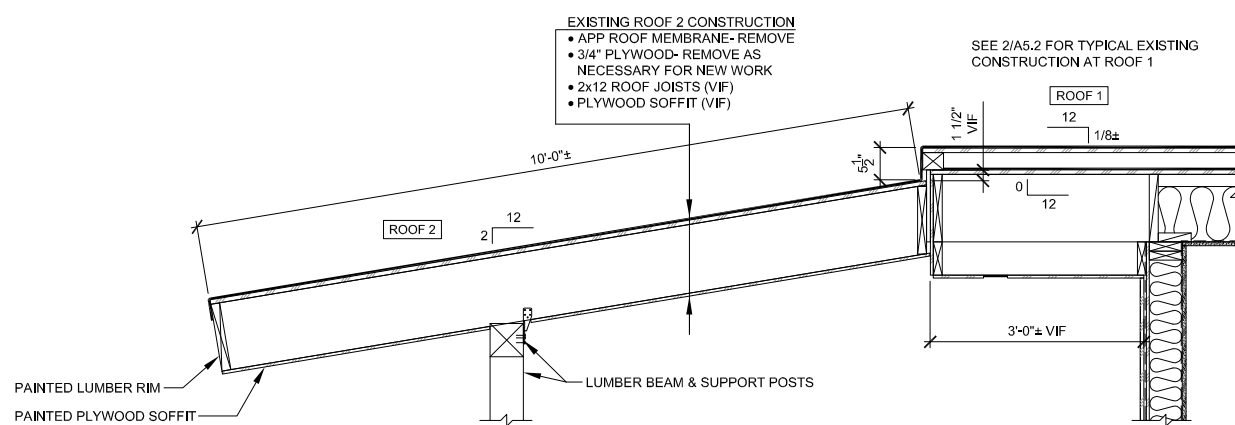


4 LADDER PLAN DETAIL
A5.3 SCALE 1 1/2" = 1'-0"

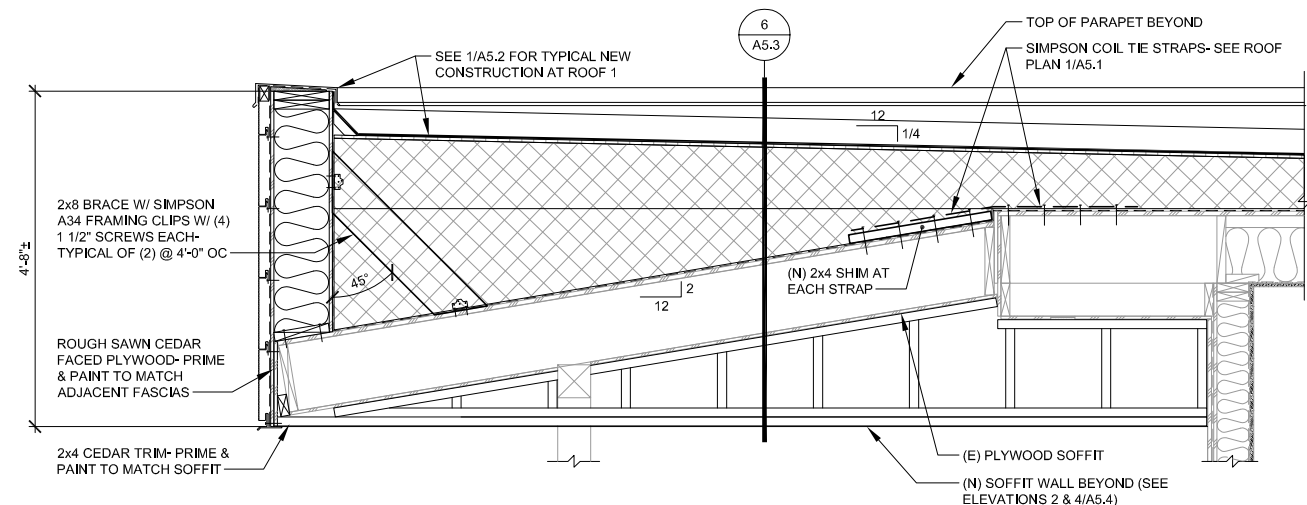


3 NEW LADDER DETAIL
A5.3 SCALE 1/2" = 1'-0"

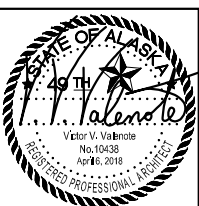
- LADDER NOTES**
1. VERIFY LADDER HEIGHT IN FIELD.
 2. LADDER TO BE PRIMED AND PAINTED TO MATCH PRECAST CONCRETE WALL.
 3. MANUFACTURE AND INSTALL LADDER PER OSHA REQUIREMENTS.



2 EXISTING CANOPY SECTION
A5.3 SCALE 3/4" = 1'-0"



1 MODIFIED CANOPY SECTION
A5.3 SCALE 3/4" = 1'-0"



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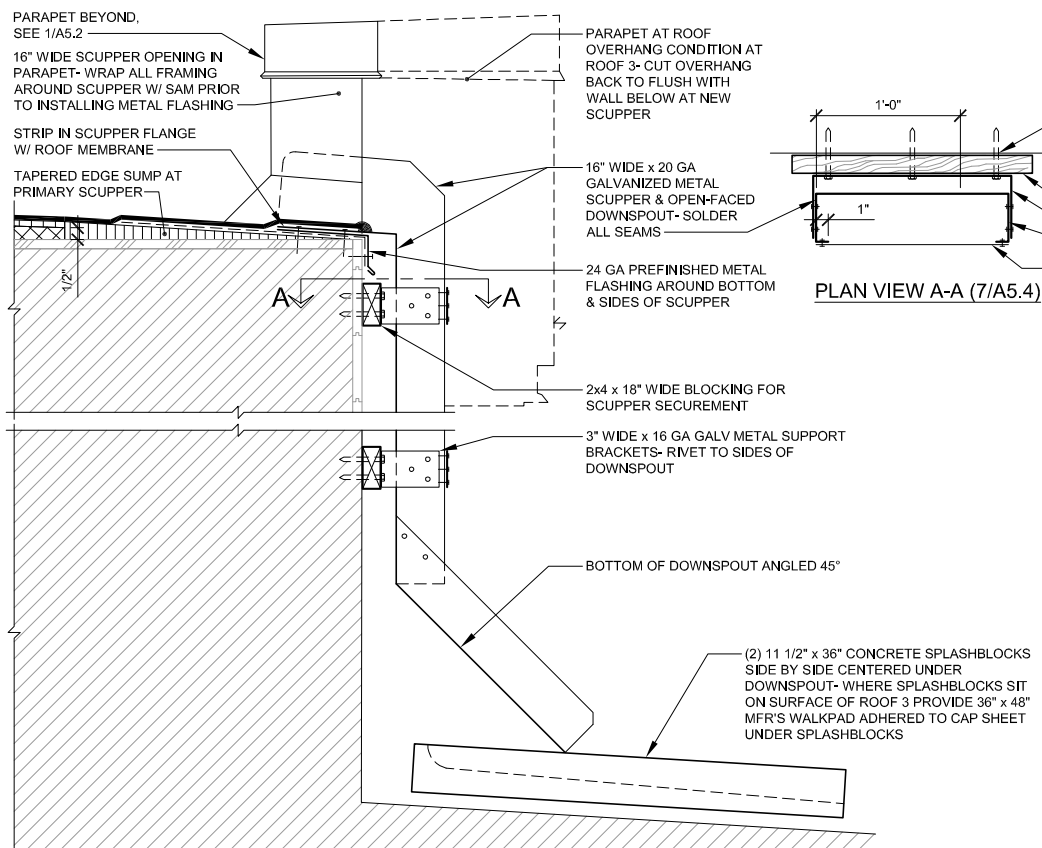
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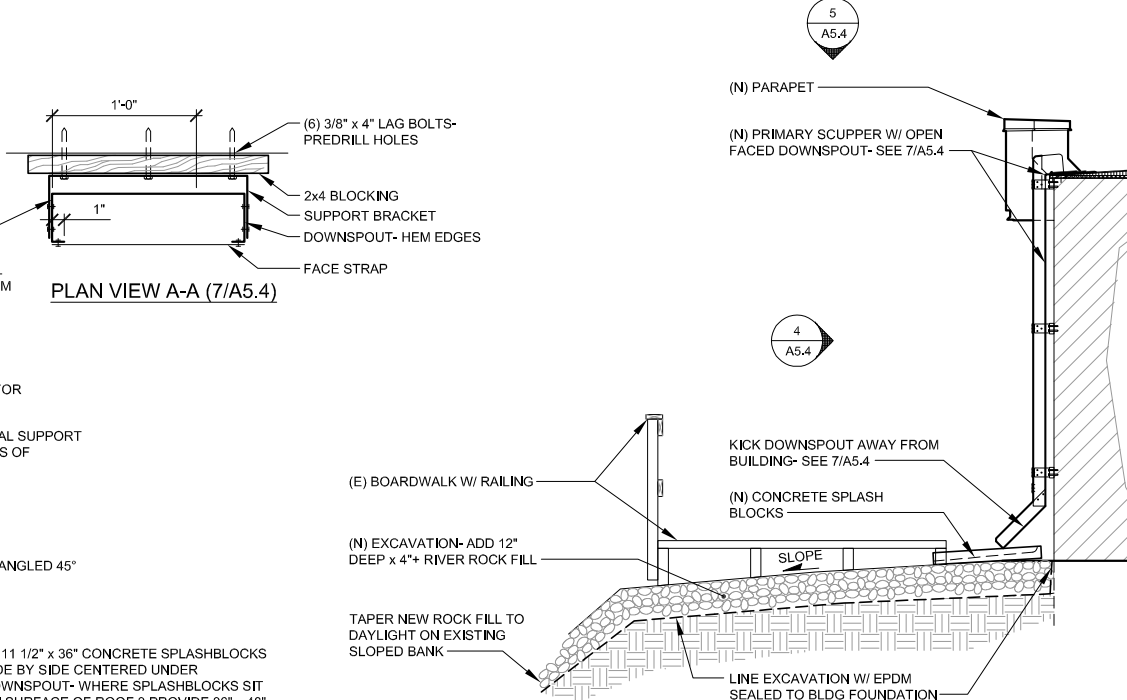
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HARBORMASTER
ROOF DETAILS

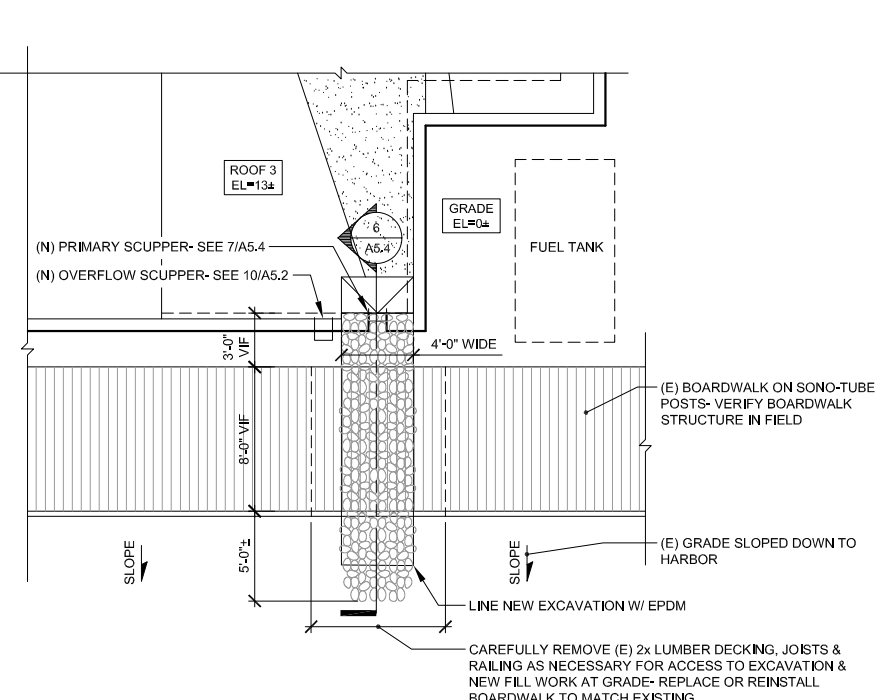
A5.3



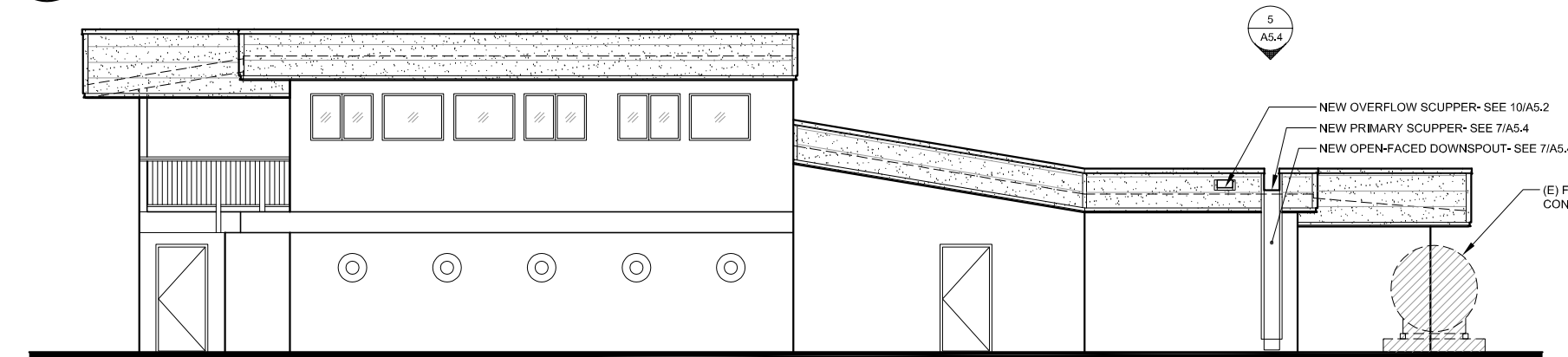
7 PRIMARY SCUPPER & DOWNSPOUT
A5.4 SCALE 1 1/2" = 1'-0"



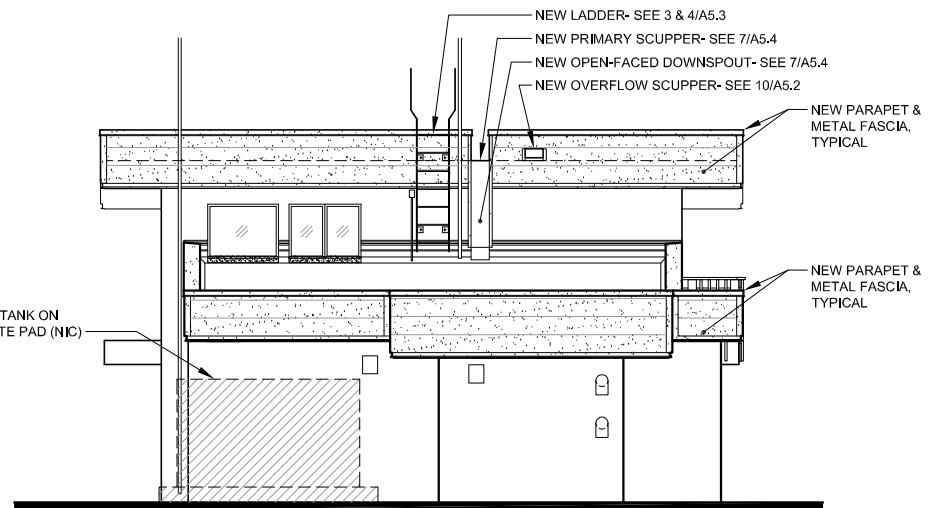
6 NEW PARTIAL SECTION
A5.4 SCALE 3/8" = 1'-0"



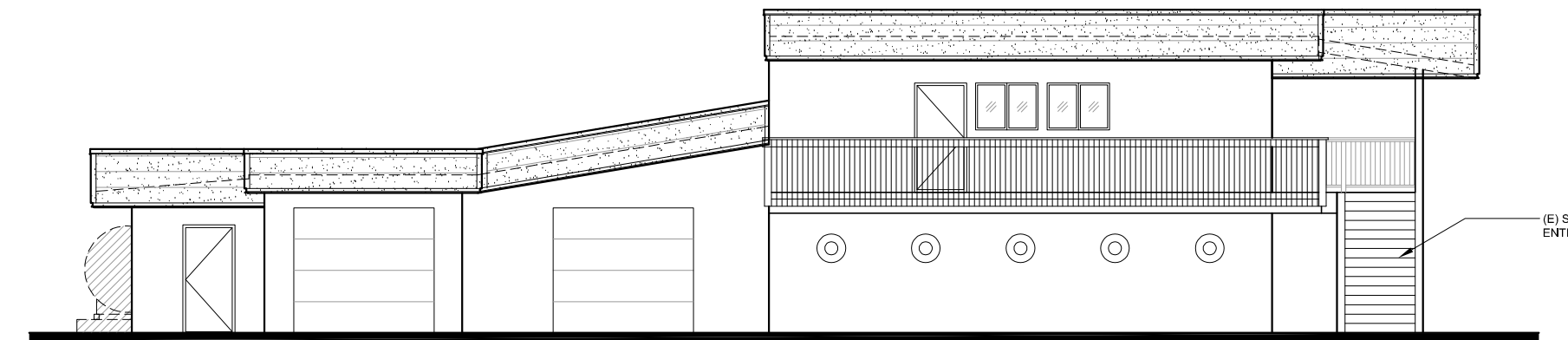
5 NEW PARTIAL PLAN
A5.4 SCALE 3/16" = 1'-0"



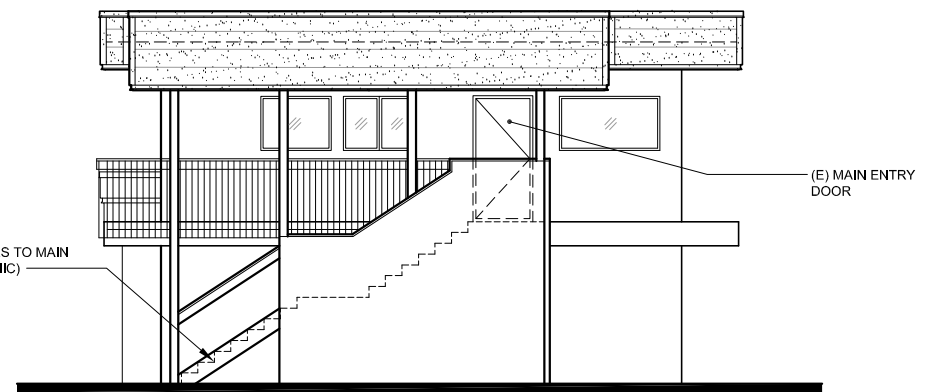
4 NEW SOUTH ELEVATION
A5.4 SCALE 3/16" = 1'-0"



3 NEW EAST ELEVATION
A5.4 SCALE 3/16" = 1'-0"



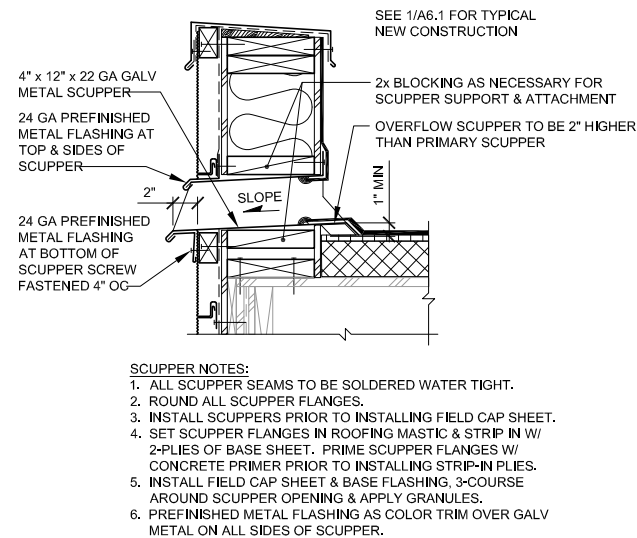
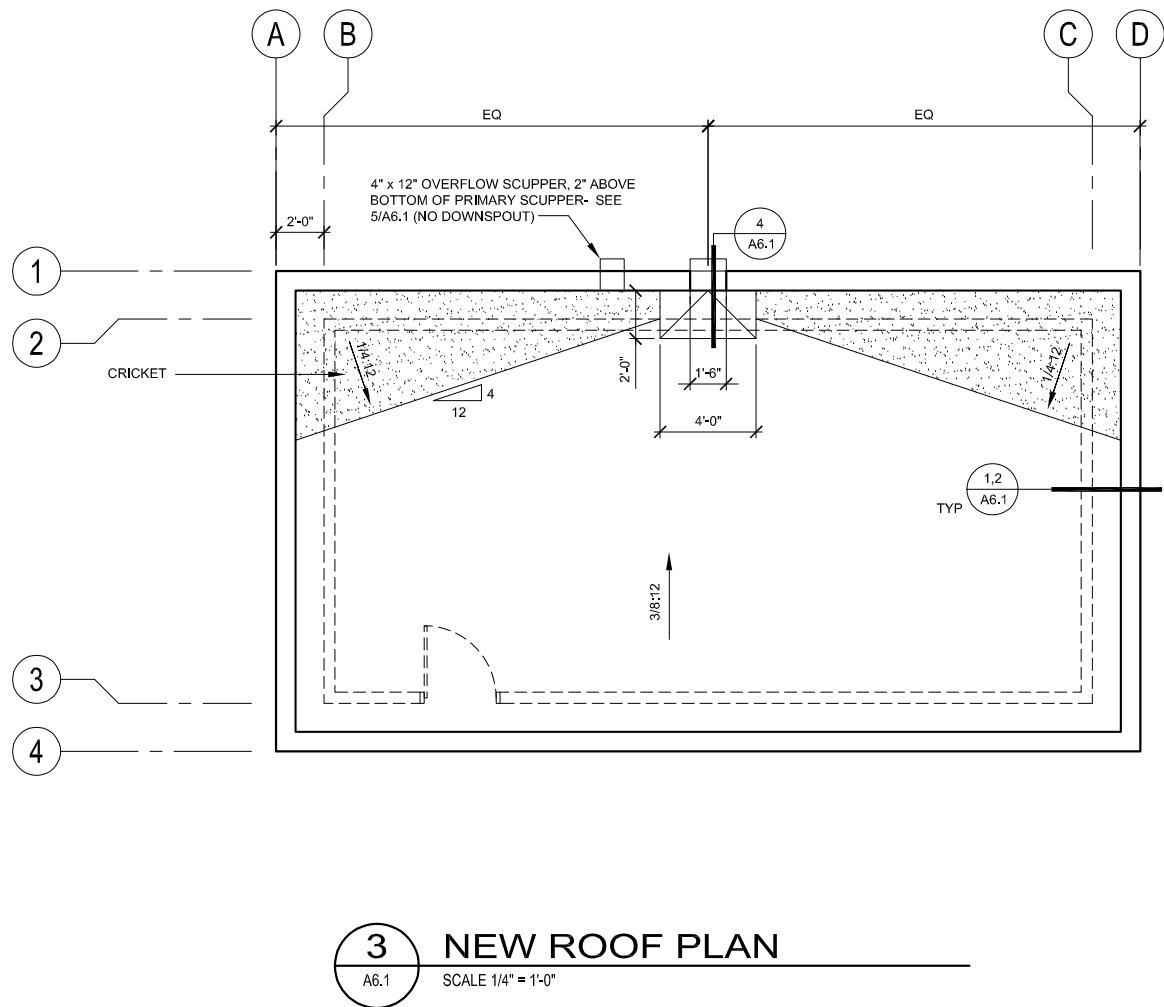
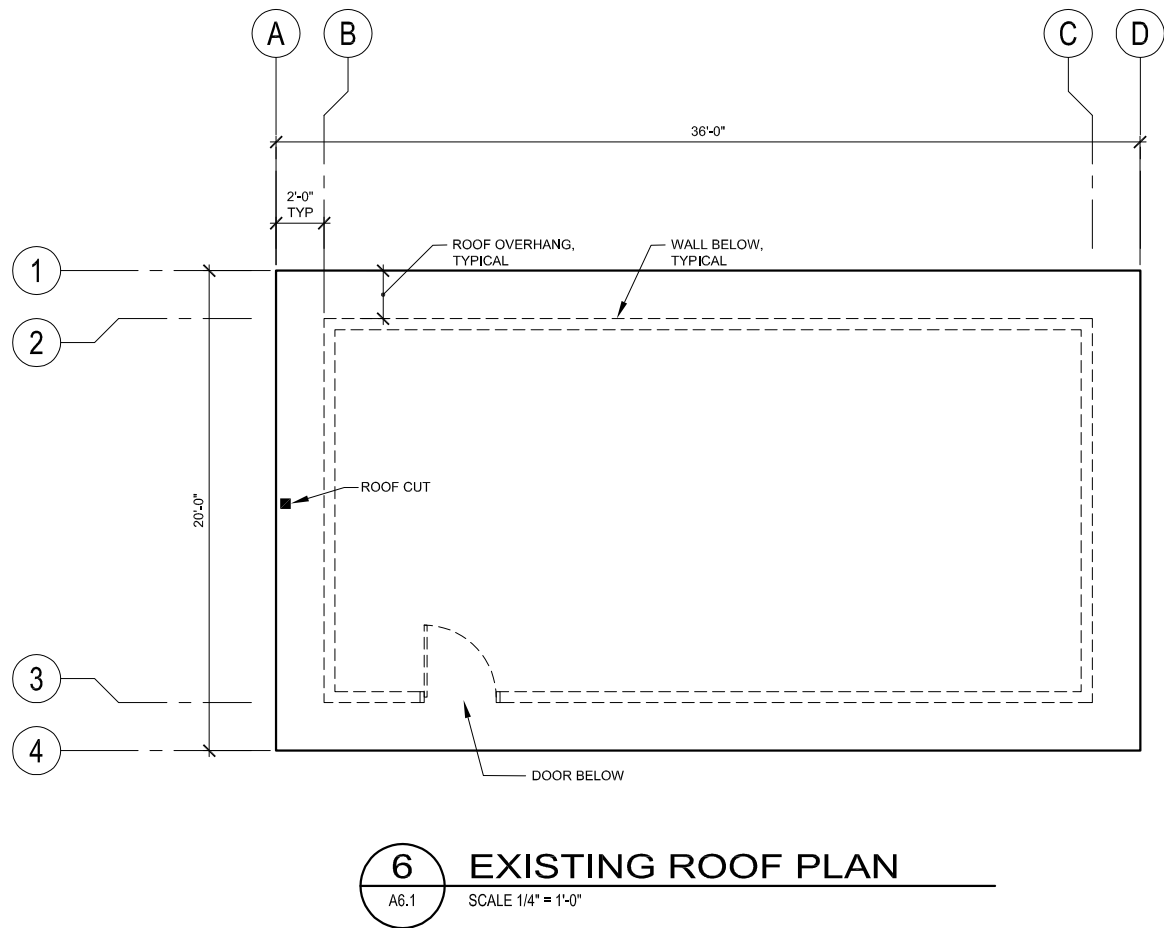
2 NEW NORTH ELEVATION
A5.4 SCALE 3/16" = 1'-0"



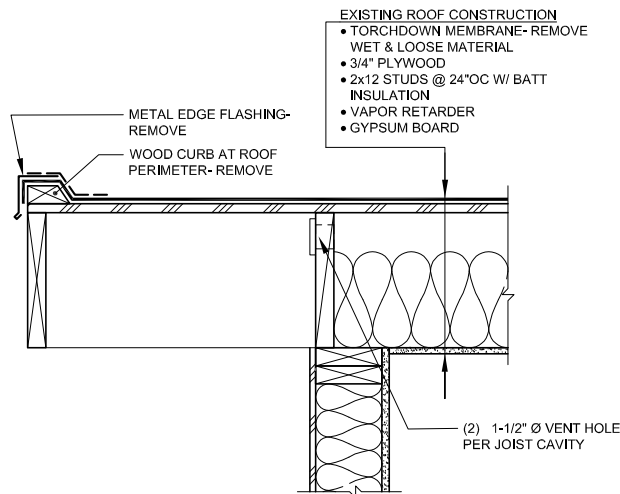
1 NEW WEST ELEVATION
A5.4 SCALE 3/16" = 1'-0"

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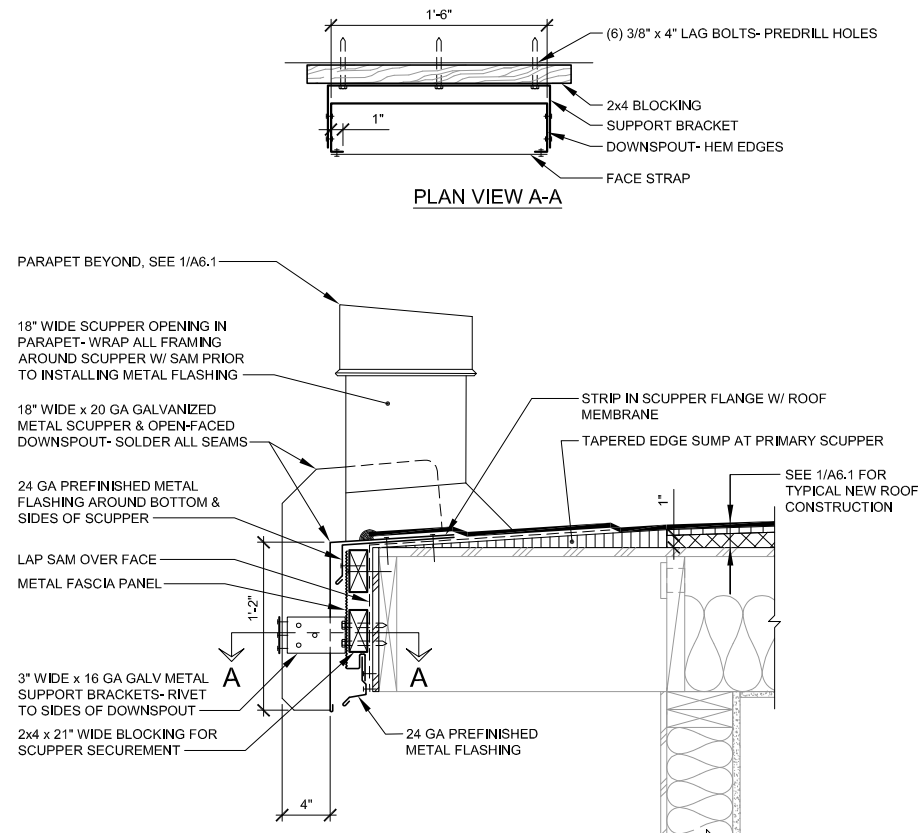
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 017003.000
 017008.000
 PHASE
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 DATE
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HARBORMASTER
ELEVATIONS &
DETAILS
A5.4



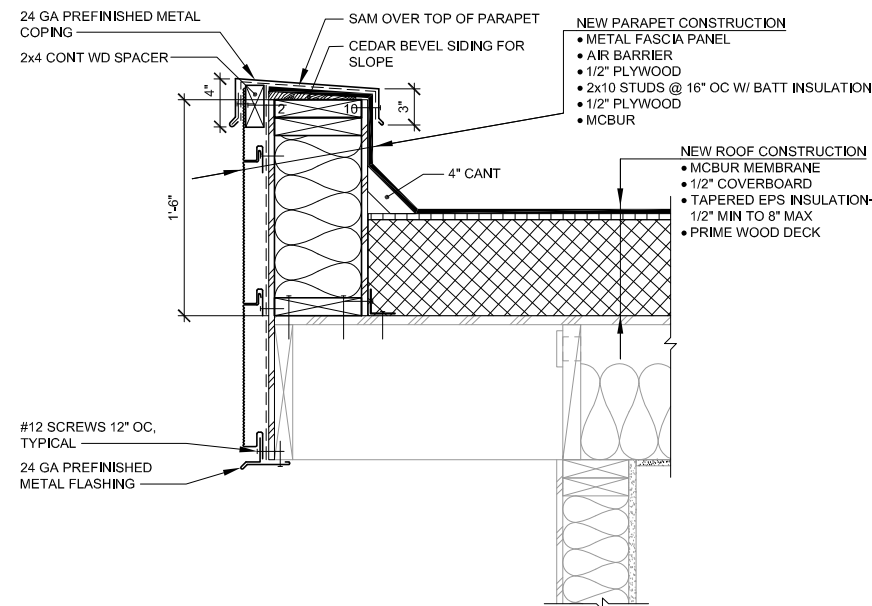
5 NEW OVERFLOW SCUPPER
A6.1 SCALE 1 1/2" = 1'-0"



2 EXISTING EDGE DETAIL
A6.1 SCALE 1 1/2" = 1'-0"



4 NEW PRIMARY SCUPPER
A6.1 SCALE 1 1/2" = 1'-0"



1 NEW PARAPET DETAIL
A6.1 SCALE 1 1/2" = 1'-0"

STATE OF ALASKA
49th
Valdez
Victor V. Valente
No. 10438
April 6, 2018
REGISTERED PROFESSIONAL ARCHITECT

BOS INC. ENTITY# 25796D

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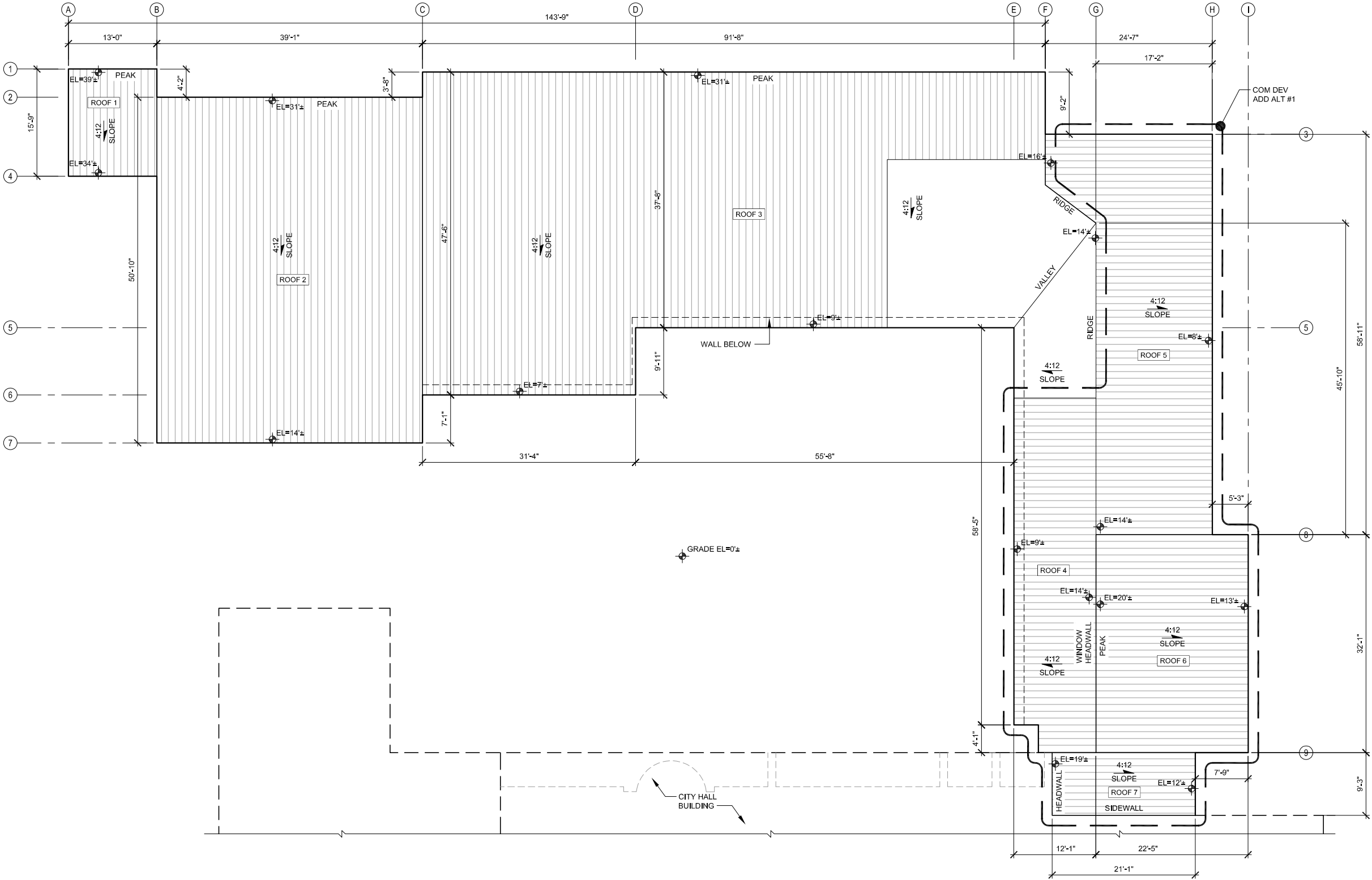
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SEWAGE
TREATMENT PLANT
PLANS & DETAILS

A6.1

SHEET NOTES:

1. ROOF ELEVATIONS SHOWN ARE APPROXIMATE. DATUM FOR ROOF ELEVATIONS IS 0' AT GRADE.
2. ROOF DIMENSIONS SHOWN ARE APPROXIMATE HORIZONTAL DIMENSIONS, NOT SLOPE DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.



1
A7.1

EXISTING ROOF PLAN

SCALE 1/8" = 1'-0"



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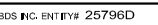
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COM DEV - EXIST
ROOF PLAN**

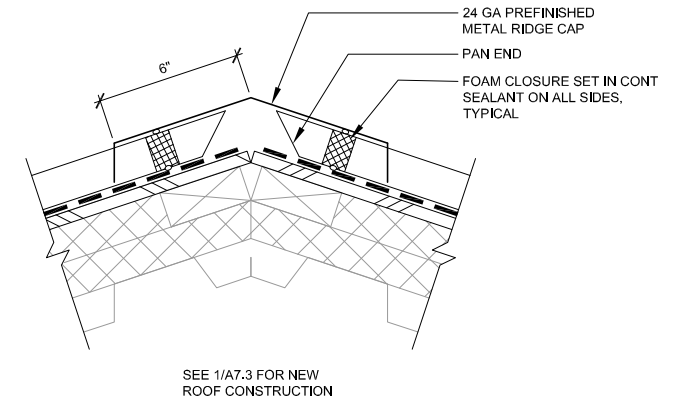
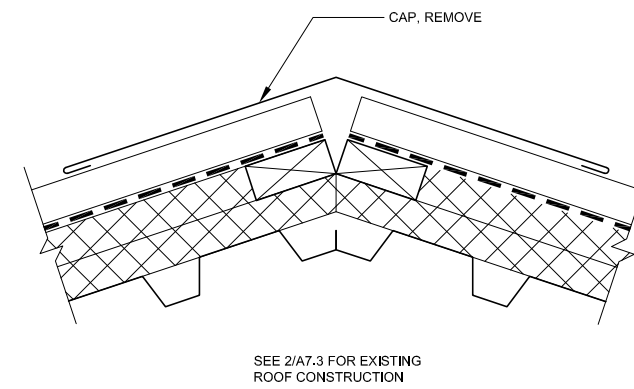
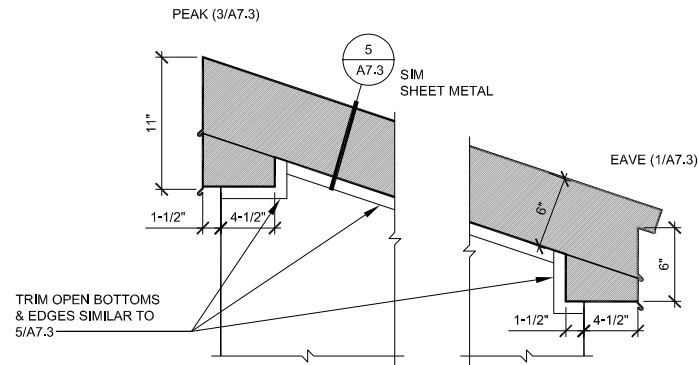
A7.1

1. AA1 = ADD ALT #1
BB = BASE BID



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A7.2



11 NEW FASCIA ELEVATION

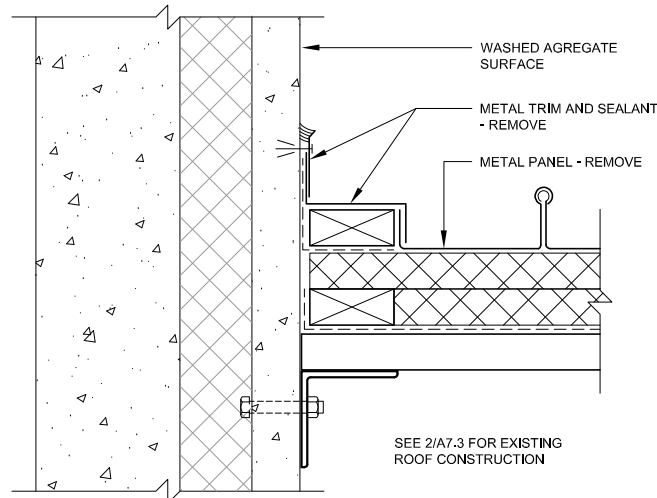
A7.3 SCALE 3" = 1'-0"

10 EXISTING RIDGE

A7.3 SCALE 3" = 1'-0"

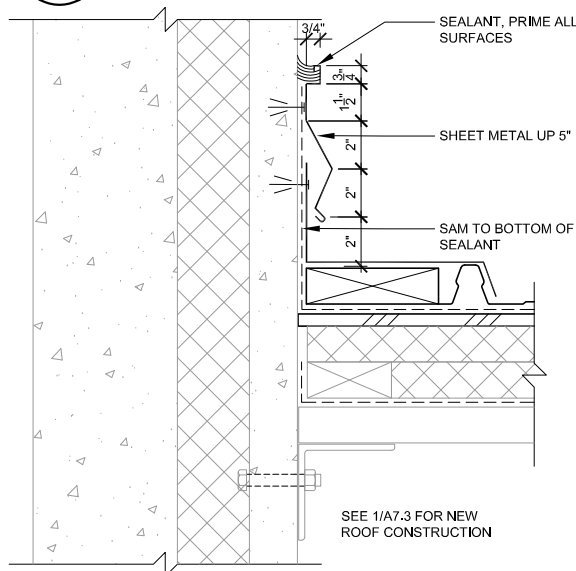
9 NEW RIDGE

A7.3 SCALE 3" = 1'-0"



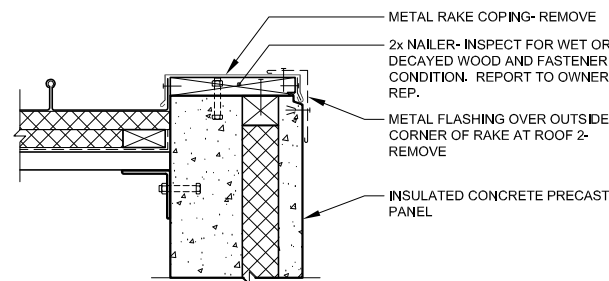
8 EXISTING SIDEWALL

A7.3 SCALE 3" = 1'-0" STEEP SLOPE METAL ROOFS



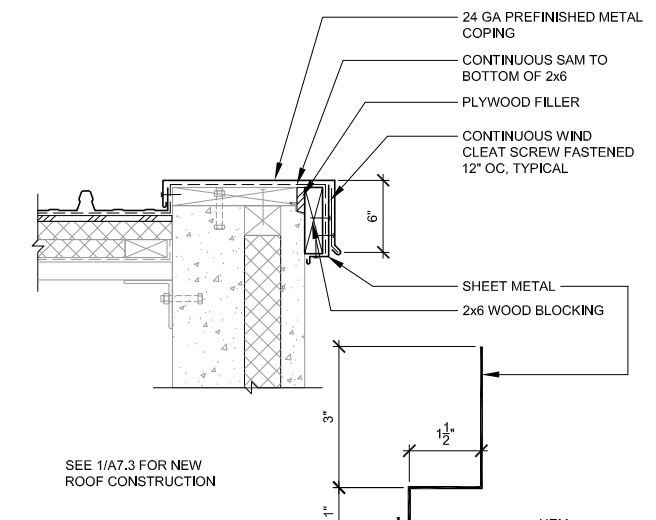
7 NEW SIDEWALL

A7.3 SCALE 3" = 1'-0" STEEP SLOPE METAL ROOFS



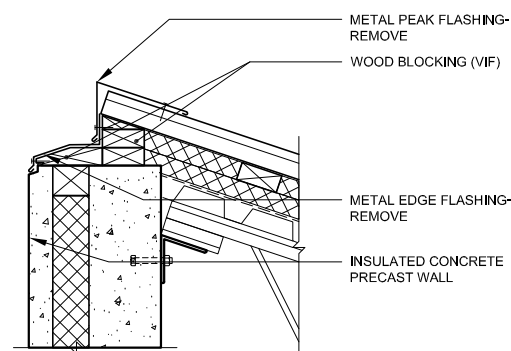
6 EXISTING RAKE

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



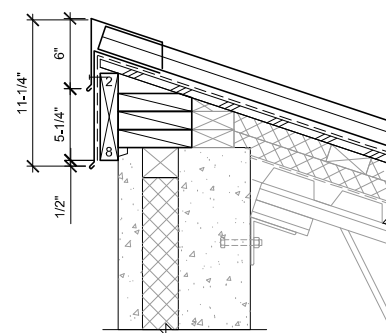
5 NEW RAKE

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



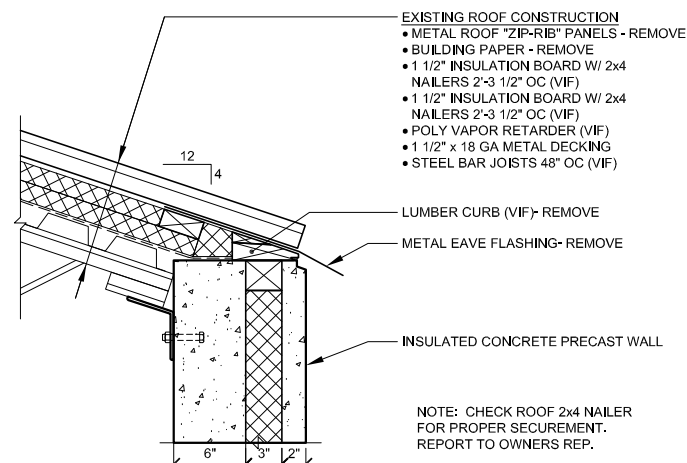
4 EXISTING PEAK

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



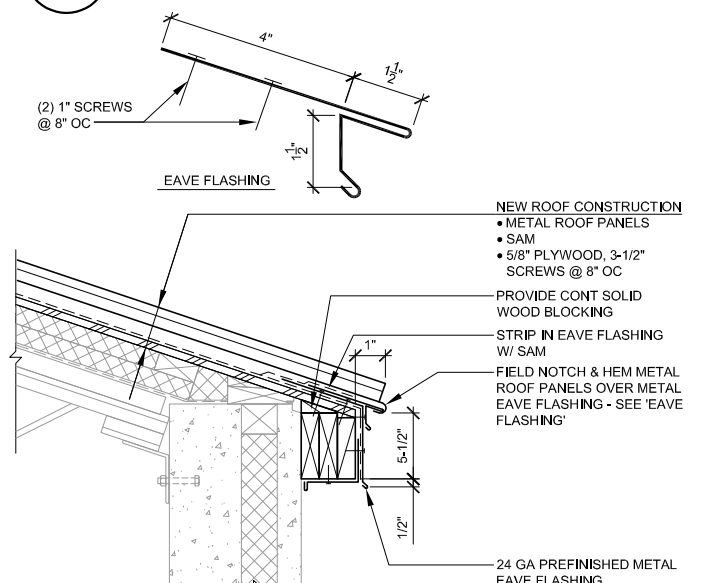
3 NEW PEAK

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



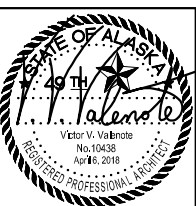
2 EXISTING EAVE

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



1 NEW EAVE

A7.3 SCALE 1 1/2" = 1'-0" AT CONCRETE PRECAST WALLS



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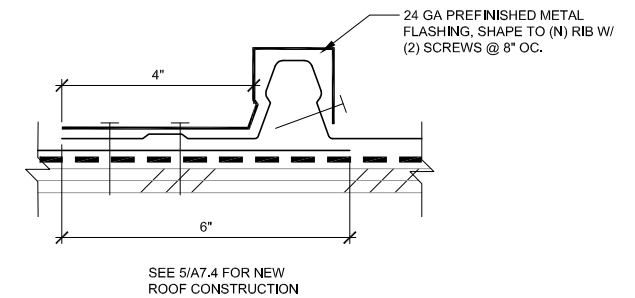
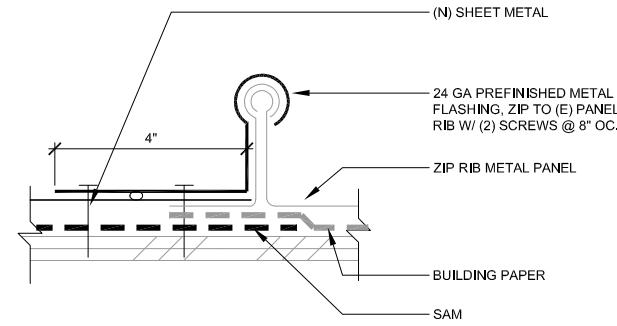
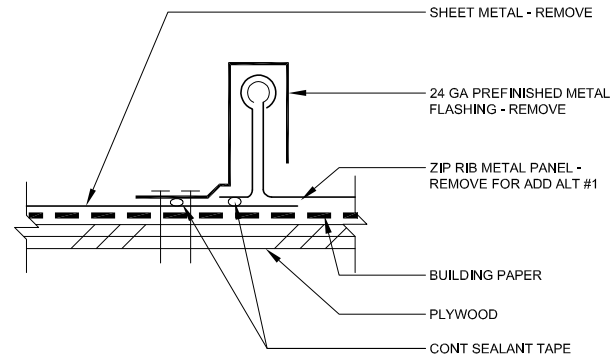
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A7.3

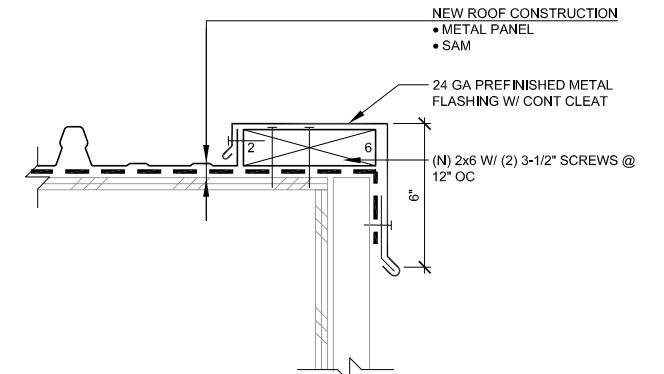
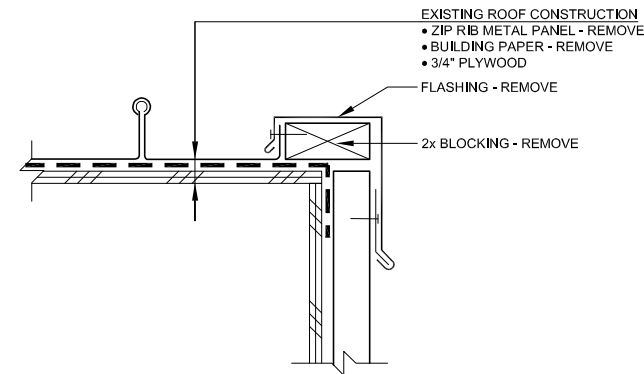
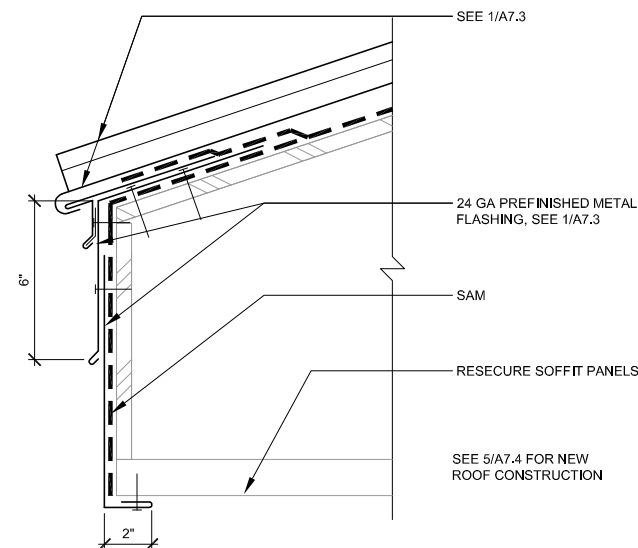
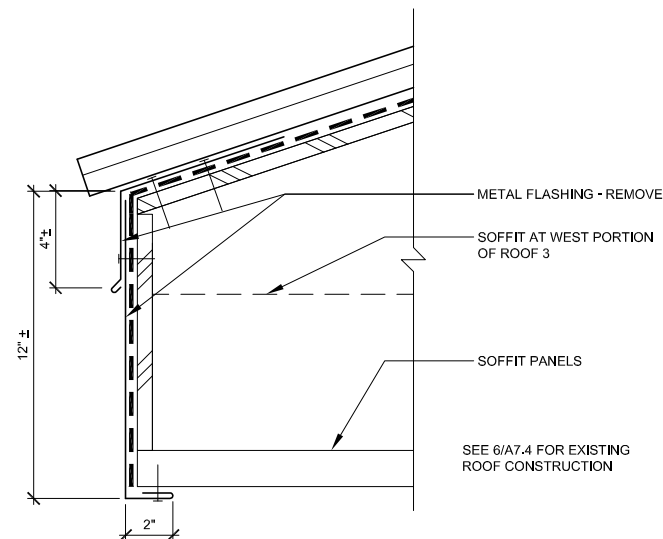


12 NOT USED
A7.4 6" = 1'-0"

11 EXISTING TRANSITION
A7.4 6" = 1'-0"

10 NEW TRANSITION
(BASE BID)
A7.4 6" = 1'-0"

9 NEW TRANSITION
(ADD ALT #1)
A7.4 6" = 1'-0"

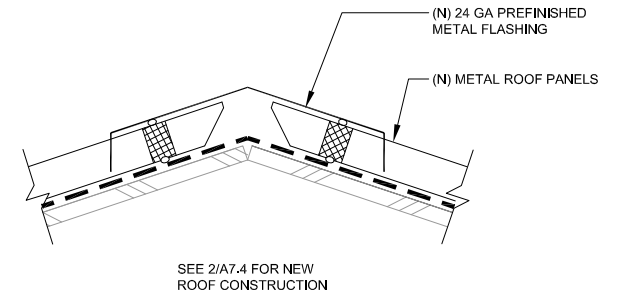
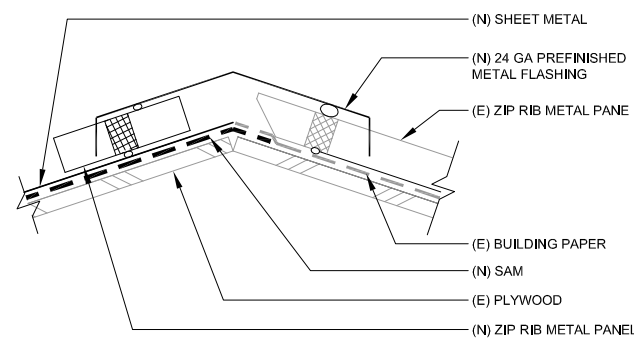
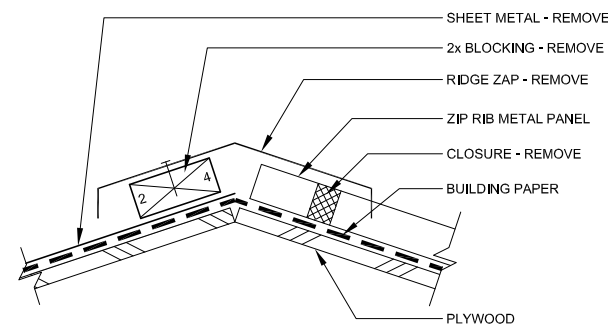


8 EXISTING EAVE
A7.4 3" = 1'-0"

7 NEW EAVE (BASE BID)
A7.4 3" = 1'-0"

6 EXISTING RAKE
A7.4 3" = 1'-0"

5 NEW RAKE (BASE BID)
A7.4 3" = 1'-0"



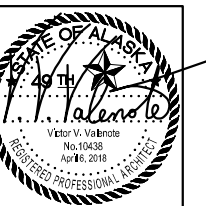
4 NOT USED
A7.4 SCALE 3" = 1'-0"

3 EXISTING RIDGE
A7.4 3" = 1'-0"

2 NEW RIDGE (BASE BID)
A7.4 3" = 1'-0"

1 NEW RIDGE (ADD ALT #1)
A7.4 3" = 1'-0"

ADD. ALT. #1



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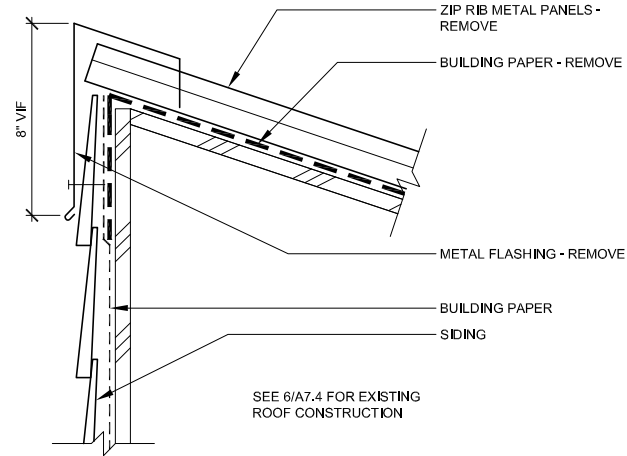
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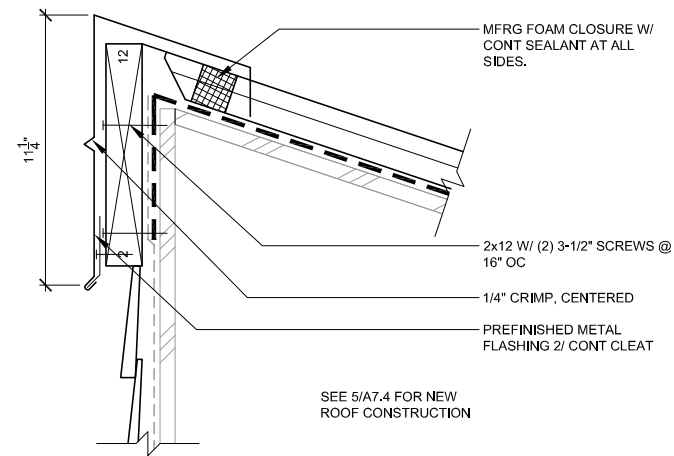
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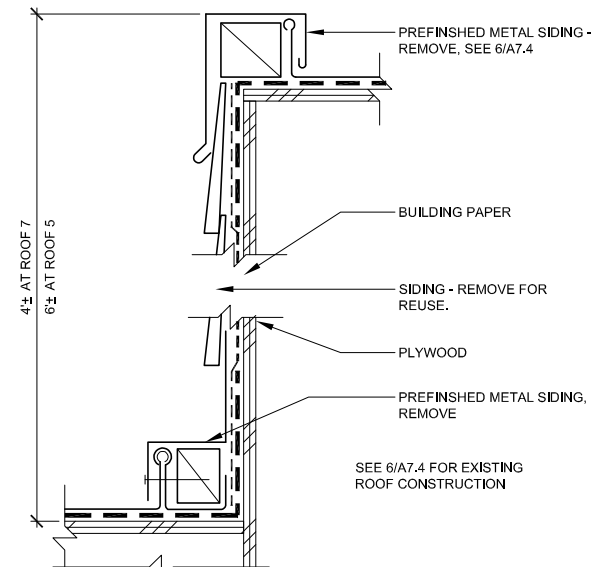
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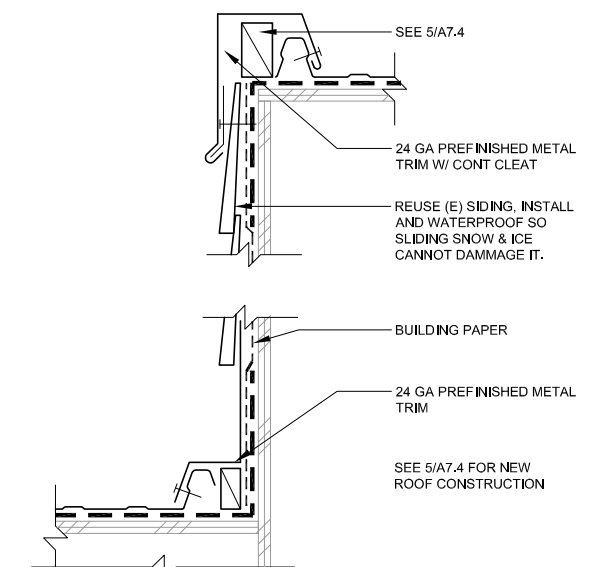
8 EXISTING PEAK
A7.4 3" = 1'-0"



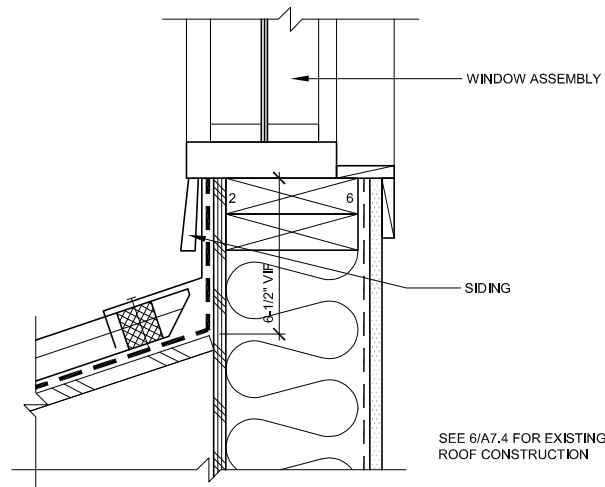
7 NEW PEAK (BASE BID)
A7.4 3" = 1'-0"



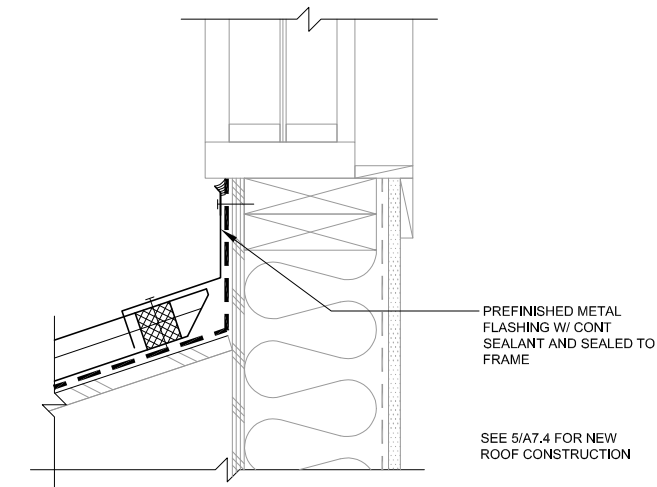
6 EXISTING SIDEWALL
A7.4 3" = 1'-0"



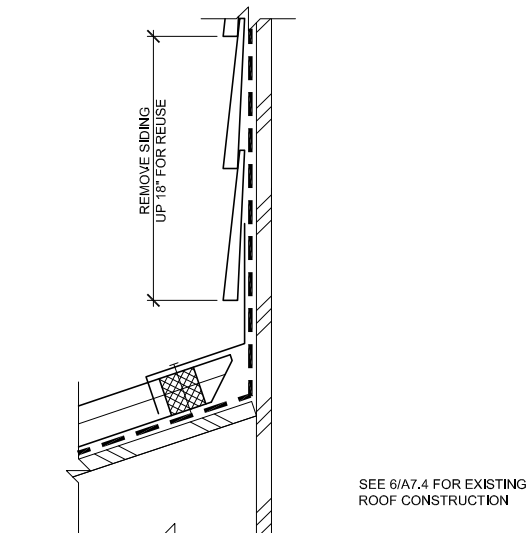
5 NEW SIDEWALL
A7.4 3" = 1'-0"



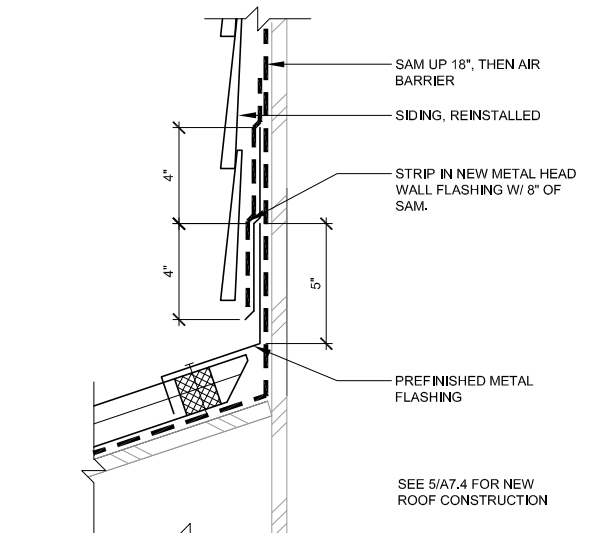
4 EXISTING WINDOW SILL @ HEAD WALL
A7.4 3" = 1'-0"



3 NEW WINDOW SILL @ HEAD WALL
A7.4 3" = 1'-0"

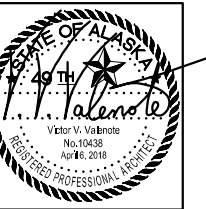


2 EXISTING SIDEWALL
A7.4 3" = 1'-0"



1 NEW SIDEWALL
A7.4 3" = 1'-0"

ADD. ALT. #1



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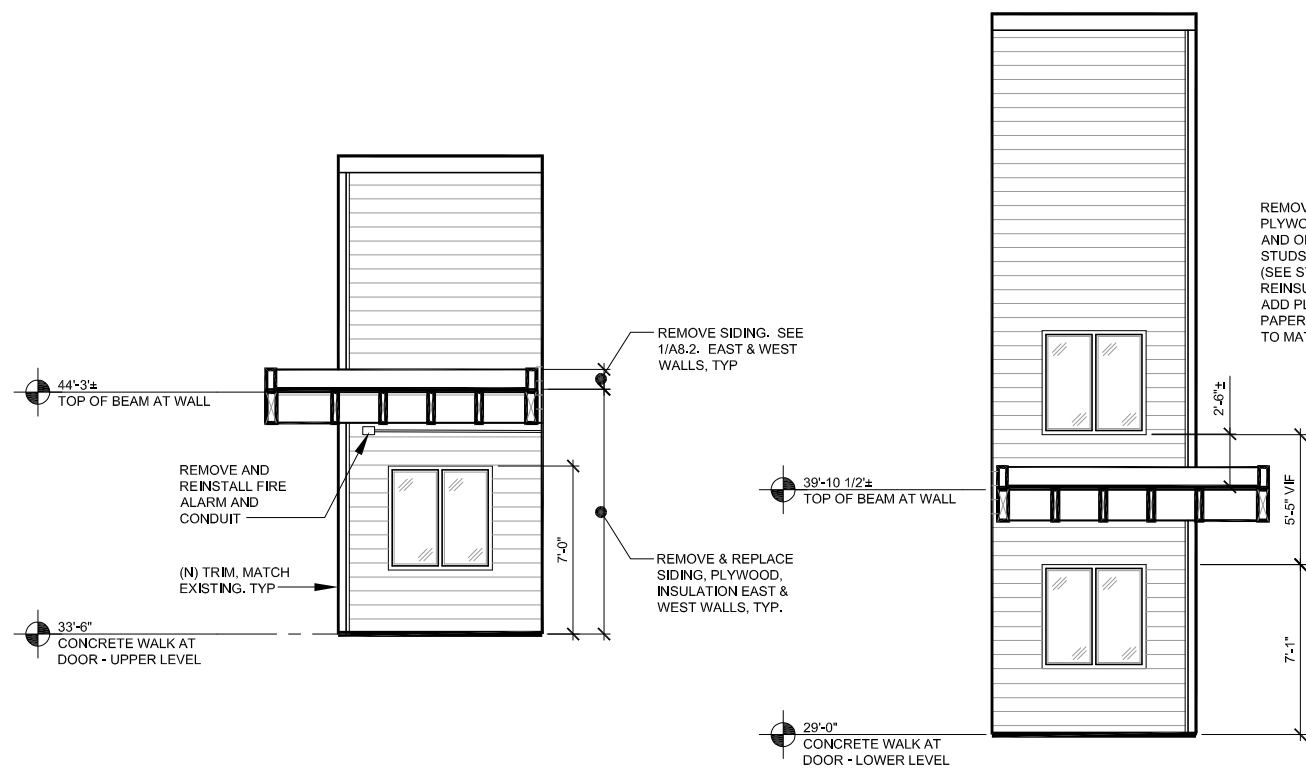
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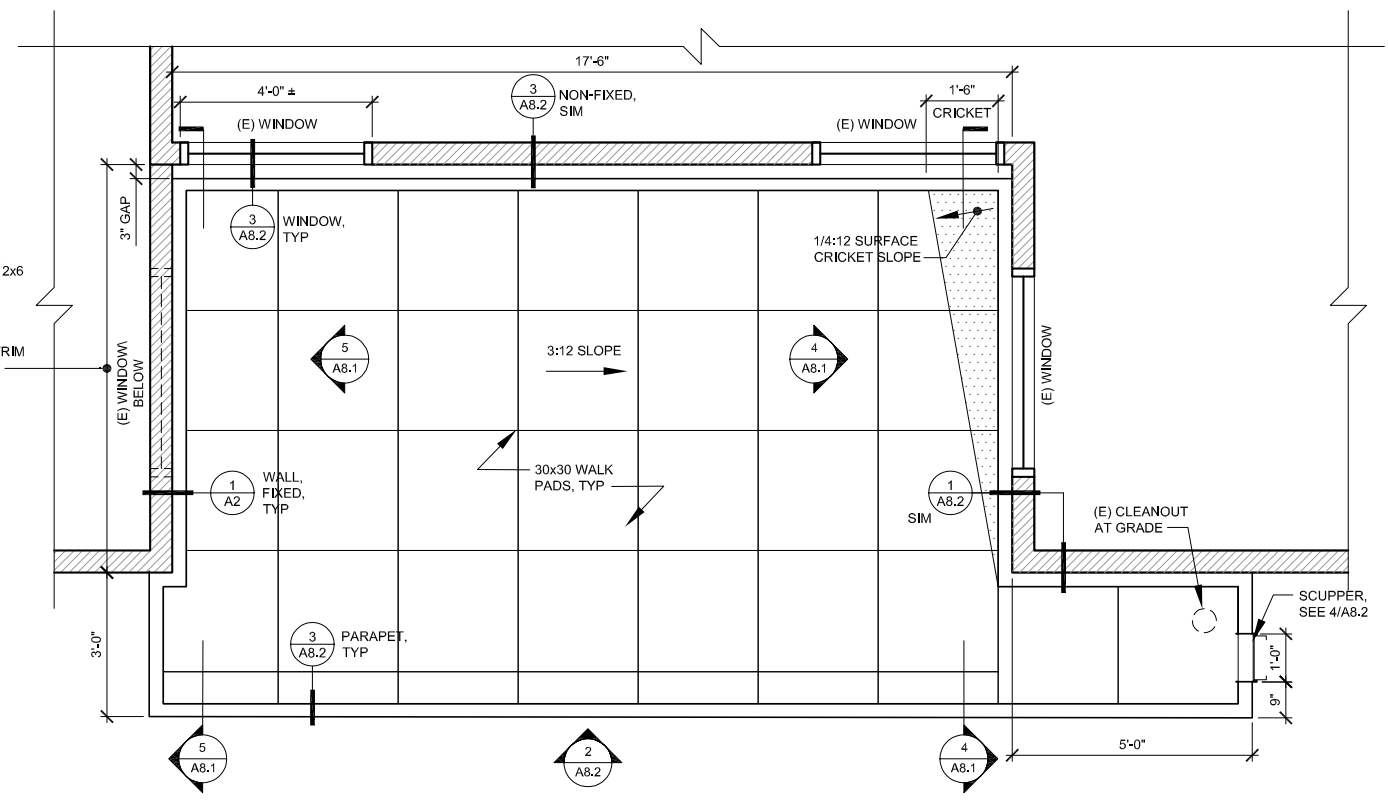
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DATE
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COM DEV -
ROOF DETAILS

A7.5

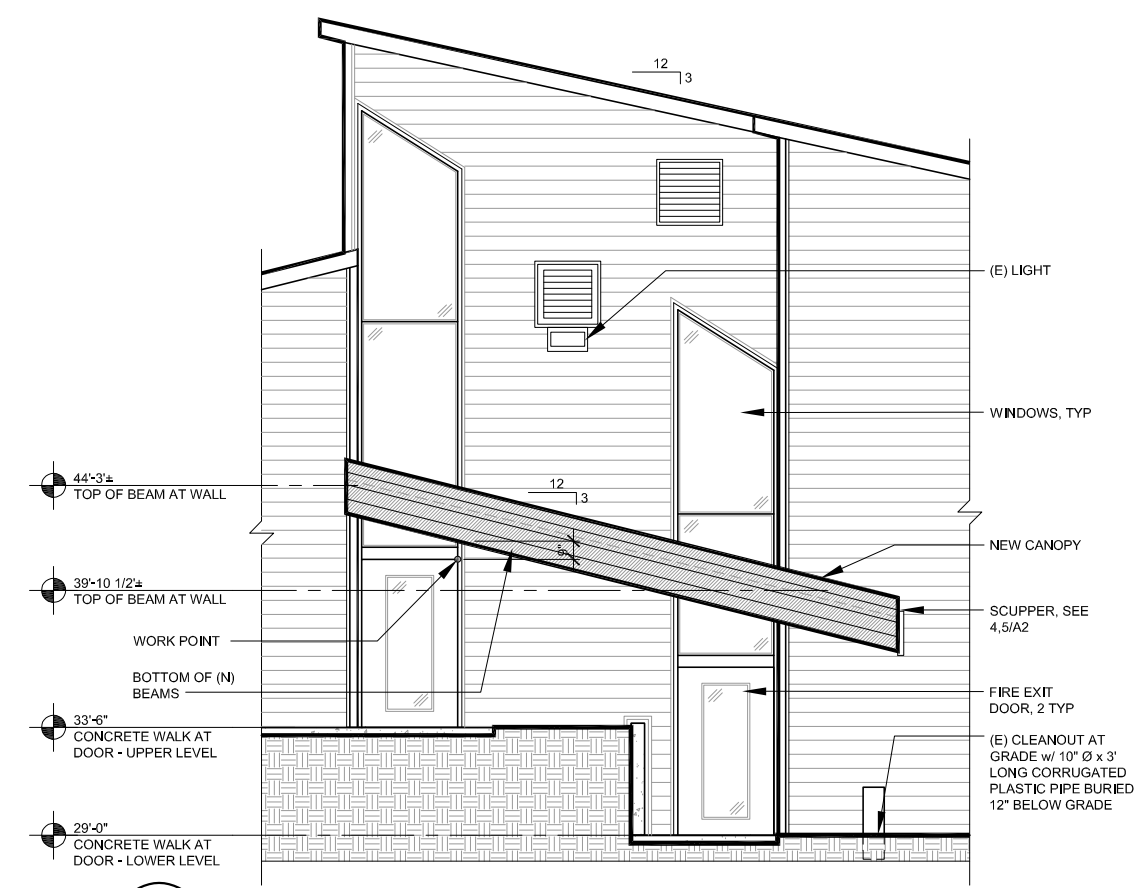


5 WEST ELEVATION
A8.1 SCALE 1/4" = 1'-0"

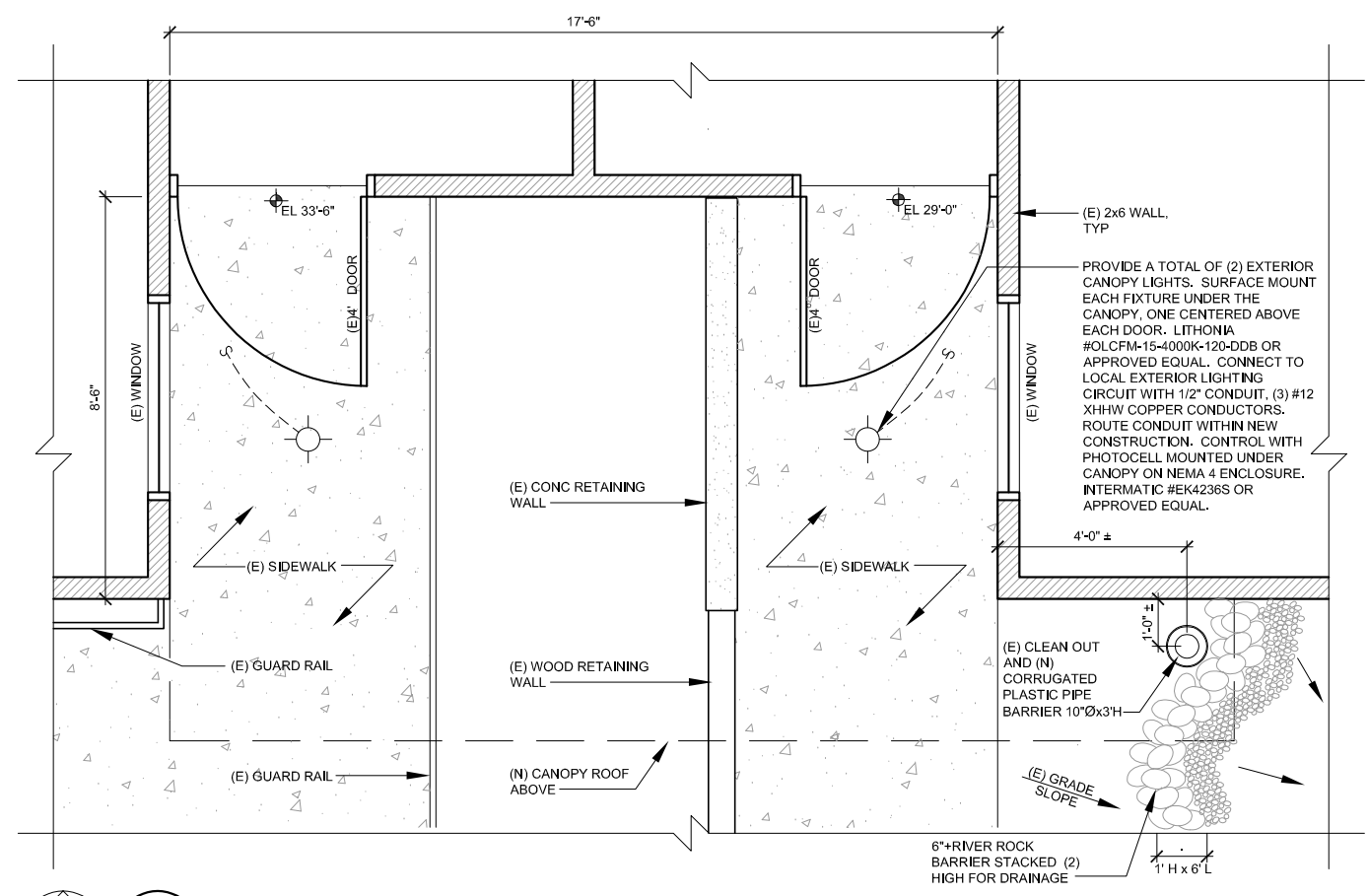
4 EAST ELEVATION
A8.1 SCALE 1/4" = 1'-0"



3 CANOPY ROOF PLAN
A8.1 SCALE 1/2" = 1'-0"



2 PARTIAL SOUTH ELEVATION
A8.1 SCALE 1/4" = 1'-0"



1 FLOOR PLAN AT ENTRY
A8.1 SCALE 1/2" = 1'-0"

ADD. ALT. #2



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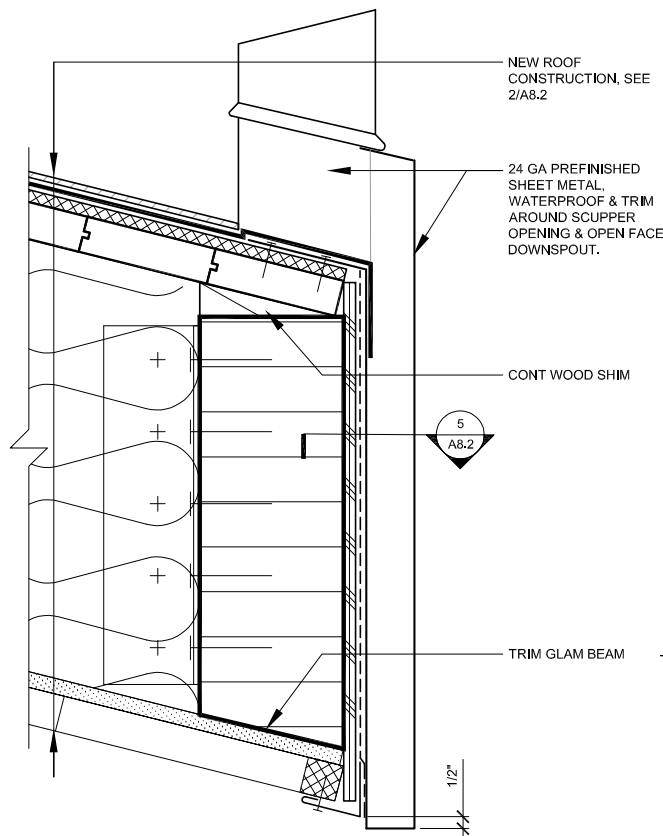
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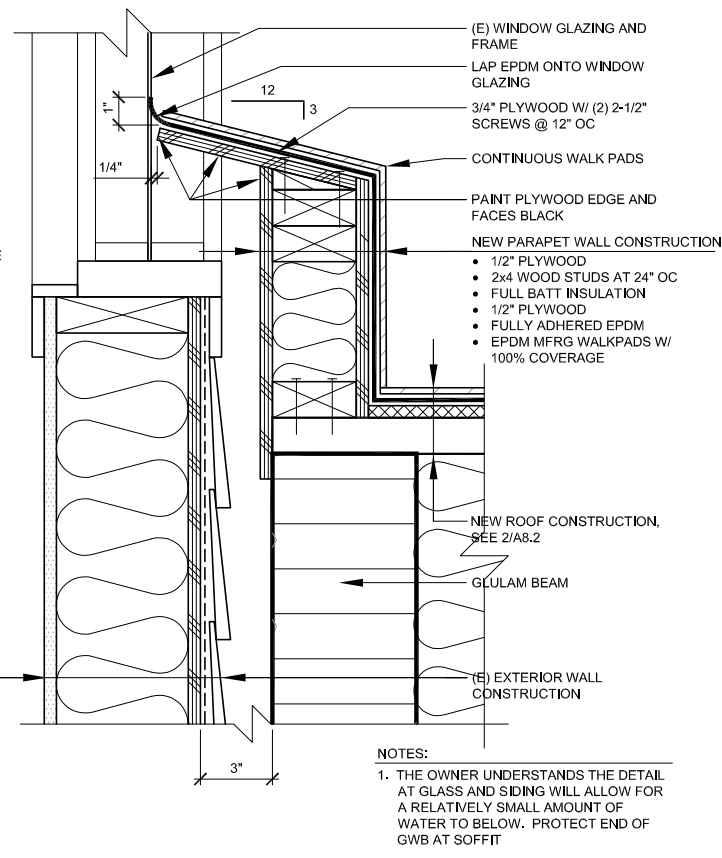
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DATE
April 6, 2018
DRAWING TITLE
SENIOR CENTER
CANOPY - PLANS

A8.1



4 SCUPPER DETAIL

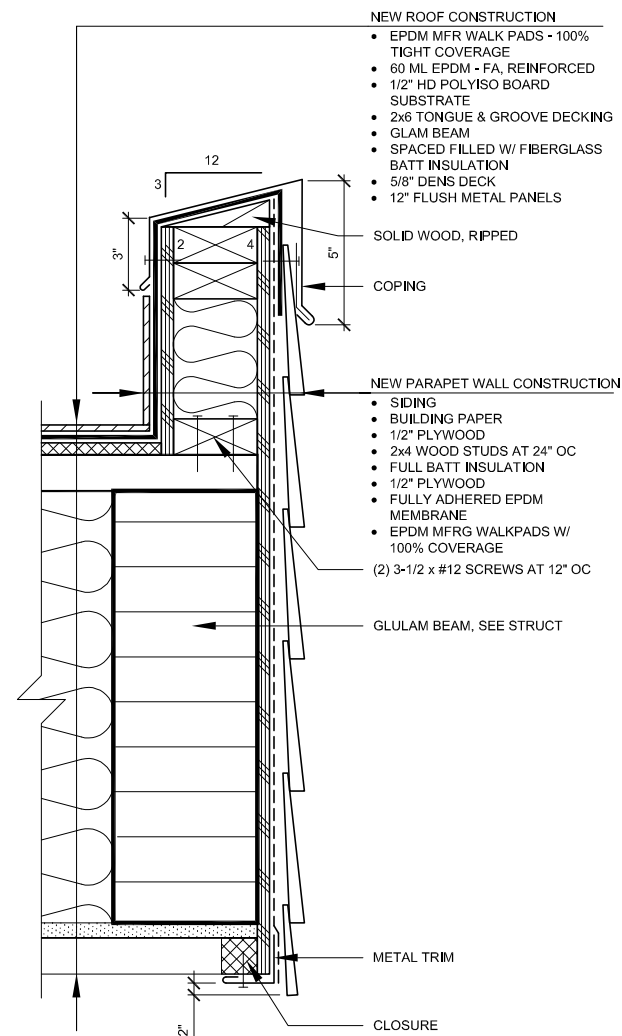
A8.2 SCALE 3" = 1'-0"



3 PARAPET DETAIL AT WINDOW

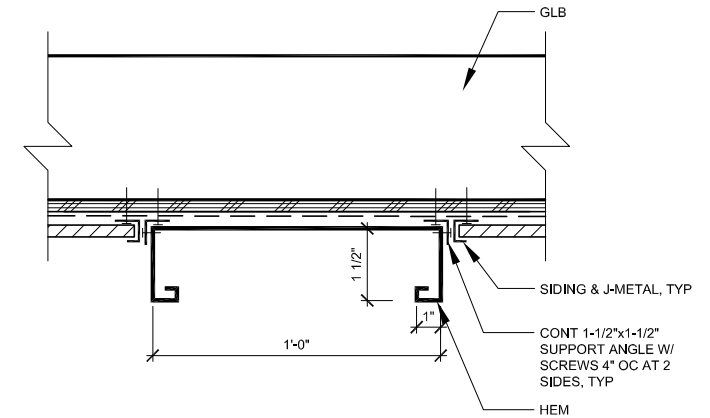
A8.2 SCALE 3" = 1'-0"

SIM AT WALL



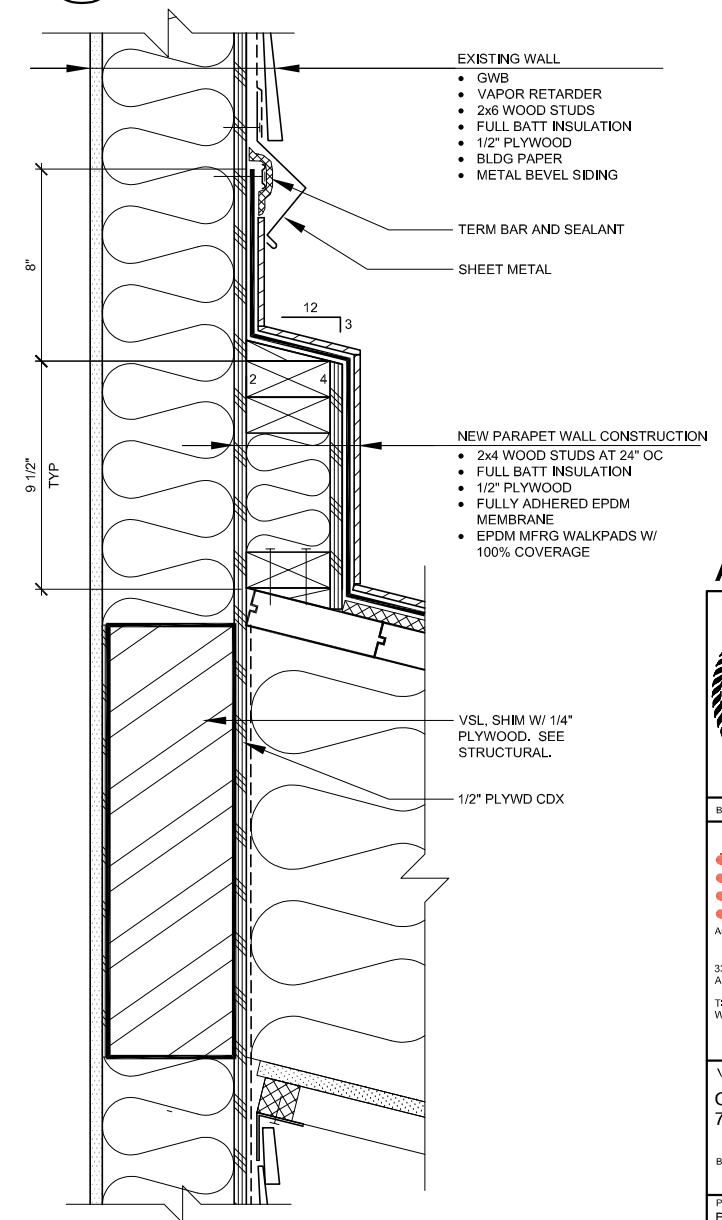
2 PARAPET DETAIL (TYP)

A8.2 SCALE 3" = 1'-0"



5 DOWNSPOUT DETAIL

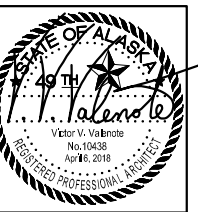
A8.2 SCALE 3" = 1'-0"



1 SIDEWALL DETAIL

A8.2 SCALE 3" = 1'-0"

ADD. ALT. #2



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VALDEZ, ALASKA
CITY OF VALDEZ
7 BUILDING ROOFS

BDS PROJECT NOs: 017002.000
017003.000
017008.000

PHASE
BID DOCUMENTS
DATE
April 6, 2018
DRAWING TITLE
SENIOR CENTER
CANOPY - DETAILS

A8.2

GENERAL
THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS AMONG THE DRAWINGS BEFORE STARTING ANY WORK OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN DRAWINGS, REFERENCE STANDARDS, SITE CONDITIONS OR GOVERNING CODE, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCIES AND OBTAIN DIRECTION PRIOR TO PROCEEDING. NOTES ON INDIVIDUAL STRUCTURAL DRAWINGS SHALL TAKE PRIORITY OVER GENERAL STRUCTURAL NOTES. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED AND ADOPTED BY THE STATE OF ALASKA.

SAFETY – THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE AND LOCAL SAFETY STANDARDS. THE CONTRACTOR IS IN CHARGE OF ALL SAFETY MATTERS ON AND AROUND THE JOB SITE.

STRUCTURAL DESIGN DATA
STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE IBC AS AMENDED AND ADOPTED BY THE STATE OF ALASKA. OCCUPANCY CATEGORY IS II IN ACCORDANCE WITH IBC SECTION 1604.5.

REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS, SLOPES, DEPRESSIONS, NON-BEARING WALLS, FASCIA, CURBS, DRAINS, RAILINGS, WATERPROOFING, FINISHES, ETC.

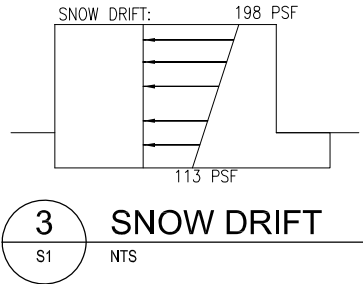
THE STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING OPERATIONAL LOADS ON THE COMPLETED STRUCTURES. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING AND BRACING DURING CONSTRUCTION.

ROOF SNOW: 134 PSF SLOPED + DRIFT AS SHOWN ON 3/S1
Is=1.0, Pg=160 PSF, Ct=1.2, Ce=1.0

WIND LOADS: BASIC WIND SPEED (3-SECOND GUST, Vult)=137 MPH,
EXPOSURE B; a=6.0'; PER ASCE 7-10, LRFD

COMPONENT AND CLADDING WIND PRESSURES		
ZONE	EWA=	10 SQ. FT.
2A – ROOF EDGE OVERHANG		-79 PSF
3A – ROOF CORNER OVERHANG		-122 PSF

SEISMIC LOADS: SITE CLASS D, DESIGN CATEGORY D,
Ss=1.5, S1=0.771, Sds=1.0, Sd1=0.771, Ie=1.0



LATERAL ANALYSIS IS LINEAR STATIC. LATERAL FORCES ARE CARRIED BY FLEXIBLE ROOF DIAPHRAGMS TO THE EXISTING WOOD SHEARWALLS. MOMENTS, SHEARS, AND ROTATIONAL FORCES ARE DELIVERED TO THE FOUNDATION BY THE EXISTING WOOD SHEARWALLS IN PROPORTION TO THEIR TRIBUTARY AREA.

EXISTING CONDITIONS
CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED EITHER ON SITE OBSERVATIONS, ORIGINAL DRAWINGS, OR WERE ASSUMED BASED ON EXPECTED CONDITIONS. IF EXISTING CONDITIONS DO NOT CLOSELY MATCH CONDITIONS SHOWN ON DRAWINGS, OR IF EXISTING MATERIALS ARE OF QUESTIONABLE OR SUBSTANDARD QUALITY, NOTIFY ENGINEER PRIOR TO COMMENCING ANY WORK.

SPECIAL INSPECTION
NO SPECIAL INSPECTION IS REQUIRED FOR THIS PROJECT.

STRUCTURAL TIMBER
MATERIALS:
DIMENSIONAL LUMBER: HEM-FIR NO. 2 OR BETTER, EXTERIOR TREATED
GLUE-LAMINATED TIMBER: DF/DF, 24F-V8, INDUSTRIAL GRADE, EXTERIOR TREATED
ENGINEERED LUMBER: 2.0E VSL, EXTERIOR TREATED
DECKING: DOUG-FIR SELECT DEX

THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL TIMBER MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR REVIEW OF THE ENGINEER.

SECURE EACH DECKING PLANK TO SUPPORTING MEMBERS WITH (2) PREDRILLED #10 X 4" EXTERIOR DECKING SCREWS.

ALL NAILS SHALL BE COMMON WIRE NAILS, UNLESS NOTED OTHERWISE. NAILING SHALL CONFORM TO TABLE 2304.9.1 OF THE IBC. MINIMUM NAIL DIMENSIONS ARE AS FOLLOWS:

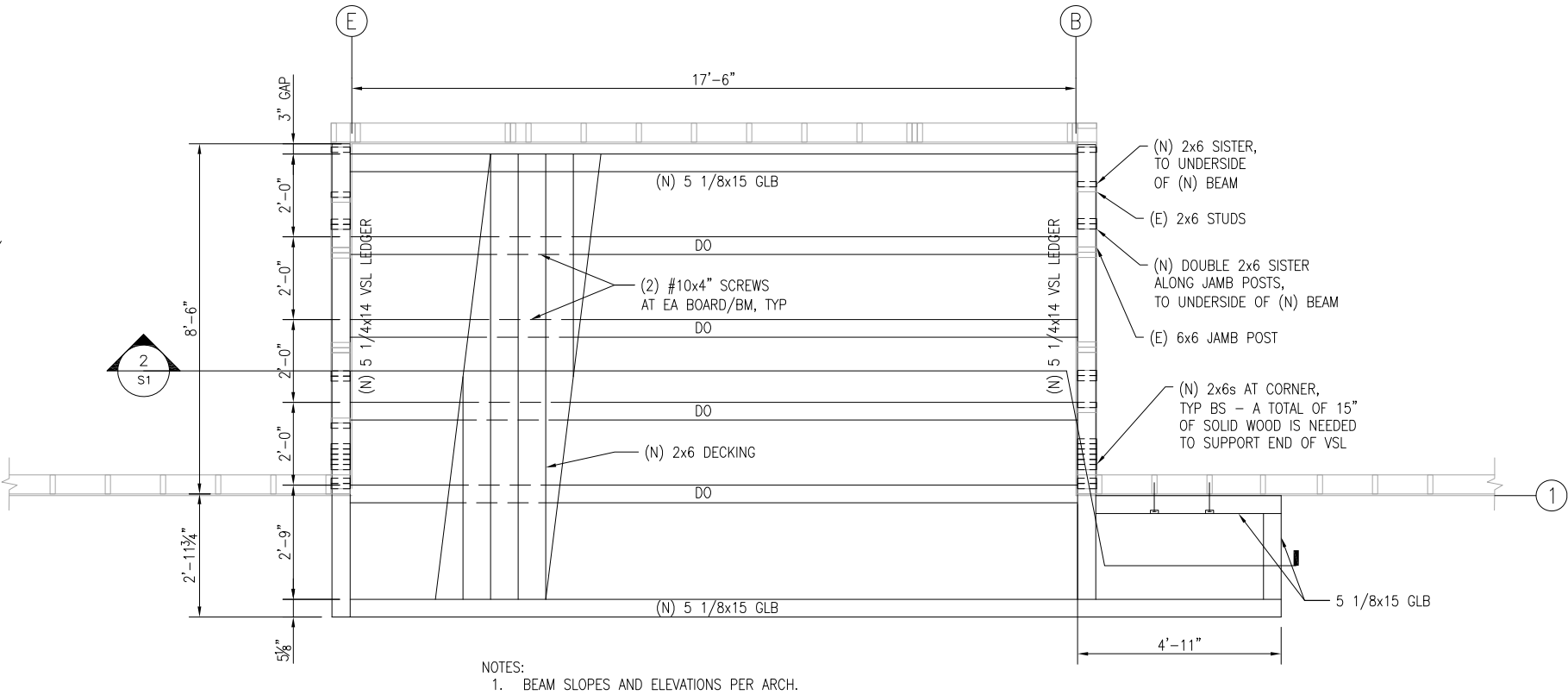
NAIL SIZE, PENNY WT	LENGTH, INCHES	DIAMETER, INCHES
8d	2-1/2	0.131
10d	3	0.148
16d	3-1/2	0.162

NAILS OR STAPLES SHALL BE DRIVEN FLUSH; HEADS SHALL NOT BE DRIVEN BEYOND TIMBER SURFACE. STANDARD ASTM A307 BOLTS SHALL BE USED IN STD HOLES. WASHERS SHALL BE USED UNDER ALL BOLT HEADS AND NUTS CONTACTING WOOD.

ALL AWW LUMBER MUST BE PRESSURE TREATED IN ACCORDANCE WITH AWWA U1 STANDARD:
CAT UC2 FOR INTERIOR CONST NOT IN CONTACT WITH GROUND
CAT UC3b FOR EXTERIOR CONST NOT IN CONTACT WITH GROUND

TIMBER FASTENERS USED TO FASTEN AWW SHALL BE HOT-DIP GALVANIZED OR STAINLESS STEEL.

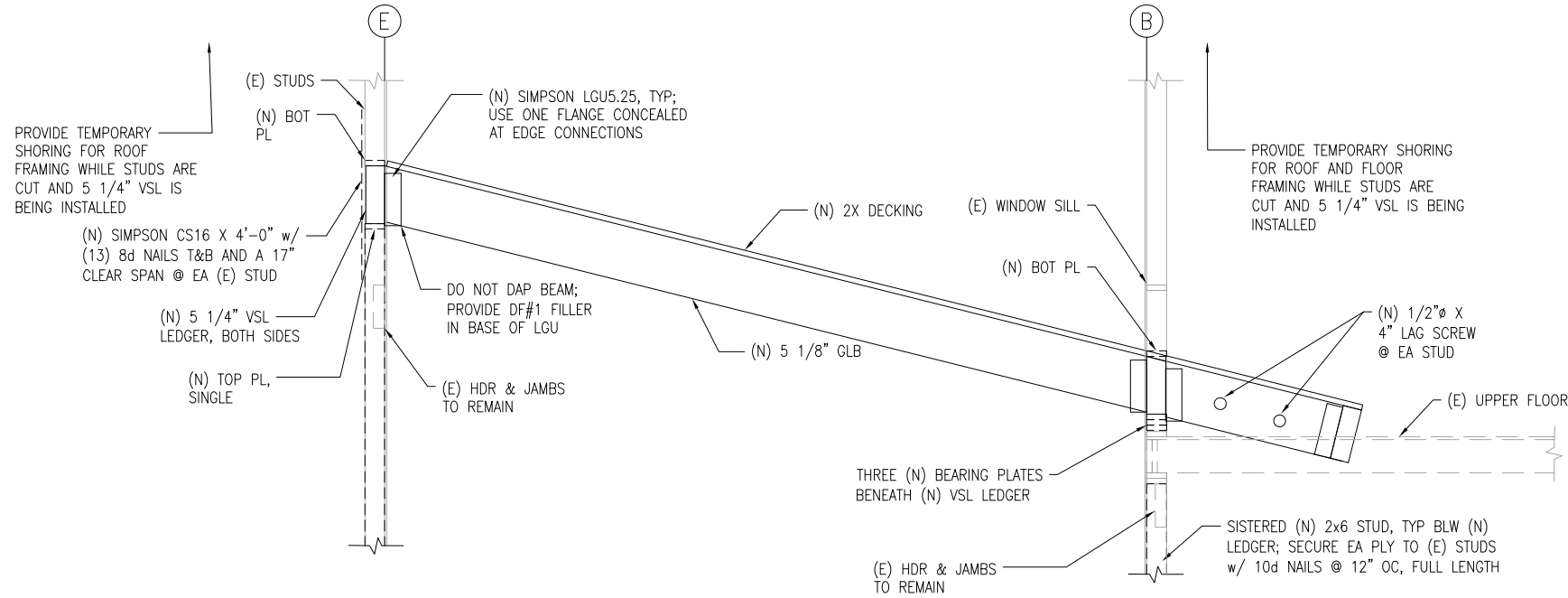
PRE-MANUFACTURED HARDWARE SHALL BE SIMPSON OR APPROVED EQUAL AND SHALL BE HOT-DIP GALVANIZED OR STAINLESS STEEL.



NOTES:
1. BEAM SLOPES AND ELEVATIONS PER ARCH.

1 CANOPY PLAN

SCALE 1/2" = 1'-0"



2 CANOPY SECTION

SCALE 1/2" = 1'-0"

Reid Middleton

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DRAWING TITLE
SENIOR CENTER
CANOPY
STRUCTURAL

S1