



City of Valdez

212 Chenega Ave.
Valdez, AK 99686

Meeting Agenda - Final

Planning and Zoning Commission

Wednesday, May 13, 2026

7:00 PM

Council Chambers

Regular Meeting

REGULAR AGENDA - 7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. [Planning & Zoning Commission Meeting Minutes from April 22, 2026.](#)

IV. PUBLIC BUSINESS FROM THE FLOOR

V. PUBLIC HEARINGS

1. [Public Hearing CUP 26-01: Application from City of Valdez for a Conditional Use Permit for a Well House \(Utility, Class I\)](#)
2. [Public Hearing CUP 26-02: Application from the City of Valdez for a Conditional Use Permit for a Child Care Facility](#)

VI. NEW BUSINESS

1. [Approval of Final Plat for Mineral Creek Koch Subdivision - a Re-Plat of Lot 7A Block 8 MineralCreek Subdivision, Plat #2001-3.](#)
2. [Approval of Conditional Use Permit 26-01 - A Request from the City of Valdez for a Conditional Use Permit to Allow a Well House \(Utility Class 1\) on a Portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12](#)
3. [Approval of Conditional Use Permit 26-02 - A Request from the City of Valdez for a Conditional Use Permit to Allow a Child Care Facility on a Portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12, and Adopt Findings](#)
4. [Approval of Amendment to Temporary Land Use Permit 26-03 for Chugach Outfitters, LLC for an up to 25-acre portion of City of Valdez owned land at the Valdez Pipe Yard \(USS 439\) for up to 90 days from May-September 2026 with conditions.](#)

VII. REPORTS

1. Community Development Director's Report

VIII. COMMISSION BUSINESS FROM THE FLOOR

IX. ADJOURNMENT



Legislation Text

File #: 26-0215, **Version:** 1

ITEM TITLE:

Planning & Zoning Commission Meeting Minutes from April 22, 2026.

SUBMITTED BY: Jared Chase Administrative Assistant

FISCAL NOTES:

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

RECOMMENDATION:

N/A

SUMMARY STATEMENT:

Minutes from the regular Planning & Zoning Commission Meeting that was held April 22, 2026.

City of Valdez

*212 Chenega Ave.
Valdez, AK 99686*



Minutes - Draft

Wednesday, April 22, 2026

7:00 PM

Regular Meeting

Council Chambers

Planning and Zoning Commission

REGULAR AGENDA - 7:00 PM

I. CALL TO ORDER

II. ROLL CALL

Present 6 - Commission Chair Donald Haase
Commission Member Rhonda Wade
Commission Member Stephen Goudreau
Commission Member Maureen Radotich
Commission Member Christopher Moulton
Commission Member Kristian Fagerberg

Absent 1 - Commission Member Caleb Metroka

Also Present 1 - Community Development Director Kate Huber
Administrative Assistant Jared Chase
Senior Planner Paul Nylund
Senior Planner Bruce Wall

III. APPROVAL OF MINUTES

1. Planning & Zoning Commission Meeting Minutes April 8th, 2026.

Minutes were approved.

IV. PUBLIC BUSINESS FROM THE FLOOR

No public business from the floor was present.

V. PUBLIC HEARINGS

1. Public Hearing: Proposed Repeal and Reenactment of the Title 16 Subdivision Code

No comments were made during the public hearing.

VI. NEW BUSINESS

1. Approval of Temporary Land Use Permit #26-07 for Alyeska Pipeline Service Company, Agent for TAPS Owners, for an Approximately 2.5-acre Portion of Tract B & E Section 34 ASCS 98-30 (Brown’s Creek) Per Plat 2016-7 Owned by the City of Valdez

MOTION: Commission Member Wade moved, seconded by Commission Member Fagerberg, to Approve temporary land use permit #26-07 for Alyeska Pipeline Service Company, agent for TAPS owners for an approximately 2.5-acre portion of Tract B & E Section 34 ASCS 98-30 (Brown's Creek) per Plat 2016-7.

DISCUSSION: Peter Nagel was present representing the applicant. Nagel outlined the timeline for expected work for the TLUP.

VOTE ON MOTION

Yay: 6 - Goudreau, Wade, Haase, Radotich, Moulton, and Fagerberg
Absent: 1 - Metroka

MOTION CARRIED

2. Approval of Recommendation to City Council to Repeal and Reenact Title 16 of the Valdez Municipal Code Titled Subdivisions

MOTION: Commission Member Wade moved, seconded by Commission Member Fagerberg, to Approve recommendation to City Council to repeal and reenact Title 16 of the Valdez Municipal Code Titled Subdivisions.

DISCUSSION: Community Development Director Kate Huber and some members of the consultant team were present and gave a short presentation summarizing the goals and changes included in the draft Title 16 code. Commissioners discussed some highlights and held a discussion about the ordinance prior to voting on the recommendation.

MOTION TO AMEND: Commission Member Goudreau moved, seconded by Commission Member Wade, to amend their recommendation to City Council to include an amendment on a portion of the ordinance, changing the wording on line 944 concerning cross slopes on gravel roads and add a maximum that is not greater than 6 percent.

DISCUSSION: Commission Member Wade pointed out to the commission that adding a maximum amount would greatly help when it comes to plowing these roads.

VOTE ON MOTION TO AMEND

Yay: 6 - Goudreau, Wade, Haase, Radotich, Moulton, and Fagerberg
Absent: 1 - Metroka

MOTION TO AMEND CARRIED

MOTION TO AMEND: Commission Member Fagerberg moved, seconded by Commission Member Wade, to amend their recommendation to the City Council to include an amendment on a portion of the ordinance, changing on lines 824, 1074, and 1161 (or throughout the document) that any reference to required snow storage being deeded to the city be changed to a requirement that all required snow storage be dedicated.

DISCUSSION: Commissioners discussed the reasons for deeding snow storage lots to

the city. Some discussion about changing the words ‘shall deed the snow storage lot’ to ‘may deed the snow storage lot’. Ultimately the commission decided that changing the wording deemed to dedicated would alleviate ownership concerns brought up by the commission.

VOTE ON MOTION TO AMEND

Yay: 4 - Wade, Radotich, Moulton, and Fagerberg
Nay: 2 - Goudreau, and Haase
Absent: 1 - Metroka

MOTION TO AMEND CARRIED

VOTE ON ORIGINAL MOTION WITH AMENDMENTS

Yay: 6 - Goudreau, Wade, Haase, Radotich, Moulton, and Fagerberg
Absent: 1 - Metroka

MOTION CARRIED

VII. REPORTS

1. Community Development Director’s Report

Director Huber gave project updates and outlined the timeline for various projects that Community Development staff are working on.

VIII. COMMISSION BUSINESS FROM THE FLOOR

No commission business from the floor was presented.

IX. ADJOURNMENT



Legislation Text

File #: 26-0216, **Version:** 1

ITEM TITLE:

Public Hearing CUP 26-01: Application from City of Valdez for a Conditional Use Permit for a Well House (Utility, Class I)

SUBMITTED BY: Bruce Wall, Senior Planner

FISCAL NOTES:

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

RECOMMENDATION:

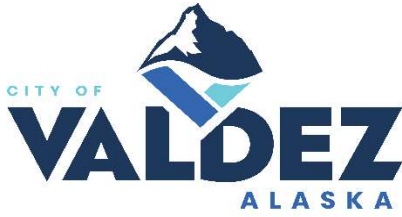
Public Hearing Only

SUMMARY STATEMENT:

The purpose of this hearing is to allow the public to comment on an application for a Conditional Use Permit. The application was submitted by the City of Valdez for a well house (utility, class 1) adjacent to Whalen Avenue.

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: TBD Whalen Avenue
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Whalen Drive

Notice of the meeting was published on the City of Valdez website on April 27, 2026. Notice of the meeting was mailed on April 29, 2026, to the 78 property owners within 300 feet of the property. A document holder was posted on Whalen Drive with public notice flyers on April 29, 2026.



CITY OF VALDEZ CONDITIONAL USE PERMIT APPLICATION

<i>Office Use Only</i>	
Application Number	<u>26-01</u> Date Received <u>3/31/2026</u>
Initials	<u>bw</u>

APPLICANT INFORMATION

Name Scott Benda

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

PROPERTY

Address 1112 W. Klutina Street

Legal Description Lot 7, Evergreen Vista Addition No. 1, Plat 80-12

PROPERTY OWNER INFORMATION (If different from applicant)

Name City of Valdez

Phone _____

Email _____

Mailing Address _____

REPRESENTATIVE INFORMATION (If applicable)

Name _____

Phone _____

Email _____

Mailing Address _____

ADDITIONAL MATERIALS REQUIRED (the following must be submitted when applying for a CUP)

- Narrative** – Provide a narrative that describes the location, proposed use(s), proposed site improvements, zoning district, existing and proposed building sizes, proposed density (as applicable), parking and access, and environmental conditions on and adjacent to the subject site.

List the conditional use review criteria and provide a response describing how the proposal complies with those criteria. VMC 17.12.090(C)

List all the specific use standards (VMC 17.80) that are applicable to the proposal and provide a response describing how the proposal complies with those standards.

- Plan Set** – May be required when the proposed use includes new buildings or site improvements. At the discretion of the Community Development Director, the plan set may include property survey, site plan, subdivision plat, grading and drainage plan, utilities plan and building elevations.

- Technical Studies** – May be required, at the discretion of the Community Development Director, to demonstrate compliance with the review criteria. These may include, but are not limited to, traffic studies, drainage studies, noise and vibration studies, and/or visual impact studies.

- Snow Storage Plan** – (VMC 17.88.030)

Scott Benda Digitally signed by Scott Benda
Date: 2026.03.31 14:48:49 -08'00'

Applicant Signature

3/31/26

Date

(Your signature above certifies that all information included on this form and the required additional materials are accurate.)

ADDITIONAL INFORMATION

Forms may be emailed to communitydevelopment@valdezak.gov or dropped off at the Community Development window in City Hall. For a fillable PDF form, visit www.valdezak.gov.

QUESTIONS?

Call the Community Development Department at 907-834-3401 or email communitydevelopment@valdezak.gov

VMC 17.12.090

C. Approval Criteria. The planning and zoning commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request. The planning and zoning commission may require the applicant to submit whatever reasonable evidence may be needed to protect the public interest.

The new well house is needed as well #4 cannot keep up with water demand during the summer when the canneries are running at full capacity during the summer month. The new well #5 will provide a back up to well #4 and eventually allow for well #4 to be rehabilitated without creating a break in service. The new well #5 will be used in a lead/lag configuration with well #4.

1. Criterion 1: Site Suitability. The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The planning and zoning commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors.

The existing location for well #5 was chosen after exhaustive study by the design team. The site is located near the water tank on Meals Hill and will tie into existing water piping that was installed during the Whalen Ave construction project. The site is owned by the City of Valdez and has proven to have adequate capacity in the aquifer to support the water demand needs of the new well.

2. Criterion 2: Utility, Sanitation, and Public Service Needs. The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection, public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements.

The new well directly improves sanitation by providing another source of potable water for use by the public. The new well adds much needed redundancy to the existing water system and will mediate a water supply problem that has been getting worse over the past 15 years. Adequate electrical power is available to power the facility from the existing grid. This facility does not include an onsite restroom. The interior of the facility is not open to the public. Fire protection for the new facility complies with current building codes.

3. Criterion 3: Zoning District Standards. With the exception of planned unit developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone it which it is. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application.

The design has properly addressed the required setbacks, existing underground utilities, vehicle and pedestrian traffic and snow storage.

4. Criterion 4: Specific Use Standards. The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80.

N/A

5. Criterion 5: Comprehensive Plan Consistency. The proposed conditional use and its associated site improvement(s) shall be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale.

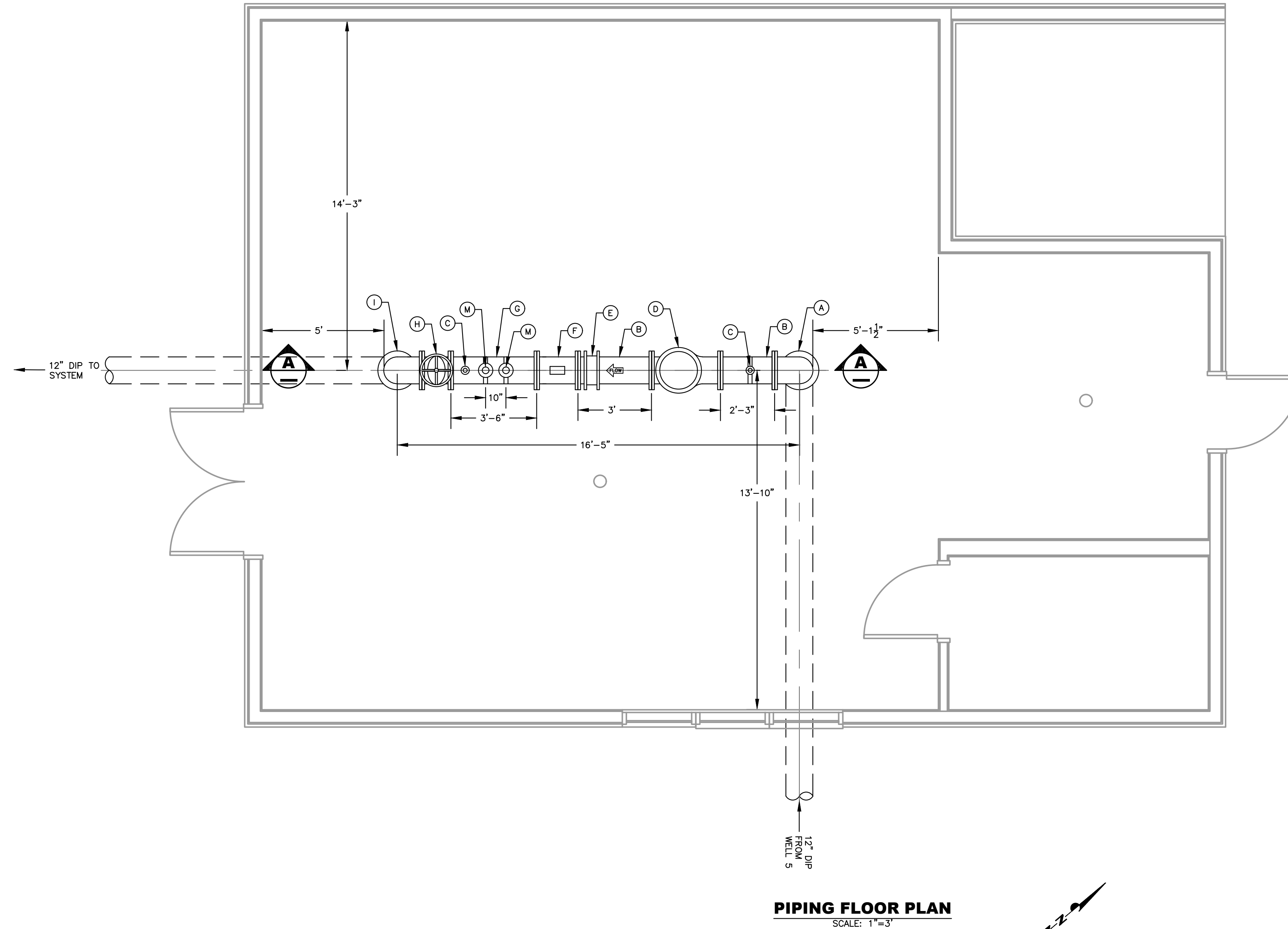
This project complies with the criteria in this section.

6. Criterion 6: Nuisance Mitigation. The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage.

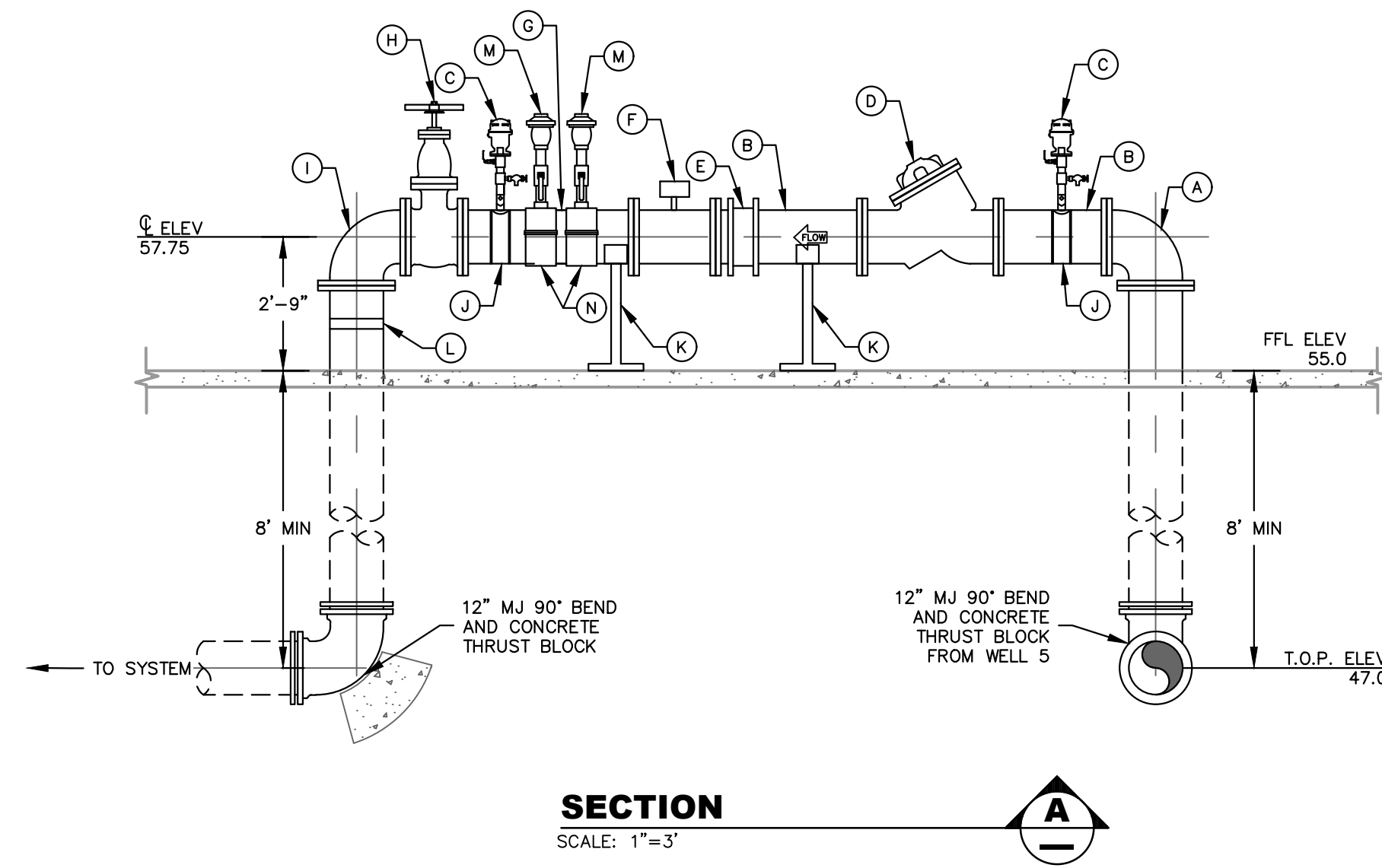
The well house will not create excessive noise as the pump is located underground inside the well case and the other equipment is inside the building. The back up generator will only run during routine testing times during daylight hours or when there is a power outage. The lighting on the well house is limited to exterior doors and light fixtures are not placed at an excessive height. Vibration is not an issue. Traffic to the well house will be limited to maintenance personnel. At some point in the future a public water dispenser may be installed to allow people to fill portable water tanks for domestic use at properties not served by city water or an onsite well. Traffic will be minimal as there are not many residences in Valdez that do not have water available. Outdoor materials are not stored outside well houses during routine operations.

7. Criterion 7: Access and Circulation. The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

Drawing C3 shows the access off Whalen Ave to the new well house. The paved area around the well house is visible on the drawing. This facility will see limited automobile traffic. Impact to pedestrian or cycling traffic is nonissue.



PIPING FLOOR PLAN
SCALE: 1"=3'



SECTION
SCALE: 1"=3'

MATERIALS LIST		
ITEM	QTY	DESCRIPTION
A	1	12" DI FL 90
B	2	12" DI FLxPE SPOOL
C	2	2" COMBINATION AIR VALVE WITH SAMPLE TAP
D	1	12" CHECK & BOOSTER PUMP CONTROL VALVE (BERMAD 740 EN)
E	1	12" REST. FL ADAPT. (ROMAC RFCA)
F	1	12" MAG METER (BADGER M2000)
G	1	12" DI FLxFL SPOOL
H	1	12" OS&Y FL RES. WEDGE GATE VALVE (AFC 2500)
I	1	12" DI FL 90
J	2	2" DOUBLE STRAP TAPPING SLEEVE
K	1	PIPE SUPPORT
L	1	1 1/2" SERVICE SADDLE
M	2	2" BERMAD PRESSURE RELIEF VALVES (SEE DETAIL SHEET 3/D1)
N	2	12"x2" STAINLESS SADDLES

NOTE:
 1) SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL SHEETS FOR BUILDING DETAILS.
 2) FEDERAL SAFETY BLUE SHERWIN-WILLIAMS MACROPOXY EPOXY FOR POTABLE WATER OR EQUAL, 2 COATS AND 10 MILS MINIMUM ON ALL EXPOSED POTABLE WATER PIPING AND FITTINGS.

DATE	BY	REVISION
9/3/2025	MU	ITEM L MOVED TO OTHER SIDE OF CHECK VALVE AND CHANGED SIZE
9/23/2025	MU	ADDED NOTE FOR PAINT ELEVATIONS ADDED
10/31/2025	MU	ELEVATIONS ADDED

BUILDING PIPING PLAN AND SECTION

NEW WELL 5 PUMPING STATION
VALDEZ, ALASKA

TITLE PROJECT

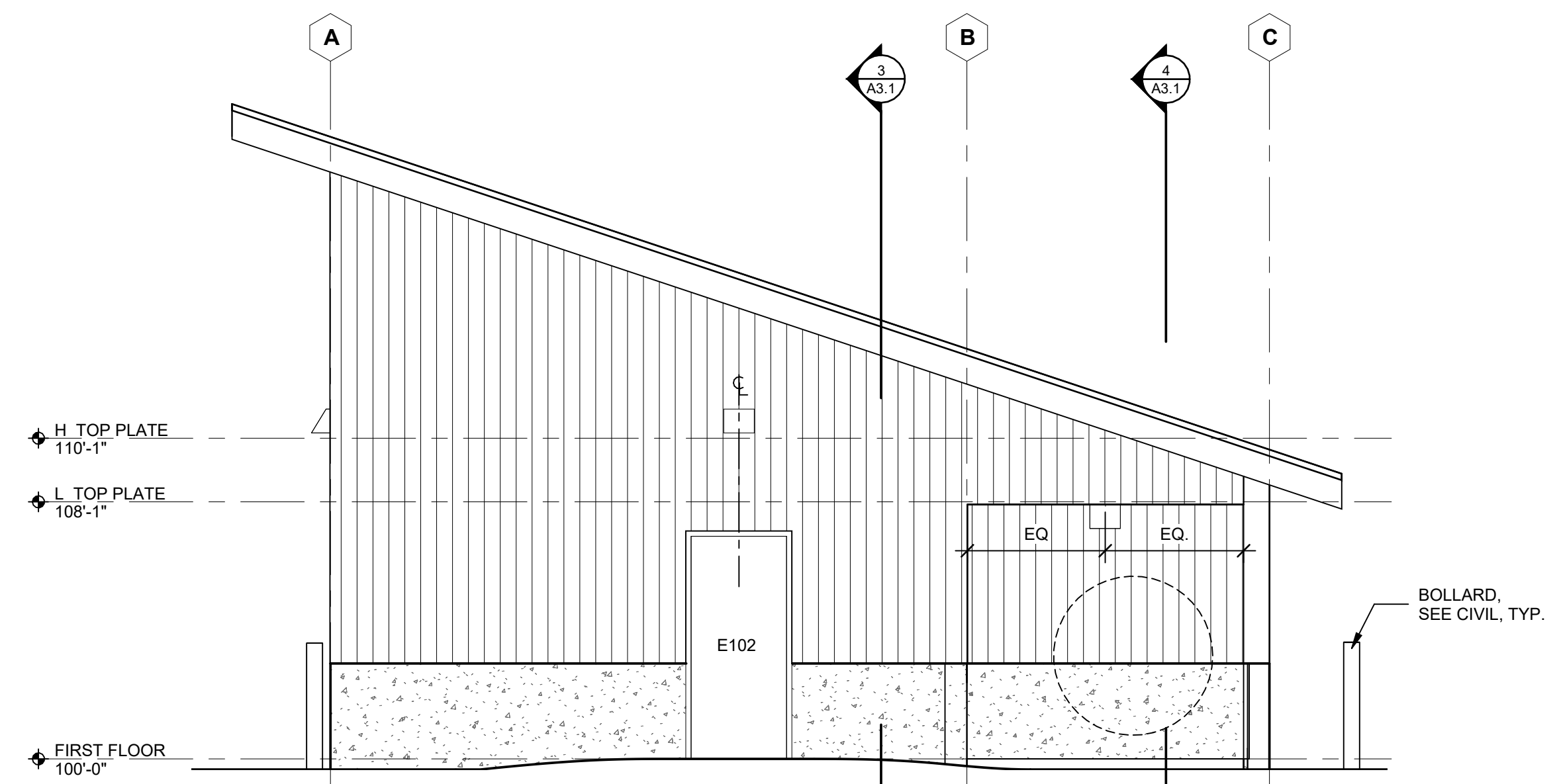


DAY ENGINEERING

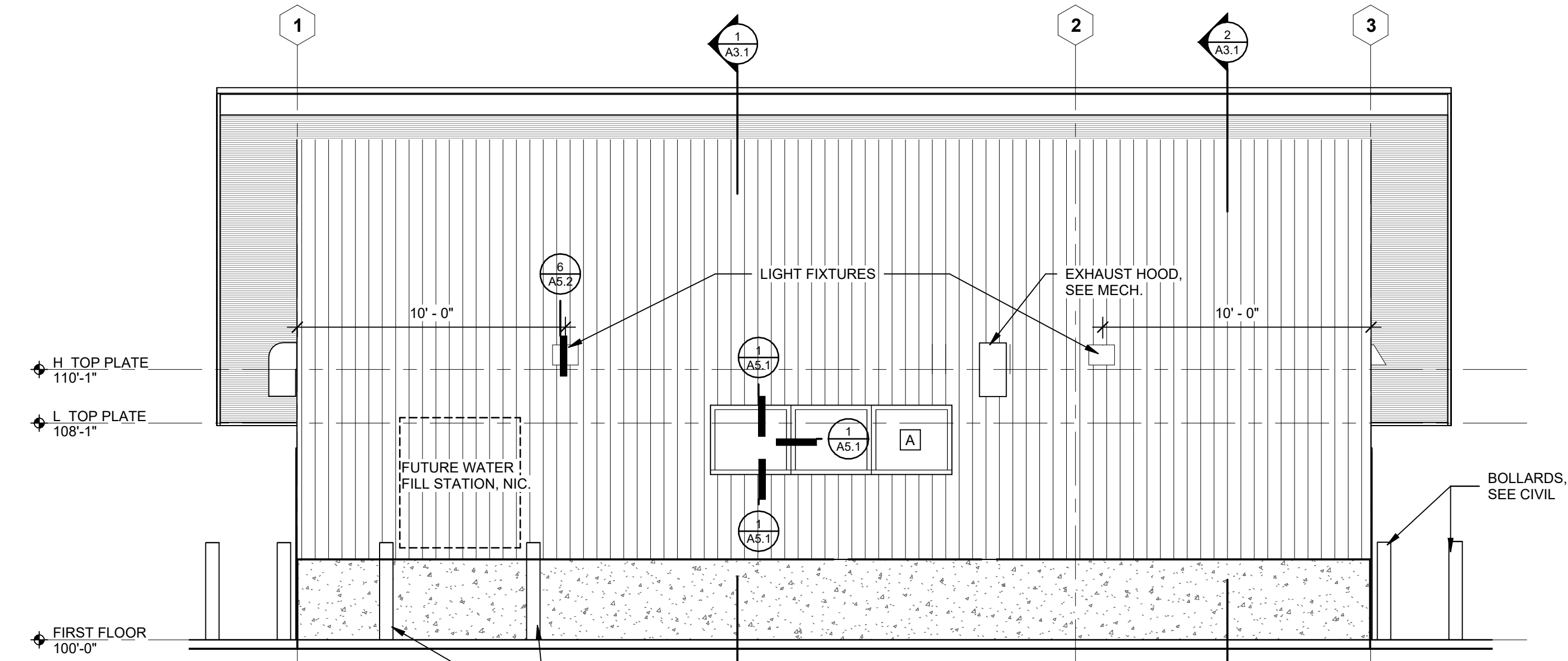
PO BOX 151778 • ELY, NEVADA 89315 • (775) 299-5333
 63 KEYSTONE AVENUE #206 • RENO, NEVADA 89503 • (775) 346-8824

BY : DATE : JAN 2026
 SCALE : AS SHOWN

SHEET **C5** OF **8** SHEETS

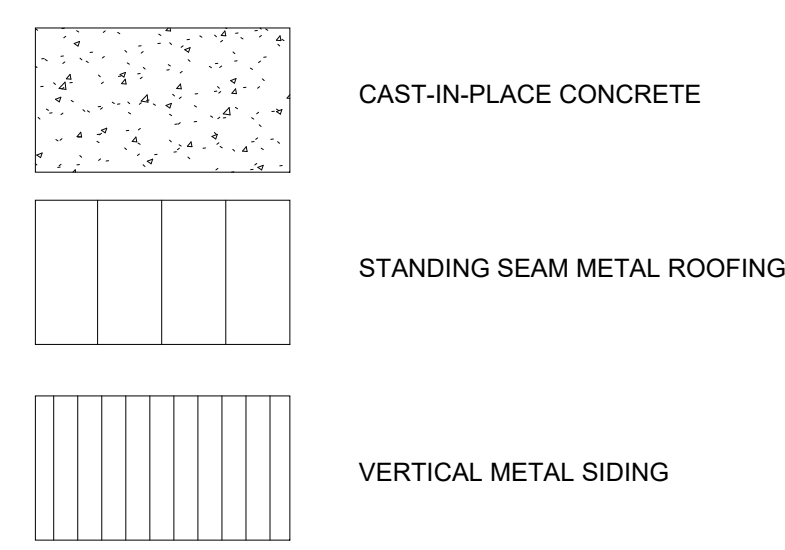


2 NORTHEAST ELEVATION
Scale: 1/4" = 1'-0"



1 SOUTHEAST ELEVATION
Scale: 1/4" = 1'-0"

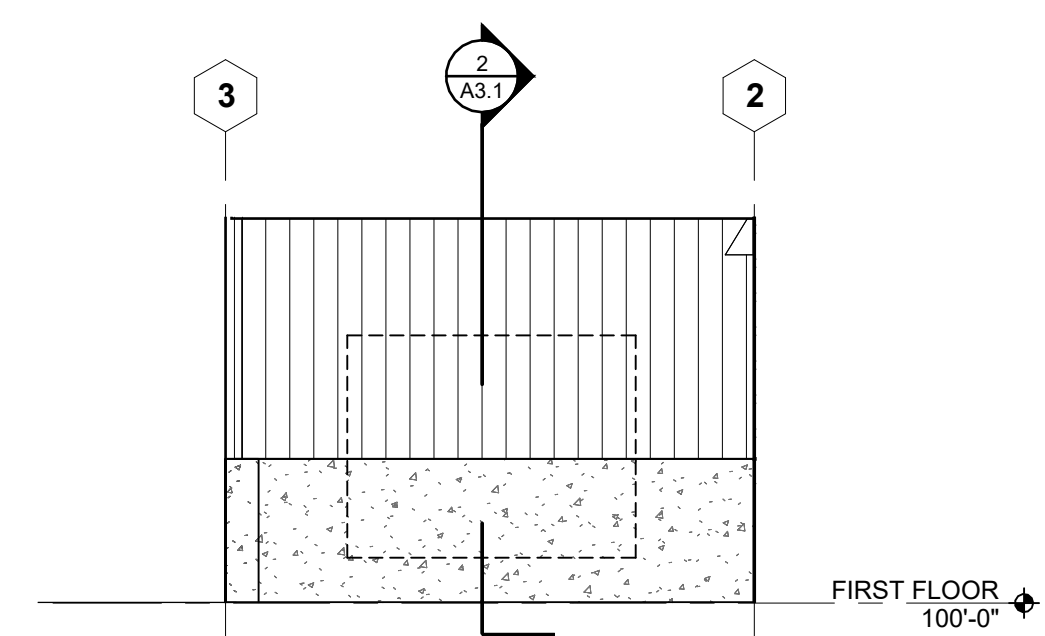
MATERIALS LEGEND



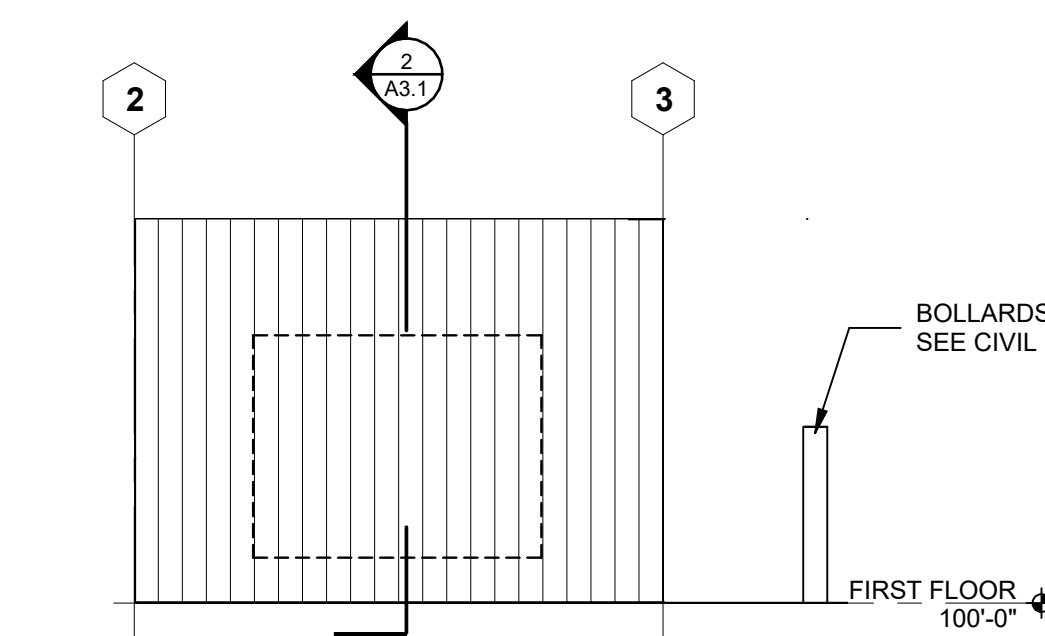
NOTE: THIS LEGEND DOES NOT INCLUDE ALL MATERIALS. SEE NOTES & REFERENCED DETAILS FOR ADDITIONAL INFORMATION.

EXTERIOR ELEVATION GENERAL NOTES

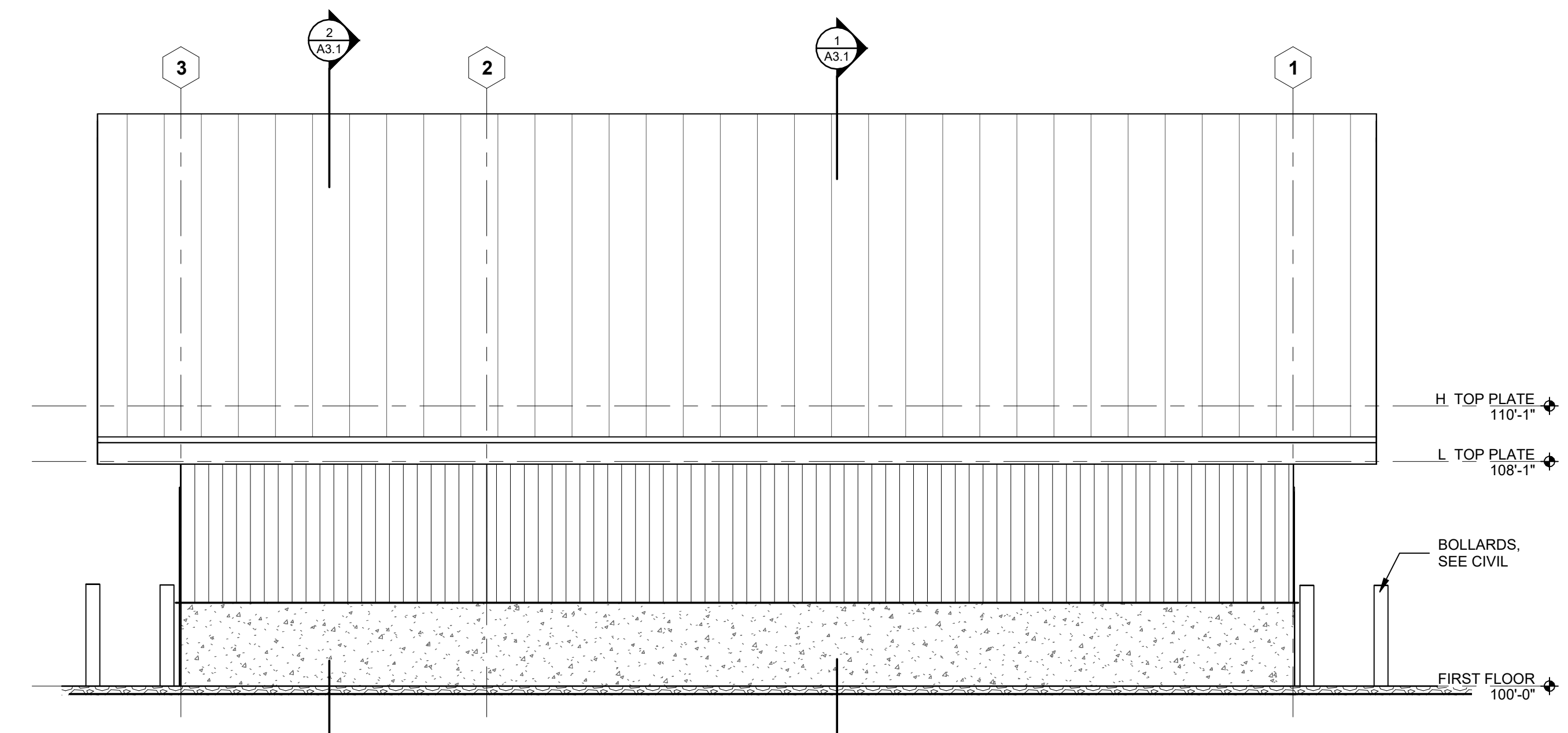
1. LOCATION AND SPACING OF WINDOW MULLIONS, MASONRY CONTROL JOINTS AND COURSE PATTERNS, ETC., ARE TO BE AS SHOWN ON EXTERIOR ELEVATIONS. WHERE NOT DIMENSIONED OR DETAILED, WINDOW MULLIONS AND MATERIAL JOINTS ARE TO BE EQUALLY SPACED AND/OR CENTERED/ALIGNED W/ ADJACENT ELEMENT (MASONRY COLUMN, EDGE OR CENTER LINE OF WINDOW OR DOOR OPENING, ETC.) AS SHOWN.
2. SEE SHEET AX.X FOR ALUMINUM LOUVER TYPES AND SEE MECH FOR COORDINATION WITH DUCTWORK.
3. REFER TO DETAILS FOR DIMENSION REFERENCE POINTS.
4. C.J'S EXTEND FULL HEIGHT OF MASONRY, TYP. WHERE "C.J" IS INDICATED AT INSIDE CORNERS THE JOINT SHALL PENETRATE THE MASONRY SURFACE ON WHICH THE LABEL OCCURS. SEE DETAILS FOR ADDITIONAL C.J LOCATIONS.
5. ALL WINDOW AND LOUVER DIMENSIONS ARE FOR ROUGH OR MASONRY OPENING, UNLESS NOTED OTHERWISE. SEE PLANS FOR ADDITIONAL DIMENSION INFORMATION.
6. 100'-0" IS THE DATUM ELEVATION AND CORRESPONDS TO THE REFERENCED FLOOR SLAB ELEVATION 1078.00'. SEE CIVIL FOR FURTHER INFORMATION.
7. EXTERIOR WALL FINISHES EXTEND FULL HEIGHT TO SOFFITS (NOT SHOWN WHERE EAVES OBSCURE VIEW). SEE BUILDING SECTIONS & DETAILS.
8. SEE REFLECTED CEILING PLANS (RCP) FOR SHEET METAL CLAD SOFFIT COLORS. SHEET METAL CLAD FIN'S & VERT FACE OF SOFFIT TO MATCH COLOR OF ASSOCIATED SOFFIT AS NOTED ON RCP.



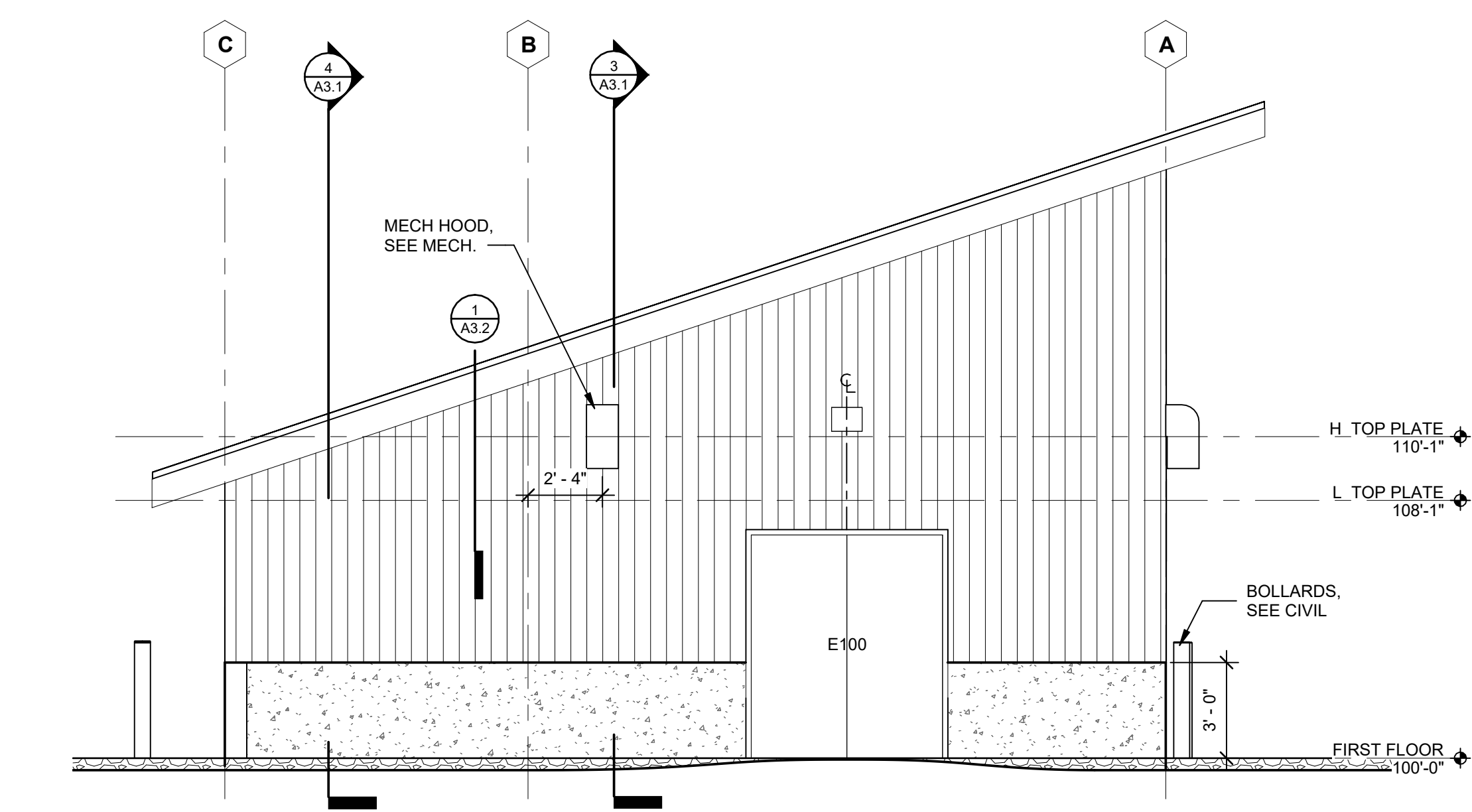
4 NW ELEVATION 2
Scale: 1/4" = 1'-0"



3 SE ELEVATION 2
Scale: 1/4" = 1'-0"



6 NORTHWEST ELEVATION
Scale: 1/4" = 1'-0"



5 SOUTHWEST ELEVATION
Scale: 1/4" = 1'-0"

NO.	REVISION	DATE	BY

WOLF ARCHITECTURE
625 S Cobb St Palmer, AK 99645
907.746.6670 | wolfarchitecture.com

EXTERIOR ELEVATIONS
NEW WELL 5 PUMPING STATION
VALDEZ, ALASKA



DAY ENGINEERING
5 EAST PARK STREET • FALLON, NEVADA 89405 • (775) 423-9090
PO BOX 631 • EUREKA, NEVADA 89316 • (775) 253-1743

BY: **A2.1**
DATE: 1/16/26
SCALE:



**NOTICE OF PUBLIC HEARING
FOR A CONDITIONAL USE PERMIT
FOR A WELL HOUSE (UTILITY, CLASS I)**

The Valdez Planning and Zoning Commission will hold a public hearing on Wednesday, May 13, 2026, at 7:00 pm in the City Council Chambers at 212 Chenega Avenue, Valdez, Alaska.

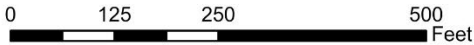
The purpose of the hearing is to take public testimony concerning a conditional use permit application for a well house to be located off Whalen Avenue adjacent to the current school district offices (Lot 7, Evergreen Vista Addition No. 1, Plat 80-12). The applicant and the property owner is the City of Valdez.

The public is encouraged to attend the hearing to provide comments or may submit comments in writing to the Community Development Department. Written comments must be received by 4:00 pm on the day of the meeting to be presented to the Planning & Zoning Commission. Submissions by email may be sent to: communitydevelopment@valdezak.gov.

If you have questions concerning this notice, or if you would like more information you can contact the Community Development Department at 907-834-3401.



Proposed Well House and Childcare Facility



Information displayed is for informational purposes only. The City of Valdez makes no warranties, expressed or implied as to the veracity or accuracy of the information herein.

Date: 4/24/2026 Author: Community Development





Legislation Text

File #: 26-0217, **Version:** 1

ITEM TITLE:

Public Hearing CUP 26-02: Application from the City of Valdez for a Conditional Use Permit for a Child Care Facility

SUBMITTED BY: Bruce Wall, Senior Planner

FISCAL NOTES:

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

RECOMMENDATION:

Public Hearing Only

SUMMARY STATEMENT:

The purpose of this hearing is to allow the public to comment on an application for a Conditional Use Permit. The application was submitted by the City of Valdez for a child care facility at 1112 W. Klutina Street.

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: 1112 W. Klutina Street
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Klutina Street

Notice of the meeting was published on the City of Valdez website on April 27, 2026. Notice of the meeting was mailed on April 29, 2026, to the 78 property owners within 300 feet of the property. A document holder was posted on Klutina Street with public notice flyers on April 29, 2026.



CITY OF VALDEZ CONDITIONAL USE PERMIT APPLICATION

<i>Office Use Only</i>	
Application Number	<u>26-02</u> Date Received <u>April 23, 2026</u>
Initials	<u>bw</u>

APPLICANT INFORMATION

Name Nathan Duval - City of Valdez

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

PROPERTY

Address 1112 W Klutina St, Valdez, AK 99686

Legal Description LT 7 Evergreen Vista ADD NO 1 (HH School)

PROPERTY OWNER INFORMATION (If different from applicant)

Name City of Valdez

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

REPRESENTATIVE INFORMATION (If applicable)

Name Lindy Vititow - COV Project Manager

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

ADDITIONAL MATERIALS REQUIRED (the following must be submitted when applying for a CUP)

- Narrative** – Provide a narrative that describes the location, proposed use(s), proposed site improvements, zoning district, existing and proposed building sizes, proposed density (as applicable), parking and access, and environmental conditions on and adjacent to the subject site.

List the conditional use review criteria and provide a response describing how the proposal complies with those criteria. VMC 17.12.090(C)

List all the specific use standards (VMC 17.80) that are applicable to the proposal and provide a response describing how the proposal complies with those standards.

- Plan Set** – May be required when the proposed use includes new buildings or site improvements. At the discretion of the Community Development Director, the plan set may include property survey, site plan, subdivision plat, grading and drainage plan, utilities plan and building elevations.

- Technical Studies** – May be required, at the discretion of the Community Development Director, to demonstrate compliance with the review criteria. These may include, but are not limited to, traffic studies, drainage studies, noise and vibration studies, and/or visual impact studies.

- Snow Storage Plan** – (VMC 17.88.030)

Lindy Vititow
Applicant Signature

4-23-2026
Date

(Your signature above certifies that all information included on this form and the required additional materials are accurate.)

ADDITIONAL INFORMATION

Forms may be emailed to communitydevelopment@valdezak.gov or dropped off at the Community Development window in City Hall. For a fillable PDF form, visit www.valdezak.gov.

QUESTIONS?

Call the Community Development Department at 907-834-3401 or email communitydevelopment@valdezak.gov

Valdez Childcare Renovation Project Narrative

Name of Project: Valdez New Childcare Renovation
Address: 1112 W. Klutina Street, Valdez, AK 99686
Proposed Use: Childcare Facility
Owner: City of Valdez

Project Narrative:

This project was established to provide the community of Valdez with a Childcare Facility for Children Ages 0-5. Currently there is not a full-time childcare facility within the community of Valdez that provides this service for Valdez residents.

After several years of researching options for the location of the new Childcare Facility. The Valdez City Council and VCS School Board chose and approved to use the current VCS District Offices building as the location of the childcare facility. The current VCS District Office employees are being relocated to office spaces within Hermon Hutchens Elementary School.

This project will remodel the existing Valdez City School District Offices building, to become the new Childcare Facility. The building is a one story, wood framed building. No additional square footage will be added to the existing building during this renovation project. This will be only an interior renovation project that will meet all local, state and federal code requirements which are required to meet the educational occupancy for a childcare facility.

The snow lot storage and snow removal plan will not change from the building's previous plan and remain the same as it has been for this building location.

The required playground for the new childcare facility will be located outside of the west HHES building entrance and will be shared with HHES students during alternate times of use between the two schools.

Narrative Criteria for New Childcare Facility

VMC 17.12.090

C. Approval Criteria. The planning and zoning commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request. The planning and zoning commission may require the applicant to submit whatever reasonable evidence may be needed to protect the public interest.

1. Criterion 1: Site Suitability. The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The planning and zoning commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors.

The site for the new Childcare Facility was found suitable to be located within the existing VCS District Offices building after a long review process by the City of Valdez and VCS School Board. All civil, architectural, and geotech consultants have evaluated all items listed within this “Criterion 1” and have addressed all these factors within the renovation design.

2. Criterion 2: Utility, Sanitation, and Public Service Needs. The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection, public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements.

All items included within “Criterion 2” are being addressed by the project’s design consultants, including the State Fire Marshal, to meet these “Utility, Sanitation, and Public Service Needs” requirements.

3. Criterion 3: Zoning District Standards. With the exception of planned unit developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone in which it is located. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application.

The use of the new Childcare Facility being placed within the existing building location at 1112 W. Klutina St. meets the future land use requirements for being located within the “New Townsite Neighborhood” as it is classified as a school/ institutional building occupancy. All site improvements made within this project by the design consultants will comply with the dimensional standards set forth within the existing building location of “New Townsite Neighborhood” zone.

4. Criterion 4: Specific Use Standards. The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80.

The new Childcare Facility design complies with the “Specific Use Standards” as it meets all current State of Alaska day care facilities license requirements for this specific occupancy classification. The future childcare operator for this site currently holds a current State of Alaska childcare center license and will be required to always maintain a valid current state license while operating as a childcare at this site.

5. Criterion 5: Comprehensive Plan Consistency. The proposed conditional use and its associated site improvement(s) shall be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale.

The exterior of the existing building site which is to be used as a childcare facility will not have any major exterior renovations to the existing building envelope which maintains the character of the adjacent HHES school building. The required playground site for the childcare facility was thoughtfully located on the west exterior side of Hermon Hutchens Elementary school to align with and be consistent with the "Comprehensive Plan". The design consultants have designed any project site improvements to be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale

6. Criterion 6: Nuisance Mitigation. The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage.

The city has employed civil, architectural, and traffic control experts as part of the design team on this project to mitigate and address within the design of this project any potential nuisances related to excessive noise, lighting, vibration, traffic, debris, litter, and outdoor material storage.

7. Criterion 7: Access and Circulation. The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

The childcare design team is analyzing and implementing improvements within the project site to accommodate adequate access for all motor vehicles, pedestrians, and cyclists entering and exiting the site to ensure undue traffic congestion and to avoid any potential safety hazards to motorists, pedestrians, and/or cyclists.

IF THIS DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES

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CITY OF VALDEZ

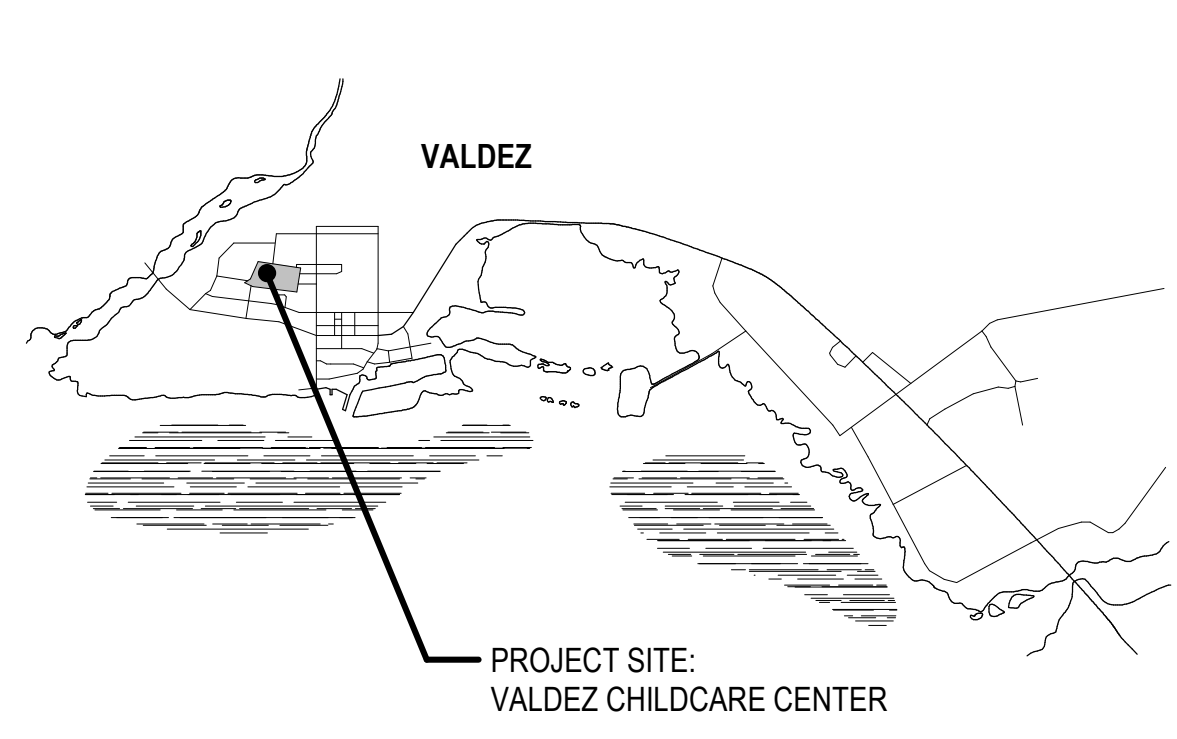
VALDEZ CHILDCARE

VALDEZ, ALASKA

LOCATION MAP

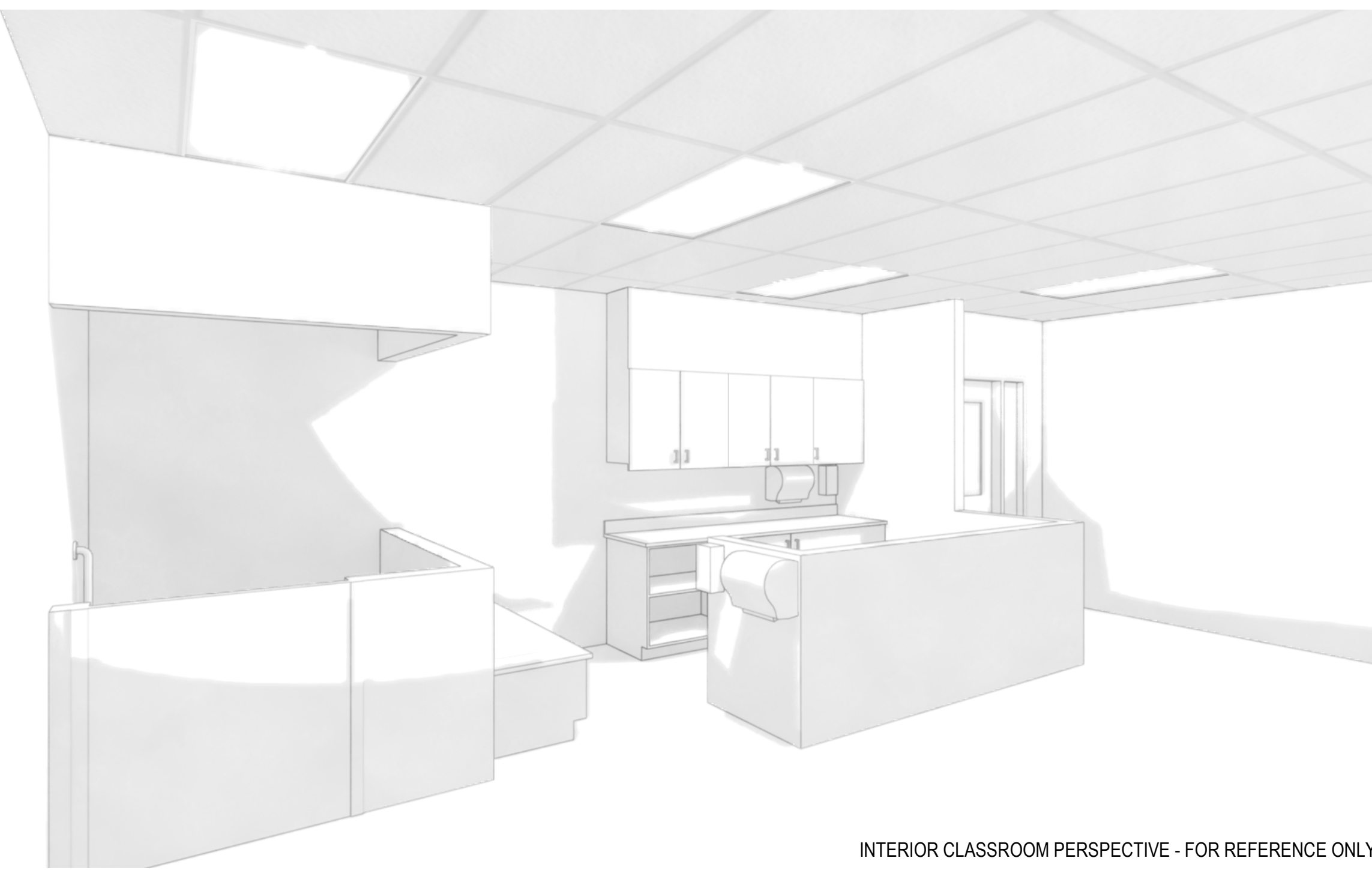


VICINITY MAP



DRAWING INDEX

GENERAL	G001 PROJECT TITLE, PROJECT TEAM G101 CODE ANALYSIS AND LIFE SAFETY PLAN	STRUCTURAL	S001 GENERAL STRUCTURAL NOTES & DETAILS
CIVIL	C100 NOTES, LEGEND, AND ABBREVIATIONS C101 SITE PLAN & DEMOLITION PLAN C102 GRADING PLAN C103 WATER IMPROVEMENTS	MECHANICAL	M001 MECHANICAL LEGEND AND ABBREVIATIONS M002 MECHANICAL SCHEDULES M101 PLUMBING DEMOLITION M102 HEATING AND VENTILATION DEMOLITION M201 UNDERFLOOR PLUMBING REMODEL M202 PLUMBING REMODEL M301 HEATING REMODEL M302 VENTILATION REMODEL M401 ENLARGED PLANS M501 MECHANICAL DETAILS M502 MECHANICAL DETAILS
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ARCHITECTURE	A001 ABBREVIATIONS, GENERAL PROJECT NOTES, SYMBOLS A002 ASSEMBLY TYPES A110 FLOOR PLAN - OVERALL A210 REFLECTED CEILING PLAN - OVERALL A301 EXTERIOR ELEVATIONS A302 BUILDING SECTIONS A501 EXTERIOR DETAILS - OPENINGS A601 ENLARGED PLANS A602 ENLARGED PLANS A610 FURNITURE PLAN - OVERALL - FOR REFERENCE ONLY A701 INTERIOR ELEVATIONS A702 INTERIOR ELEVATIONS A703 INTERIOR ELEVATIONS A811 INTERIOR DETAILS A901 DOOR, STOREFRONT, AND WINDOW SCHEDULE A911 FINISH SCHEDULE A912 FINISH LEGEND A914 FIRST FLOOR - INTERIOR FINISH PLAN A921 SIGN LEGEND		



INTERIOR CLASSROOM PERSPECTIVE - FOR REFERENCE ONLY

DESIGN DEVELOPMENT

DECEMBER 18, 2025

PROJECT TEAM

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SURVEY
JOA SURVEYS, LLC
PHONE: (907) 561-0136
CONTACT: JAMES MITCHELL

GENERAL PROJECT NOTES

PROJECT DESCRIPTION: THIS PROJECT IS A REMODEL OF THE EXISTING VALDEZ CITY SCHOOL DISTRICT OFFICE, TO BECOME A CHILDCARE FACILITY FOR CHILDREN AGES 0-5. THE BUILDING IS A ONE STORY, WOOD FRAMED BUILDING. THE AREA OF THE BUILDING IS APPROXIMATELY 7056 SF. THE PROJECT WILL BE AN EDUCATIONAL OCCUPANCY.

REFERENCE CODES: ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, STANDARDS, REGULATIONS, AND OTHER SUPPLEMENTAL AMENDMENTS PER THE JURISDICTIONS OF THE PROJECT.

DRAWING FORMAT: THESE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED AT DRAWING SCALES RELATED TO THEIR FULL-SIZE FORMAT OF 22X34. ANY DEVIATIONS FROM THIS FORMAT WILL PRODUCE DRAWINGS OUTSIDE OF THE SCALE LIMITS INDICATED.

ELECTRONIC MEDIA: THE AVAILABILITY OF ELECTRONIC DOCUMENTS FOR USE BY THE GENERAL CONTRACTOR ON THIS PROJECT IS CONDITIONALLY GRANTED THROUGH THE PERMISSION OF THE DESIGNER OF RECORD.

VERIFY CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL PROJECT-RELATED NEW AND/OR EXISTING CONDITIONS, INCLUDING DIMENSIONS, PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE ARCHITECT AND CITY OF VALDEZ PROJECT MANAGER IN WRITING OF ALL DISCREPANCIES AND/OR UNKNOWN CONDITIONS OBSERVED.

SITE SAFETY: THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT RELATED SAFETY MEASURES ON-SITE DURING THE PROJECT CONSTRUCTION PERIOD. NOTIFY THE CITY OF VALDEZ PROJECT MANAGER AT ONCE SHOULD ANY SAFETY RELATED CONCERNS BE OBSERVED.

BABAA COMPLIANCE: THIS PROJECT IS SUBJECT TO THE BUILD AMERICA, BUY AMERICA ACT. ALL MANUFACTURED PRODUCTS AND CONSTRUCTION MATERIALS INCORPORATED INTO THE WORK SHALL BE PRODUCED IN THE UNITED STATES. DOCUMENTATION OF COMPLIANCE SHALL BE MAINTAINED BY THE CONTRACTOR. WAIVERS MUST BE SUBMITTED TO OWNER AND HUD FOR REVIEW AND APPROVAL PRIOR TO USE OF NON-COMPLIANT MATERIALS.

BETTISWORTH NORTH

NOT FOR CONSTRUCTION

CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA

DESIGN DEVELOPMENT

CONSULTANT:

PROJECT NO: 24-121
DATE: 2025-12-18
DRAWN BY: HNK
CHECKED BY: DPP

REVISION	DESCRIPTION	DATE

PROJECT TITLE, PROJECT TEAM

G001

IF THIS DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES

CODE ANALYSIS

PROJECT SUMMARY:

NAME OF PROJECT: VALDEZ CHILDCARE RENOVATION
 ADDRESS: 1112 W. KLUTINA STREET, VALDEZ, AK 99686
 PROPOSED USE: CHILDCARE FACILITY
 AUTHORITY HAVING JURISDICTION: STATE OF ALASKA FIRE MARSHAL
 OWNER: CITY OF VALDEZ

PROJECT DESCRIPTION: THIS PROJECT IS A REMODEL OF THE EXISTING VALDEZ CITY SCHOOLS OFFICE, TO BECOME A CHILDCARE FACILITY FOR CHILDREN AGES 0-5. THE BUILDING IS A ONE STORY, WOOD FRAMED BUILDING. THE AREA OF THE BUILDING IS APPROXIMATELY 7056 SF. THE PROJECT WILL BE AN EDUCATIONAL OCCUPANCY.

LEGAL DESCRIPTION: LT 7, EVERGREEN VISTA, PLAT #80-12.

ZONING ANALYSIS: CITY OF VALDEZ TITLE 17

ZONING: (P) PUBLIC LANDS
 LOT SIZE = 591,109 SF
 ZONING REQUIREMENTS: ZONING CLEARANCE REVIEW - APPLICATION REQUIRED

CODE ANALYSIS:

APPLICABLE CODES

- INTERNATIONAL BUILDING CODE 2021
- INTERNATIONAL EXISTING BUILDING CODE 2021
- INTERNATIONAL MECHANICAL CODE 2021
- UNIFORM PLUMBING CODE 2018
- 2017 NATIONAL ELECTRICAL CODE
- 2020 NFPA 70
- 2021 INTERNATIONAL FIRE CODE
- CITY OF VALDEZ TITLE 17

CODE STUDY FROM ORIGINAL DOCUMENTS

1976 UNIFORM BUILDING CODE
 CONSTRUCTION TYPE: V-N
 OCCUPANCY: B2 AND H3
 STORY: ONE
 AREA: 7056 SF

INTERNATIONAL EXISTING BUILDING CODE ANALYSIS 2021 CODE STUDY

- CHAPTER 6: CLASSIFICATION OF WORK
- 604.1 SCOPE: LEVEL 3 ALTERATION APPLIES TO PROJECT, MORE THAN 50% OF WORK AREA.
 - 605.2 APPLICATION: CHANGE OF OCCUPANCY SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 10
- CHAPTER 8: ALTERATIONS - LEVEL 3
- 801.4 COMPLIANCE - NEW CONSTRUCTION ELEMENTS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.
- CHAPTER 10: CHANGE OF OCCUPANCY
- 1004.1 FIRE PROTECTION REQUIREMENTS OF SECTION 1011 SHALL APPLY WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 IBC.
 - 1005.1 MEANS OF EGRESS SHALL COMPLY WITH SECTION 1011
 - 1011.1 COMPLY WITH CHAPTER 9 IBC AND SECTIONS 1002 THROUGH 1010.
 - 1011.2.1 PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM
 - 1011.3 INTERIOR FINISH - COMPLY WITH IBC
 - 1011.4 MEANS OF EGRESS - COMPLY WITH CHAPTER 10 IBC
 - 1011.5.1 HEIGHT AND AREA - COMPLY WITH CHAPTER 5 IBC

INTERNATIONAL BUILDING CODE 2021 ANALYSIS

- CHAPTER 3: OCCUPANCY CLASSIFICATION AND USE
- CHANGE OF OCCUPANCY CLASSIFICATION:
 - GROUP E (EDUCATION)
 - ORIGINAL OCCUPANCY CLASSIFICATION - GROUP B: BUSINESS
- CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
- NO PROPOSED CHANGE TO BUILDING HEIGHT OR AREA
 - ALLOWABLE HEIGHT = 40'
 - ACTUAL HEIGHT = 15'
 - ALLOWABLE AREA = 14,000 SF
 - ACTUAL AREA = 7056 SF
- CHAPTER 6: TYPE OF CONSTRUCTION
- TYPE OF CONSTRUCTION = VB
 - STRUCTURAL FRAME COLUMNS = NON-RATED
 - EXTERIOR AND INTERIOR NON-BEARING WALLS = NON-RATED
 - ROOF ASSEMBLY = NON-RATED
 - TABLE 602: NO FIRE RESISTANCE RATING IS REQUIRED FOR EXTERIOR WALLS WITH GREATER THAN 30' OF FIRE SEPARATION DISTANCE
- CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES
- PROJECT IS NON-RATED, NON-LOADING BEARING INTERIOR CONSTRUCTION, NO REQUIRED RATINGS PER TABLE 601
- CHAPTER 8: INTERIOR FINISHES
- PROPOSED INTERIOR FINISHES ARE CLASS B (REFER TO TABLE 803.13 FOR E-OCCUPANCY)
- CHAPTER 9: FIRE PROTECTION AND LIFE SAFETY
- NFPA 13 SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT BUILDING
 - PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED WHERE REQUIRED
 - MANUAL FIRE ALARM SYSTEM REQUIRED
- CHAPTER 10: MEANS OF EGRESS
- PROPOSED RENOVATION INCLUDES A CHANGE OF OCCUPANCY.
 - NUMBER OF EXITS REQUIRED = 2 MINIMUM
 - EXITS PROVIDED = 2
 - COMMON PATH OF TRAVEL = MAX 75'
 - EXIT ACCESS TRAVEL DISTANCE = 250'
- CHAPTER 11: ACCESSIBILITY
- AT LEAST 60% OF ALL PUBLIC ENTRANCES ARE ACCESSIBLE
 - ALL RENOVATED SPACES WILL COMPLY WITH CURRENT ACCESSIBILITY REQUIREMENTS OF THE IBC AND ANSI 117.1
- CHAPTER 29: PLUMBING FIXTURE REQUIREMENTS
- E-OCCUPANCY
 - 49 MALE AND 49 FEMALE OCCUPANTS
 - SEE OCCUPANT LOAD TABLE
 - WATER CLOSETS | 1 PER 50 MALE AND FEMALE
 - 2 REQUIRED | 3 PROVIDED
 - LAVATORY | 1 PER 50 MALE AND FEMALE
 - 2 REQUIRED | 3 PROVIDED
 - DRINKING FOUNTAIN | 1 PER 100
 - 0 REQUIRED | 1 PROVIDED
 - SERVICE SINK = 1
 - 1 REQUIRED | 1 PROVIDED

LIFE SAFETY - CODE PLAN LEGEND

- PATH OF EGRESS TRAVEL
- COMMON PATH OF TRAVEL
- NON RATED PARTITION
- 1HR RATED
- BUILDING EXIT
- EXIT ACCESS
- EXIT CAPACITY NOTE (REQUIRED WIDTH CALCULATED .XX'/(OCC))
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- CODE RELATED NOTE

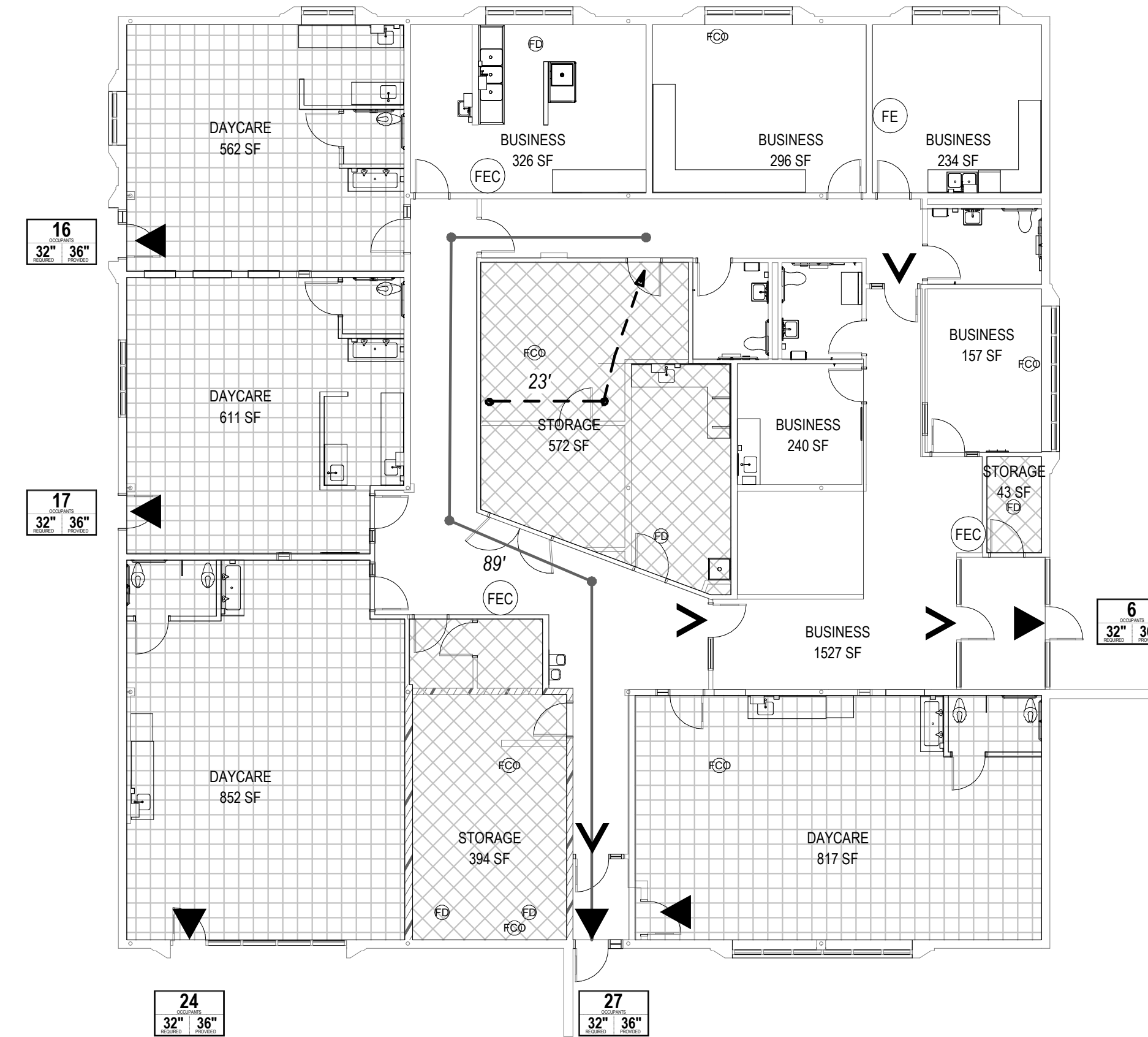
OCCUPANCY GROUP LEGEND

- NFPA: BUSINESS IBC: GROUP B
- NFPA: DAYCARE IBC: GROUP E
- NFPA: STORAGE IBC: GROUP S-1

LIFE SAFETY - CODE PLAN NOTES

- SEE SHEET A001 FOR FIRE RATING/PARTITION HEIGHT KEY & NOTES.
- SEE DOOR SCHEDULE ON SHEET A901 FOR DOOR FIRE RATINGS.

NUMBER	NAME	AREA	OCCUPANCY		LOAD FACTOR	USE DESCRIPTION	OCCUPANTS
			IBC	CATEGORY			
100	VEST	90 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
101	ADMIN/LOBBY	260 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
110	HALL	58 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
111	DIRECTOR'S OFFICE	157 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
112	LACTATION	122 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
114	PUBLIC RR	61 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
120	HALL	316 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
121	LAUN/JAN	180 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
122	PRE-K	766 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	22
122.1	TOILET	43 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
122.2	SPRINKLER RISER ROOM	43 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
122.3	HALL	191 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
124	ELEC	36 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
124.1	COMM	37 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
126	PRE-K	802 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	23
126.1	TOILET	43 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
126.2	MECH	306 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
127	INFANT/TODDLER	570 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	16
127.1	TOILET	28 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
130	HALL	76 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
135	VEST	37 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
140	HALL	225 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
141	STAFF RR	73 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
143	BREAKROOM	234 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
144	STAFF RR	60 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
147	TEACHER WORKROOM	223 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
148	STORAGE	374 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
149	WARMING KITCHEN	310 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
150	HALL	198 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
156	TODDLER	524 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	15
156.1	TOILET	27 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
157	VEST	38 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
TOTAL AREA		6,508 SF				TOTAL OCCUPANT LOAD	97



1
G101 3/32" = 1'-0"



BETTISWORTH NORTH

NOT FOR CONSTRUCTION

CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA
DESIGN DEVELOPMENT

CONSULTANT:

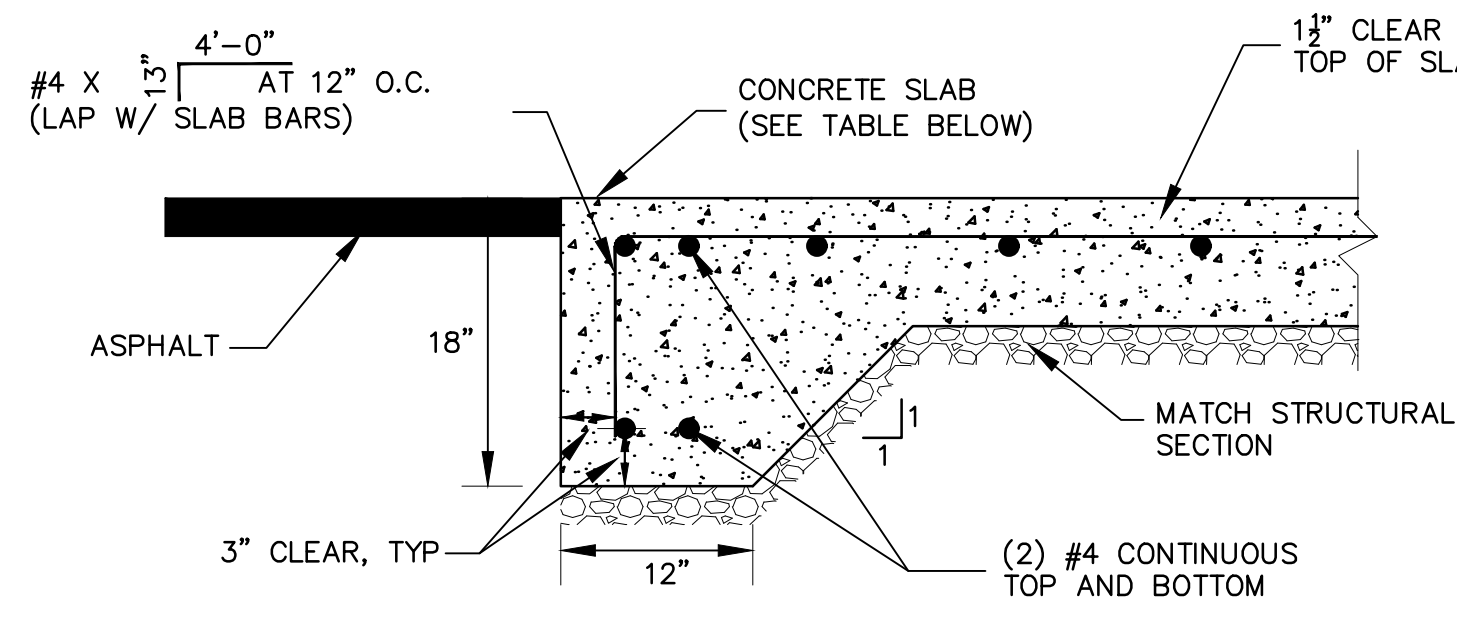
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 DATE: 2025-12-18
 DRAWN BY: GMB
 CHECKED BY: HNK

REVISION	DESCRIPTION	DATE

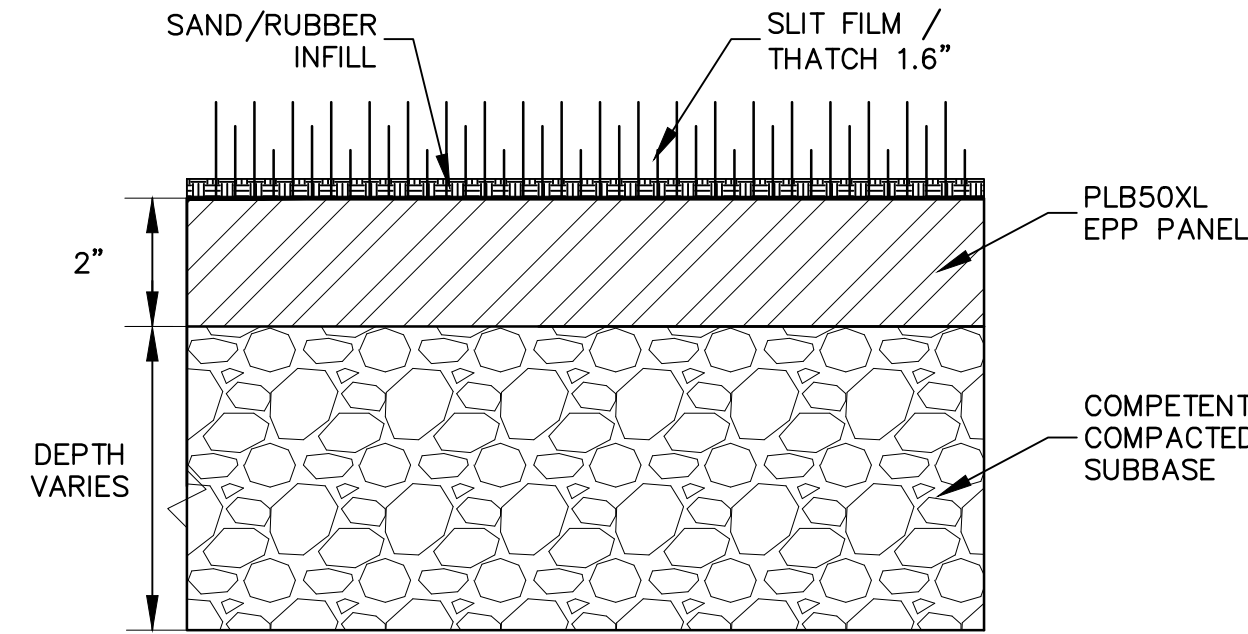
CODE ANALYSIS AND LIFE SAFETY PLAN

G101

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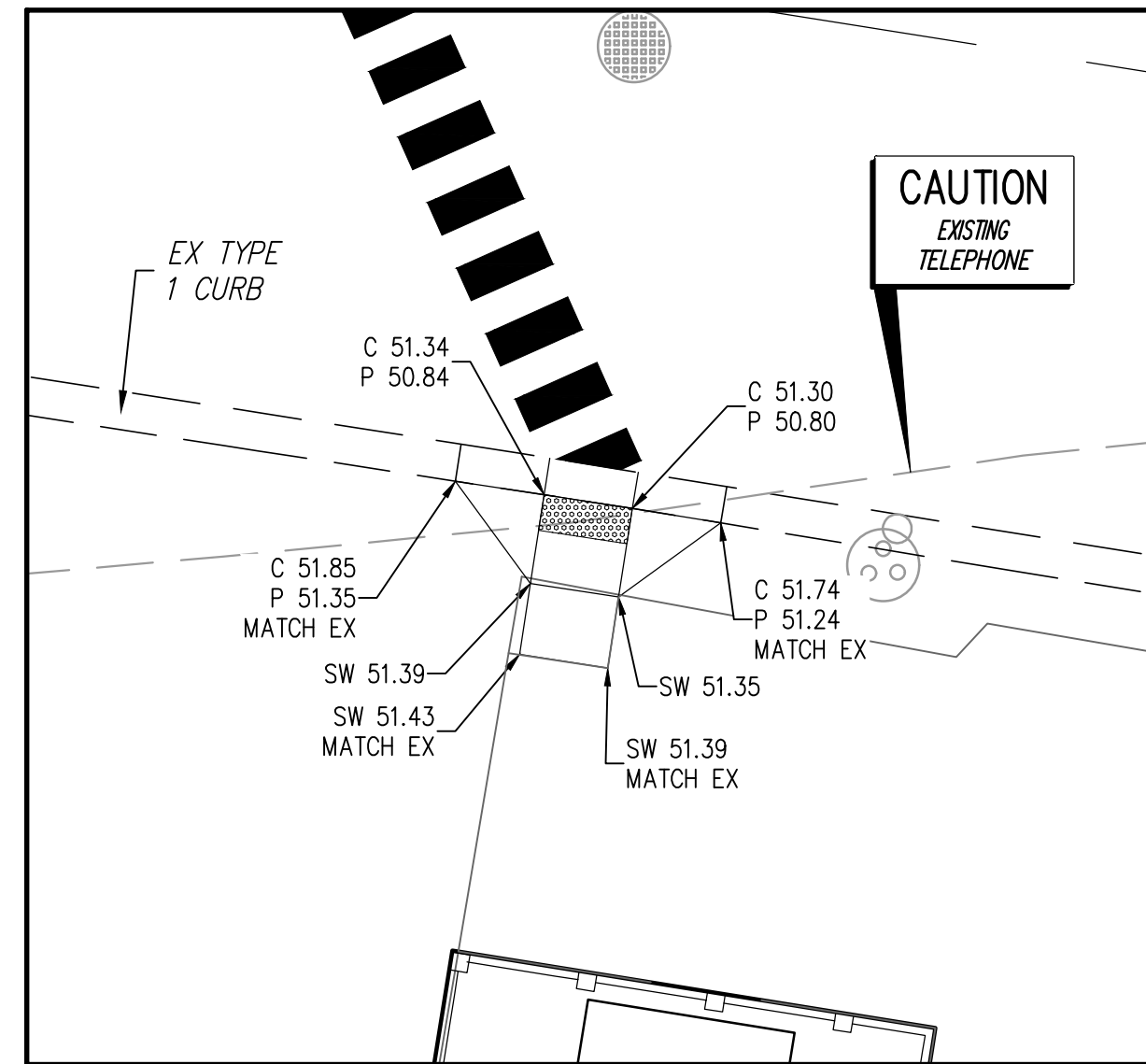
A DUMPSTER PAD SLAB TURN DOWN DETAIL
SCALE: 1" = 1' SECTION



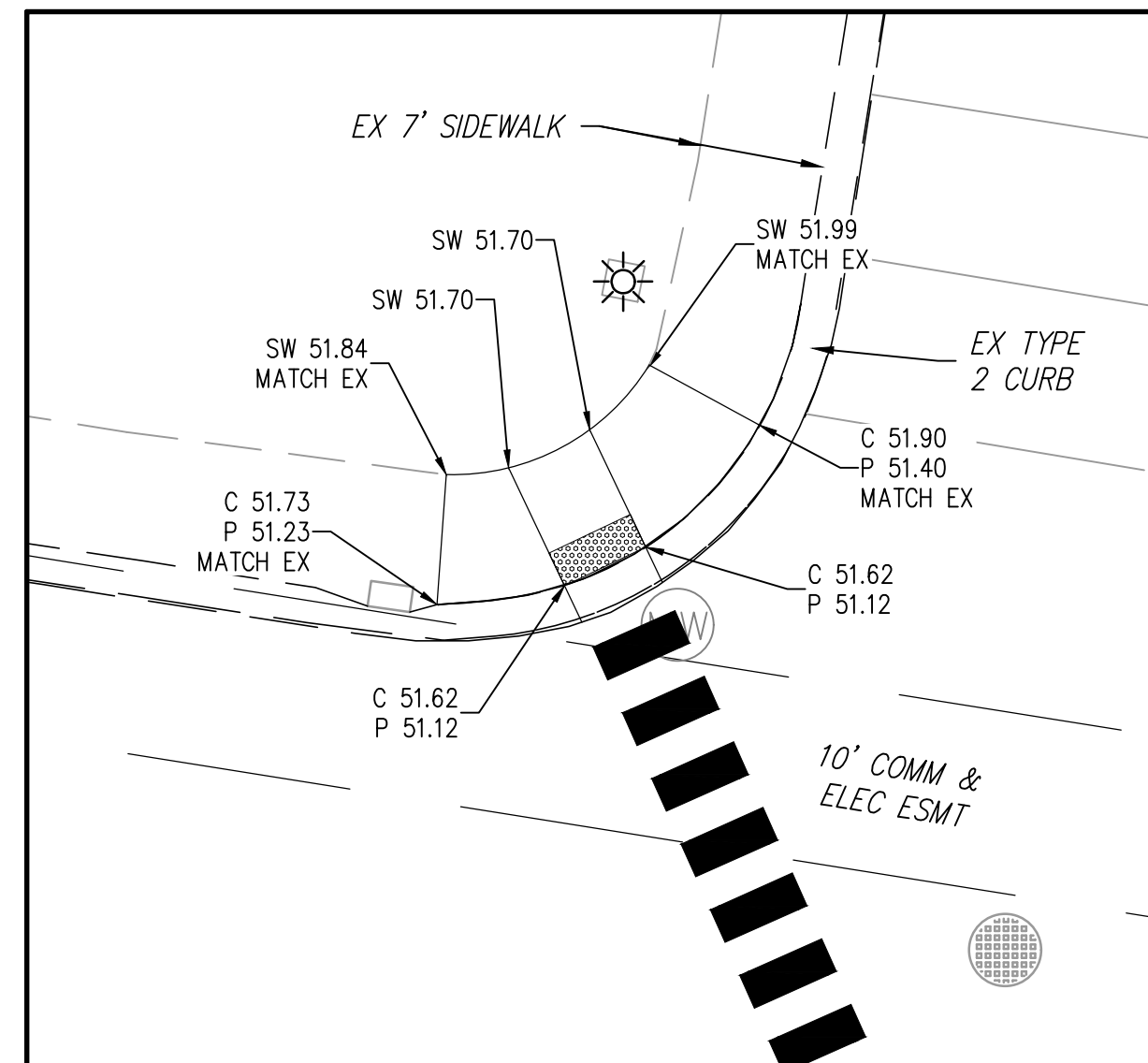
TURF NOTES

1. AFTER PAVEMENT DEMO, PROOF ROLL SUBBASE TO VERIFY NON-YIELDING SOILS PRESENT. IF YIELDING SOILS ARE ENCOUNTERED, OVER EXCAVATE AND REPLACE WITH COMPETENT GRAVEL MATERIALS TO MINIMUM OF 95% COMPACTION.
2. INSTALL BROCK PLAY50 PLB50XL INTERLOCKING EXPANDED POLYPROPYLENE PANELS (OR APPROVED EQUAL) OVER PREPARED SUBBASE.
3. ROLL OUT VINTAGE 32-100 TURF (OR APPROVED EQUAL), SEAM ADJACENT ROLLS AND GLUE DOWN TURF TO EPP PANELS. GLUE SHALL MEET THE MANUFACTURERS RECOMMENDATIONS.
4. INSTALL SAND AND RUBBER INFILL IN LIFTS AT A RATE OF 3.25 LBS/SF. INFILL SHALL CONSIST OF RESILIENT-LAYERED, GRANULAR SYSTEM, COMPRISING SELECT GRADED SAND AND RUBBER. FINAL MATERIAL SELECTION SHALL BE APPROVED BY THE MANUFACTURER.

B SYNTHETIC TURF DETAIL
SCALE: NTS SECTION

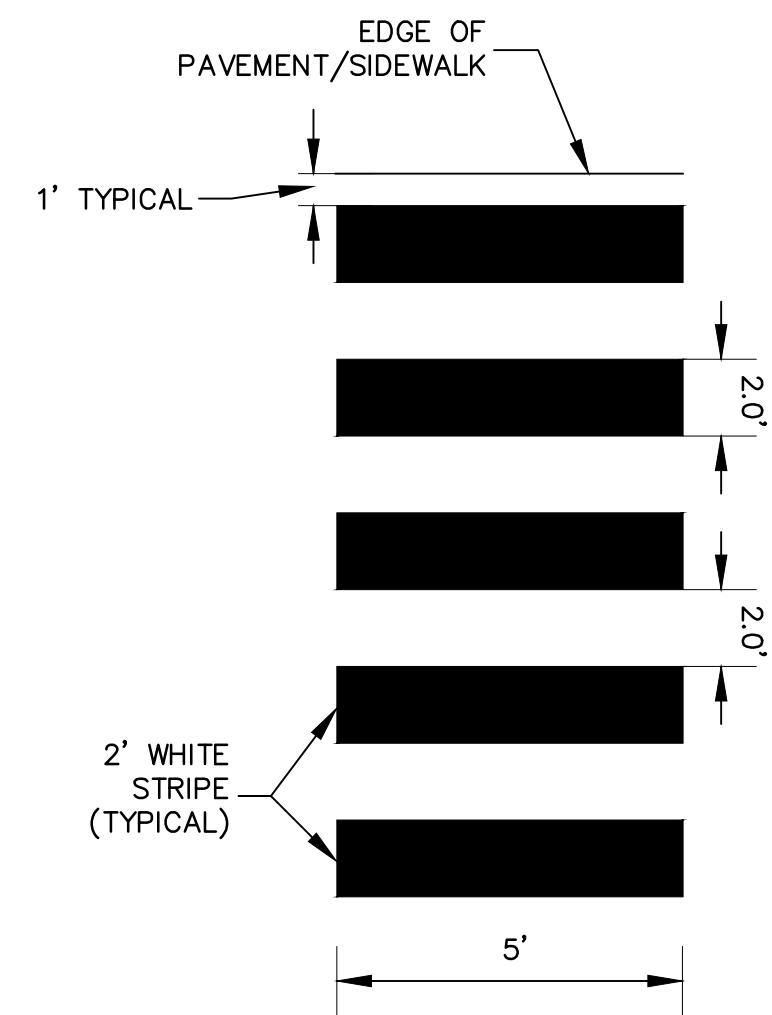


C ADA RAMP ELEVATIONS
SCALE: 1" = 10'



D ADA RAMP ELEVATIONS
SCALE: 1" = 10'

TRUE NORTH
SCALE: 1" = 10'



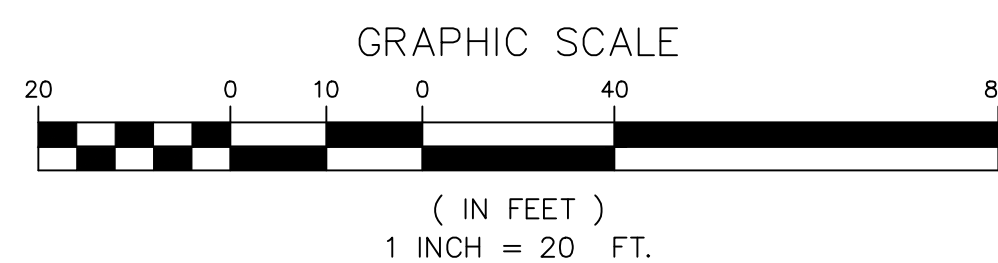
E TYPICAL CROSSWALK STRIPING
SCALE: 1" = 5'

SIDEWALK NOTES

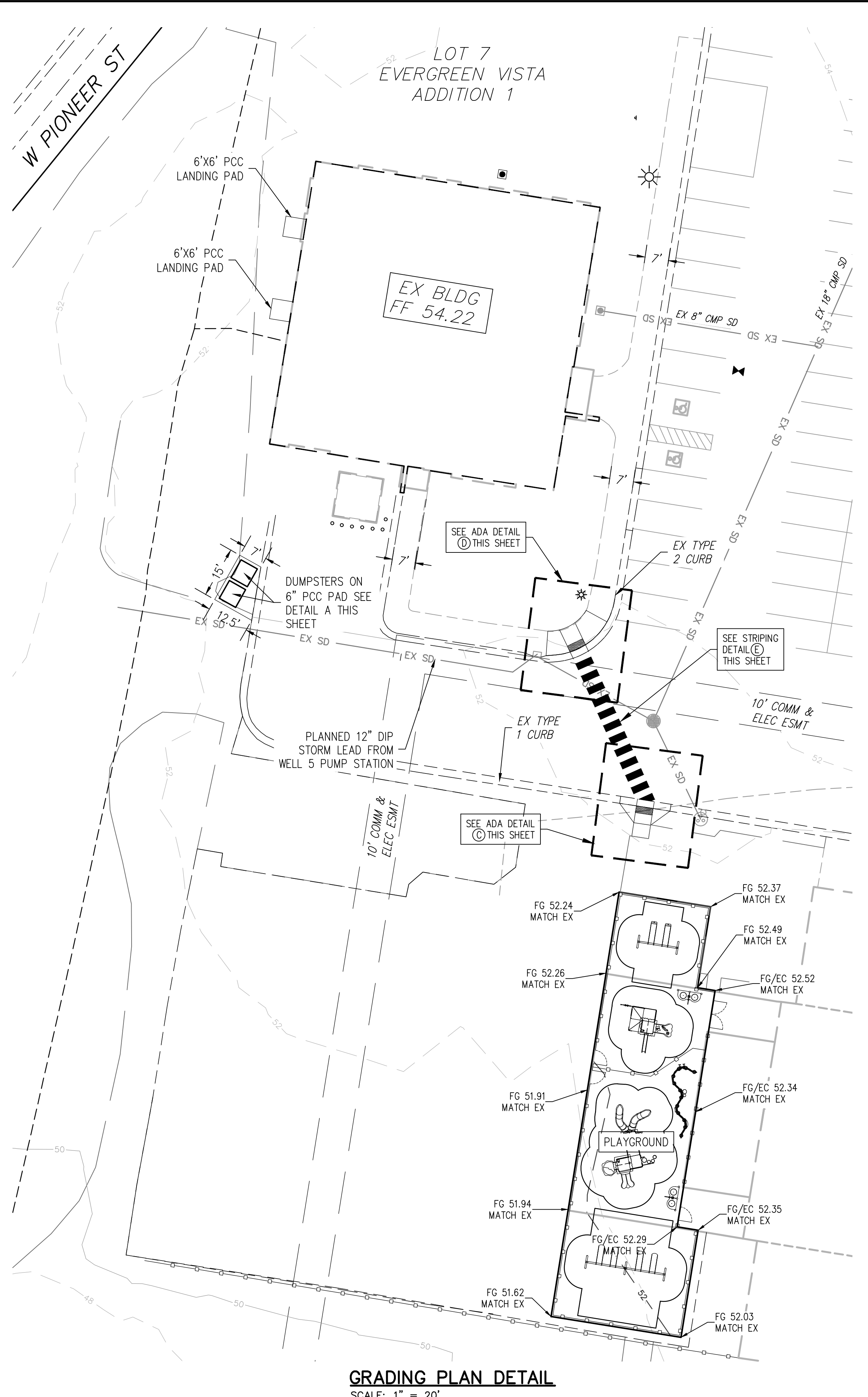
1. RAMPS SHALL BE 6" PCC AND CONSTRUCTED PER CITY OF VALDEZ
2. RUNNING GRADE AT TRANSITIONS SHALL NOT EXCEED 8.33% & CROSSING SLOPES SHALL NOT EXCEED 2%
3. CONTRACTOR TO FIELD VERIFY ELEVATIONS & COORDINATE W/ ENGINEER IF DISCREPANCIES ARE FOUND.
4. EXISTING SIDEWALK TO BE REMOVED TO NEAREST JOINT

GRADING NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AND COORDINATE W/ ENGINEER IF DISCREPANCIES ARE FOUND
2. ALL CROSS SLOPES WITHIN THE PLAYGROUND SHALL BE LESS THAN 2% IN ALL DIRECTIONS. CORNER PLAYGROUND GRADES ARE APPROXIMATELY 1%
3. CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING UNDER ROOF OVERHANG OR NEAR SUPPORT COLUMNS.
4. PLAYGROUND EQUIPMENT PLANS PROVIDED BY OTHERS. CONTRACTOR TO INSTALL OWNER FURNISHED PLAY EQUIPMENT. CONTRACTOR TO FURNISH AND INSTALL TURF/PAD SYSTEM.



TRUE NORTH
SCALE: 1" = 20'



GRADING PLAN DETAIL
SCALE: 1" = 20'

BETTISWORTH NORTH



CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA
DESIGN DEVELOPMENT

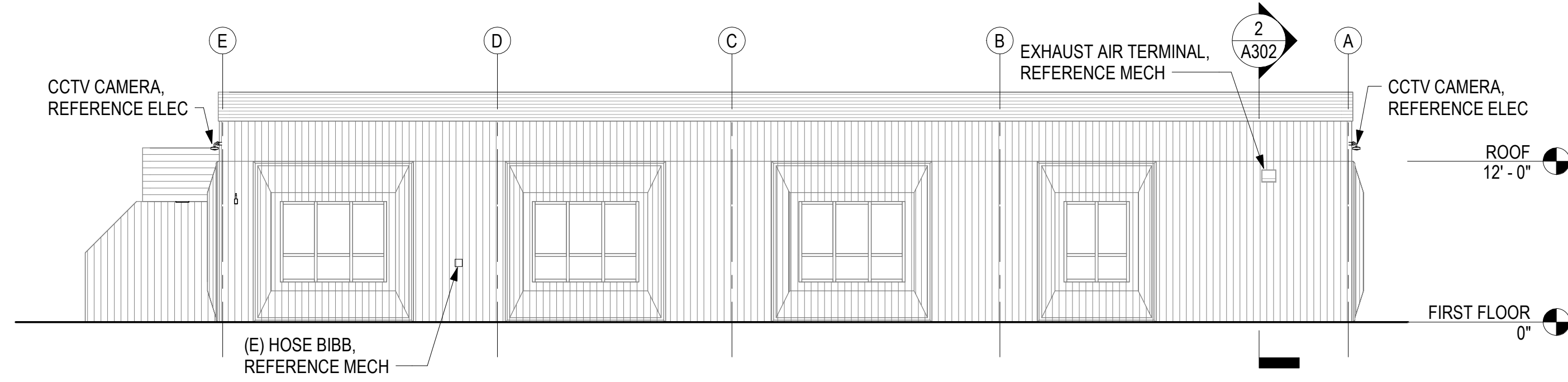
CONSULTANT:
TRIAD
ENGINEERING, LLC
P.O. Box 111989
Anchorage, Alaska 99511
(907) 561-6537
www.triadak.com
COA# 128635

PROJECT NO:	24-224	
DATE:	12.18.2025	
DRAWN BY:	PJB	
CHECKED BY:	BJM	
REVISION	DESCRIPTION	DATE

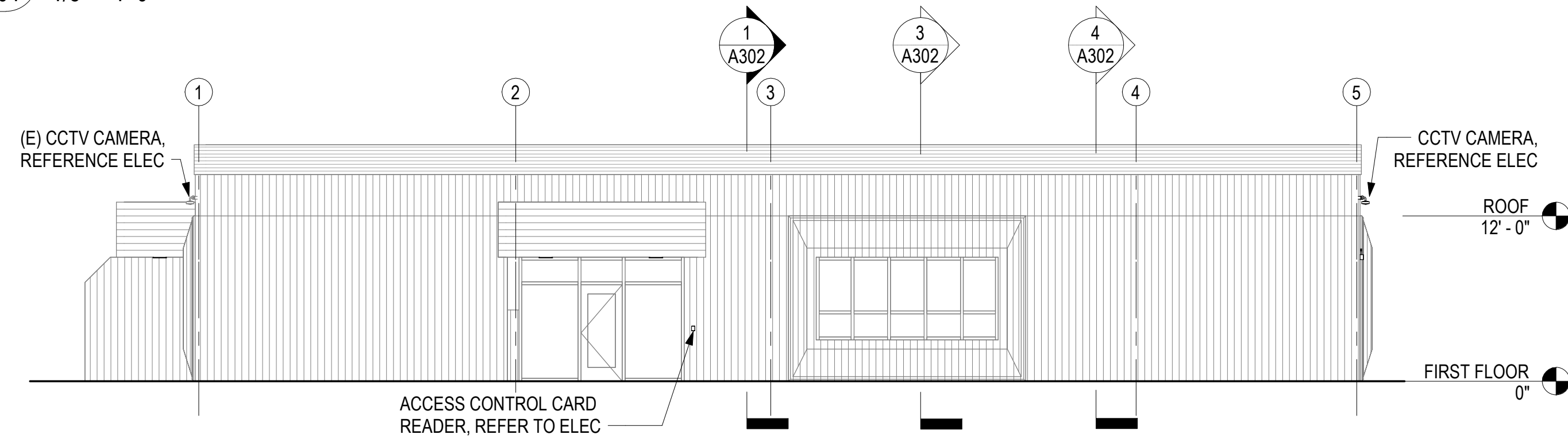
GRADING PLAN
C102

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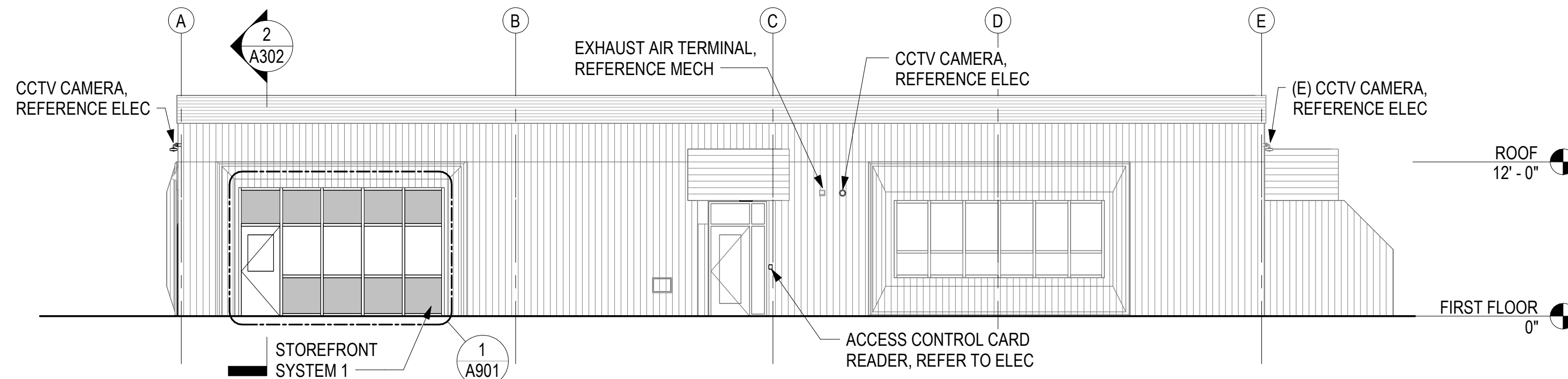
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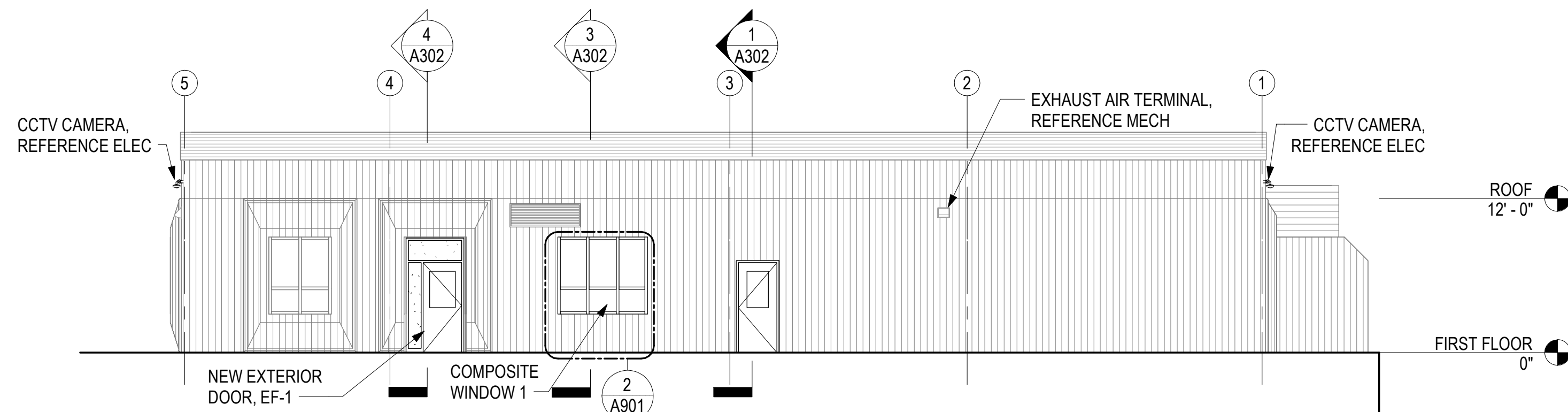
1
A301
EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



2
A301
EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



3
A301
EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



4
A301
EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
EF-1	EXTERIOR DOOR FRAME AND PANEL COLOR: MATCH (E)
RENOVATION LEGEND	
	EXISTING ELEMENTS
	NEW CONSTRUCTION ELEMENTS

**BETTISWORTH
NORTH**

CORPORATE NO. AEC219 WWW.BETTISWORTHNORTH.COM

**NOT FOR
CONSTRUCTION**

CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA
DESIGN DEVELOPMENT

CONSULTANT:

PROJECT NO: 24-121
DATE: 2025-12-18
DRAWN BY: GMB
CHECKED BY: HNK

REVISION	DESCRIPTION	DATE

EXTERIOR ELEVATIONS
A301

NOT FOR CONSTRUCTION



Legislation Text

File #: 26-0218, **Version:** 1

ITEM TITLE:

Approval of Final Plat for Mineral Creek Koch Subdivision - a Re-Plat of Lot 7A Block 8 MineralCreek Subdivision, Plat #2001-3.

SUBMITTED BY: Paul Nylund - Senior Planner/GIS Technician

FISCAL NOTES:

Expenditure Required: N/A
Unencumbered Balance: N/A
Funding Source: N/A

RECOMMENDATION:

Approve the Final Plat for Mineral Creek Koch Subdivision - a Re-Plat of Lot 7A Block 8 MineralCreek Subdivision, Plat #2001-3.

SUMMARY STATEMENT:

Brad and Lisa Koch have requested a survey within surveyed Section 31, Township 8 south Range 6 West, Copper River Meridian, Alaska. Described as follows: a re-plat of Lot 7A Block 8 Mineral Creek Subdivision, Plat 2001-3, creating Lots 7A1 and 7A2 of Block 8, Mineral Creek Koch Subdivision.

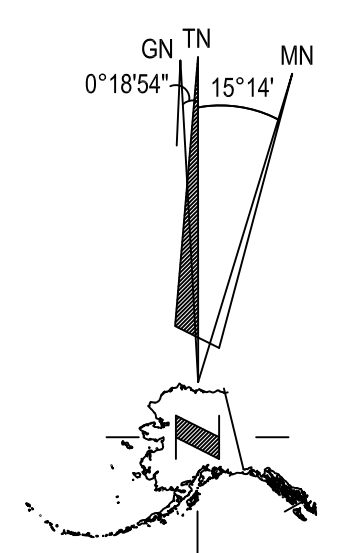
The purpose of this subdivision is to create an additional lot that can be developed for a residential house. Allen Minish, of Wrangel Mountain Technical Services, is the surveyor on the project.

This subdivision is not located in the mapped Special Flood Hazard Area (SFHA) and is not subject to the floodplain regulations of the City of Valdez nor is a floodplain development permit required from the city.

The property is zoned R1 residential. The minimum lot width in the R1 district is 50 feet per Valdez Municipal Code 17.06.060-1. Proposed lots have a greater lot width of 50'. The minimum lot area in the R1 neighborhood mixed use zoning district is 5,500 square feet. The proposed lots meet the minimum lot dimension requirements of Title 17.

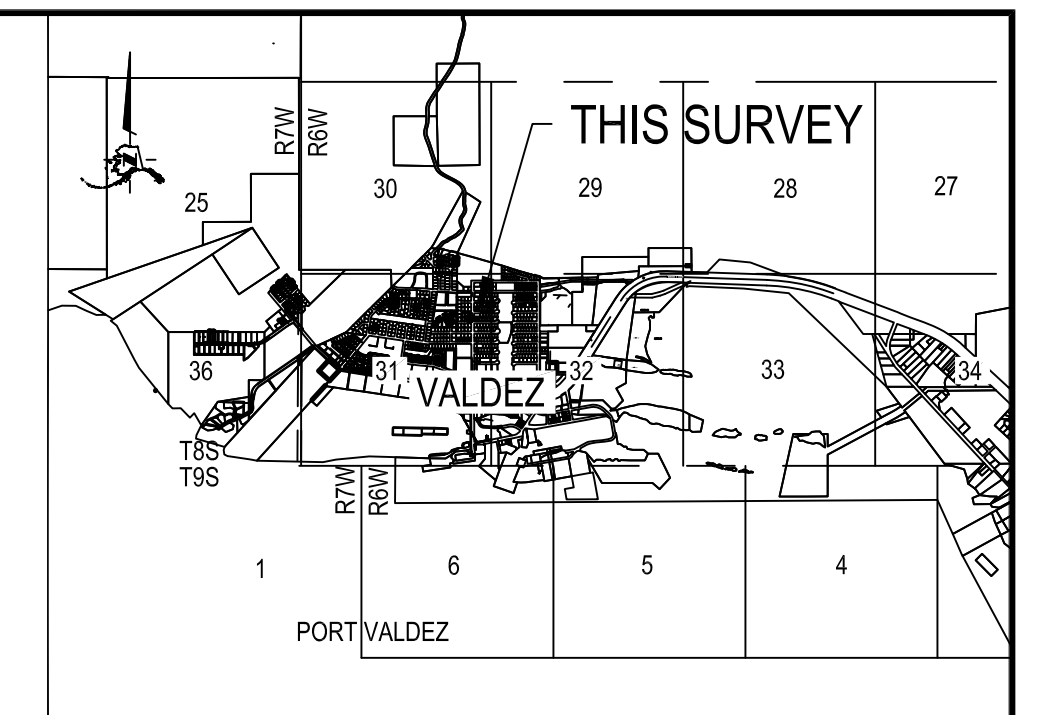
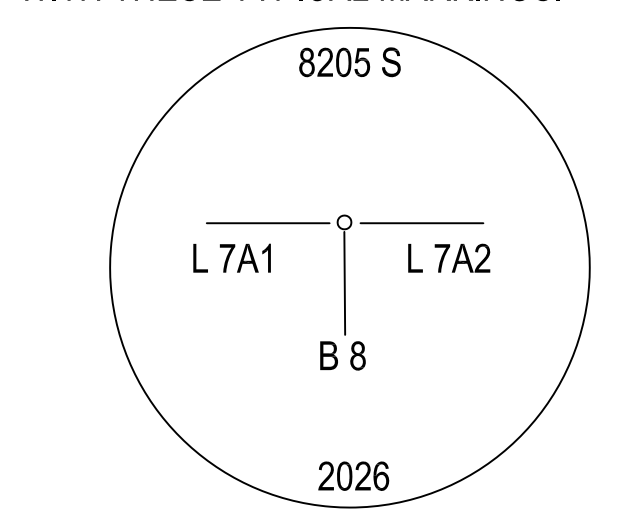
Notice was sent to all property owners within 300 feet of the property, per Section 16.04.090 of the Valdez Municipal Code, on March 31st, 2026. Notice was sent to the utilities on March 31st, 2026.

The preliminary plat for this subdivision was approved by the City of Valdez Planning and Zoning Commission at their regularly scheduled public meeting on April 8th, 2026.



MAGNETIC DECLINATION 5/8/26 PER NGDC.NOAA.GOV
15°14' E ±0'28" CHANGING BY 0'17" W PER YEAR

MONUMENTS SET
5/8" X 30" REBAR WITH 2.5" ALUMINUM CAP
WITH THESE TYPICAL MARKINGS:



VICINITY MAP
SCALE: 1" = 1 MILE

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF MINERAL CREEK KOCH SUBDIVISION, AS SHOWN ON THIS PLAT. I APPROVE THIS SURVEY AND PLAT AND DEDICATE OR RESERVE FOR PUBLIC, AS SHOWN, ALL EASEMENTS, PUBLIC UTILITY AREAS, AND RIGHTS-OF-WAY AS SHOWN AND DESCRIBED ON THIS PLAT.

BRADLEY J KOCH _____ DATE _____
PO BOX 706
VALDEZ, AK 99686

NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,
BY: _____, PERSONALLY APPEARING BEFORE ME.

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF MINERAL CREEK KOCH SUBDIVISION, AS SHOWN ON THIS PLAT. I APPROVE THIS SURVEY AND PLAT AND DEDICATE OR RESERVE FOR PUBLIC, AS SHOWN, ALL EASEMENTS, PUBLIC UTILITY AREAS, AND RIGHTS-OF-WAY AS SHOWN AND DESCRIBED ON THIS PLAT.

LISA D KOCH _____ DATE _____
PO BOX 706
VALDEZ, AK 99686

NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,
BY: _____, PERSONALLY APPEARING BEFORE ME.

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

TAX CERTIFICATE

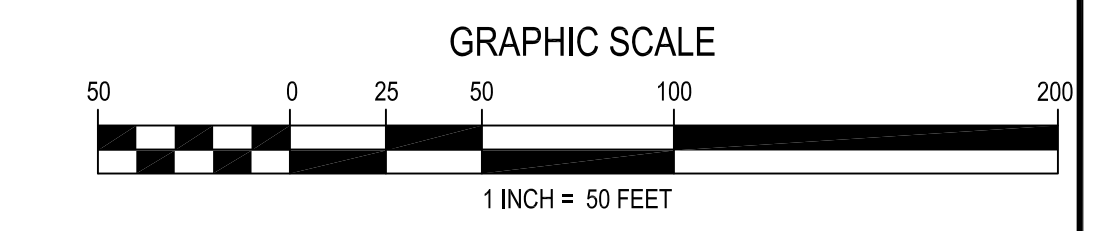
I, SHERI L. PIERCE, CITY CLERK FOR THE CITY OF VALDEZ, ALASKA DO HEREBY CERTIFY THAT ALL TAXES LEVIED AGAINST THE PROPERTIES REPRESENTED BY THESE LOT LINES ARE PAID AS OF _____.

SIGNED _____
SHERI L. PIERCE MMC
CITY CLERK
CITY OF VALDEZ

PLAT APPROVAL

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE CITY OF VALDEZ PLANNING AND ZONING COMMISSION FOR RECORDING.

SIGNED _____ DATE _____
DON HAASE
CHAIR OF THE PLANNING AND ZONING COMMISSION
CITY OF VALDEZ



W. NABESNA ST.

NABESNA STREET

BLOCK 6
MINERAL CREEK
PLAT 66-27M
LOT 14

LOT 16

LOT 15

LOT 13

HAZELET AVENUE

LOT 7A1
12,100.70 SF (0.278 ACRES)

LOT 7A2
5,500.12 SF (0.126 ACRES)

LOT 6

LOT 5

BLOCK 8
MINERAL CREEK
PLAT 66-27M

LOT 16

LOT 15

LOT 14

LOT 13

W. MENDELTA ST.

MENDELTA STREET

EGAN DR.

- LEGEND**
- FOUND PRIMARY 3.5" ALCAP MONUMENT
 - FOUND PRIMARY 2.5" BRASS CAP MONUMENT
 - FOUND SECONDARY MONUMENT ALCAP ON REBAR
 - FOUND REBAR
 - SET SECONDARY MONUMENT 5/8" X 30" REBAR WITH 2.5" ALUMINUM CAP
 - SUBDIVISION EXTERIOR BOUNDARY
 - SUBDIVISION INTERIOR BOUNDARY
 - OTHER BOUNDARIES
 - SECTION LINES
 - EASEMENT
 - (R1) RECORD PLAT 2001-3
 - (R2) RECORD PLAT 66-40M & 66-27M (CALCULATED FROM COORDINATES)
 - (R3) RECORD PLAT 2019-4

NOTES

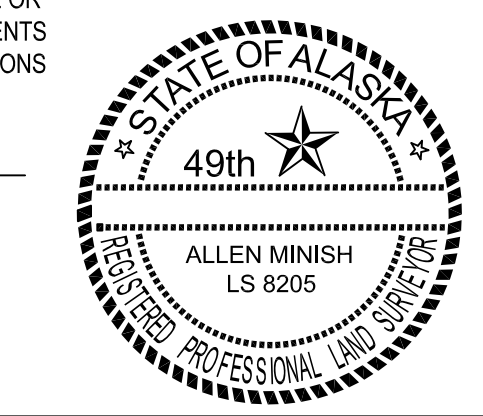
1. THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:5000.
2. BASIS OF BEARING IS FROM HIGH ACCURATE GPS DERIVED USING ALASKA SPC ZONE 3 AND THE DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
3. REF. PLATS: 66-40M, 66-27M, 2001-3, 2019-4 VALDEZ R.D.
4. BOUNDARY DETERMINATION.
 - A. THE NORTHERN BOUNDARY OF BLOCK 8, ONLY TWO MONUMENTS EXIST AND BOTH WERE DISTURBED. NORTHERN BOUNDARY OF BLOCK 8 WAS DETERMINED USING BEST FIT LINE OF LOTS 10, 15 AND 16 OF BLOCK 6 AND OFFSETTING THE R-O-W DISTANCE.
 - B. THE CENTER BOUNDARY OF BLOCK 8 WAS DETERMINED FROM BEST FIT LINE OF LOT 1 SE CORNER; COMMON CORNER OF LOTS 3 AND 4; AND COMMON CORNER OF LOTS 15 AND 16.
 - C. THE WESTERN BOUNDARY OF BLOCK 8 WAS DETERMINED FROM THE CENTERLINE MONUMENTS OF HAZELET AVENUE AND HANAGITA STREET AND HAZELET AVENUE AND EGAN DRIVE AND COMPARED TO EXISTING MONUMENTS ALONG THE EASTERN RIGHT OF WAY OF HAZELET AVENUE ONLY 3 MONUMENTS ARE WITHIN TOLERANCE. THE OTHER FOUND MONUMENTS ALONG THE R-O-W ARE 0.10' TO 0.40' OUT OF POSITION.
 - D. THE SOUTHWEST CORNER OF LOT 7A1 IS A REBAR UNDER THE ROOTS OF A LARGE SPRUCE TREE UNABLE TO SURVEY.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE MONUMENTS SHOWN EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.

ALLEN MINISH
REGISTERED LAND SURVEYOR

DATE _____



SURVEYOR: WRANGELL MOUNTAIN TECHNICAL SERVICES PO BOX 118, MILE 32 EDGERTON HWY, CHITINA, AK 99566 (907) 823-2280		
A PLAT OF MINERAL CREEK KOCH SUBDIVISION CREATING LOTS 7A1 AND 7A2 OF BLOCK 8		
A RE-PLAT OF LOT 7A BLOCK 8 MINERAL CREEK SUBDIVISION PLAT 2001-3 WITHIN A PORTION OF USS 638; LOCATED WITHIN SURVEYED SECTION 31, TOWNSHIP 8 SOUTH, RANGE 6 WEST COPPER RIVER MERIDIAN, ALASKA CONTAINING ±17,600.82 FT ² (±0.404 ACRES) VALDEZ RECORDING DISTRICT, ALASKA		
DRAWN BY: ADM DATE: 5/8/26	DATE OF SURVEY: START: 2023 END: 2026	WMTS PROJECT # 23042
CHECKED BY: ADM / COV DATE: 5/8/26	SCALE: 1" = 50'	DRAWING NAME: VALDEZ



April 2, 2026

Paul Nyland
PO Box 307
Valdez, AK 99686
Sent via email: pnylund@valdezak.gov

Re: 360 Nabesna Street Floodplain Determination

360 Nabesna Street (Lot 7A Block 8 Mineral Creek Subdivision Plat # 2001-3) is not located in the mapped Special Flood Hazard Area (SFHA) and is not subject to the floodplain regulations of the City of Valdez nor is a floodplain development permit required from the city.

Please do not hesitate to reach out if you have any questions.

Sincerely,
Bruce Wall, CFM
Senior Planner



April 1, 2026

Applicant: Brad and Lisa Koch

Zoning Review for Subdivision Application

Proposed Mineral Creek Koch Subdivision is a replat of 360 Nabesna Street, LT 7A BK 8 Mineral Creek to create proposed Lots 7A1 and 7A2 Block 8 Mineral Creek Koch Subdivision. The property is zoned R1 residential.

The purpose of this review is to determine compliance of the preliminary plat with Valdez Municipal Code Title 17.

Existing Use:

The subject property is residential.

Minimum Lot Dimensions:

The minimum lot width in the R1 district is 50 feet per Valdez Municipal Code 17.06.060-1. Proposed lots have a greater lot width of 50’.

The minimum lot area in the R1 neighborhood mixed use zoning district is 5,500 square feet. The proposed lots meet the minimum lot dimension requirements of Title 17.



Nicole Chase

Senior Planner, *Community Development Department*

Office: 907-834-3427

nchase@valdezak.gov ValdezAK.gov

[212 Chenega Avenue, Valdez, AK 99686](http://212ChenegaAvenue.com)



3/27/2026

**NOTICE OF SUBDIVISION/REPLAT
BRAD AND LISA KOCH
MINERAL CREEK KOCH SUBDIVISION**

Brad and Lisa Koch have requested a survey within Section 31, Township 8 South, Range 6 West, Copper River Meridian, Valdez Recording District, Alaska. Described as follows: A re-plat of Lot 7A Block 8 Mineral Creek Subdivision Plat #2001-3. The subject property's street address is 360 Nabesna St.

The preliminary plat will go before the Planning and Zoning Commission for approval on April 8th, 2026, at 7:00PM in the City Council Chambers (214 Fairbanks Drive). The public is invited to attend the meeting and provide your comments. If you wish to comment on the subdivision and cannot attend the meeting, please provide your comments to the Community Development Department in writing or via e-mail to communitydevelopment@ValdezAK.Gov. Staff will pass comments received before 4:00PM the day of the hearing on to the Planning and Zoning Commission.

If you have any questions please contact the Community Development Department at (907) 834-3401 or stop by our window in City Hall at 212 Chenega Avenue.


N

Mineral Creek Koch Subdivision

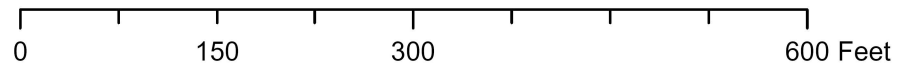
300 Foot Radius

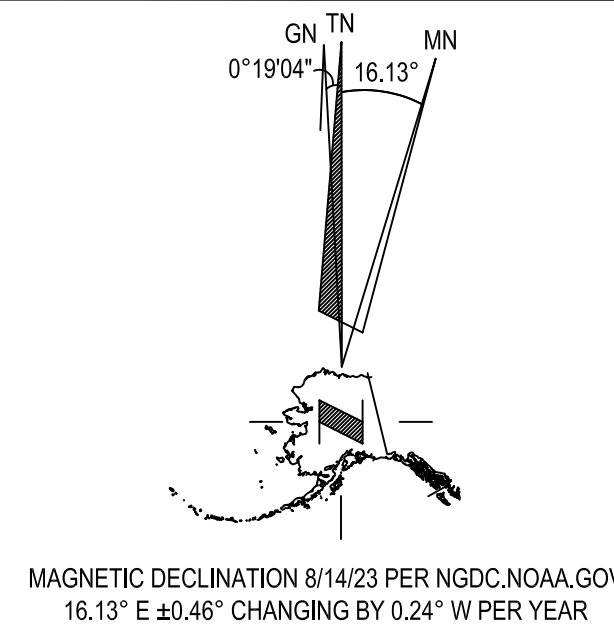


Legend

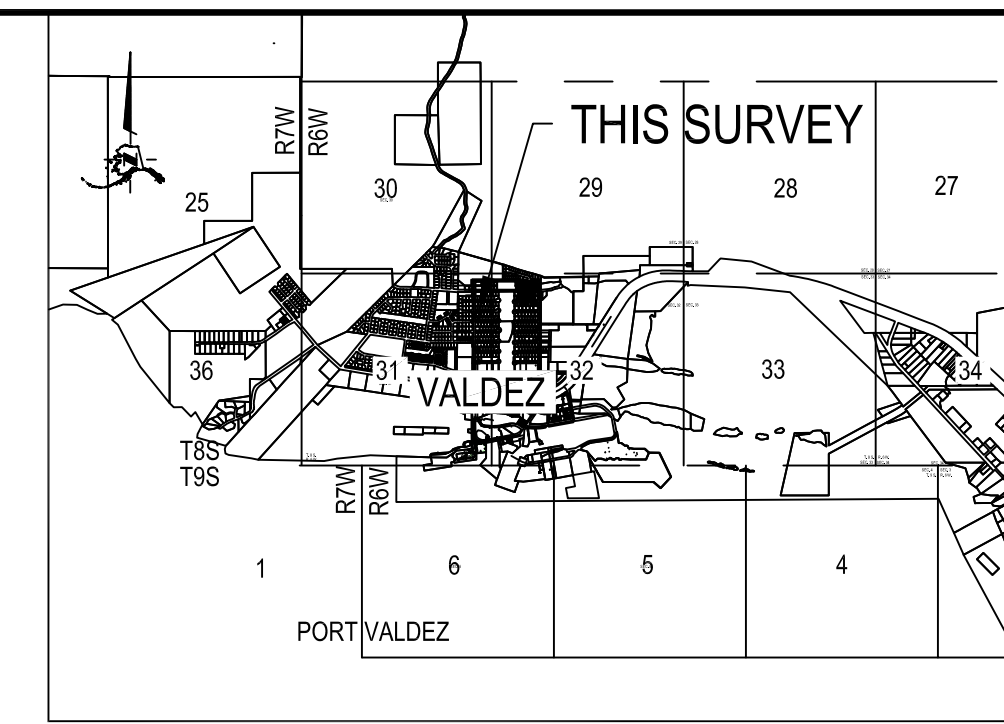
 Koch 300' Buffer

 Parcel Boundary





MAGNETIC DECLINATION 8/14/23 PER NGDC.NOAA.GOV
16.13° E ±0.46° CHANGING BY 0.24° W PER YEAR



VICINITY MAP
SCALE: 1" = 1 MILE

W. NEBESNA ST.

NABESNA STREET

W. MENDELTA ST.

MENDELTA STREET

HAZELET AVENUE

(R3) N00° 02' 06"W 2889.01'
(R2) N00° 02' 14"W 2887.45'
N00° 02' 07"W 2888.61'

40.0' 40.0'

EGAN DR.

BLOCK 4
MINERAL CREEK
PLAT 66-27M

LOT 15
ZONED R-1

LOT 6
ZONED R-1

LOT 16
ZONED R-1

LOT 8
ZONED R-1

BLOCK 2
BLOCK 20 ADDITION NO. 2
MINERAL CREEK
PLAT 79-7

LOT 1
ZONED R-1

BLOCK 3
BLOCK 20 ADDITION NO. 2
MINERAL CREEK
PLAT 79-7

LOT 7A1
12,100.70 SF (0.278 ACRES)
ZONED R-1

LOT 7A2
5,500.12 SF (0.126 ACRES)
ZONED R-1

LOT 6
ZONED R-1

LOT 5
ZONED R-1

LOT 16
ZONED R-1

LOT 15
ZONED R-1

LOT 14
ZONED R-1

LOT 13
ZONED R-1

BLOCK 8
MINERAL CREEK
PLAT 66-27M

(R1) N89° 57' 46"E 160.00'
S89° 59' 26"E 160.12'

S89° 59' 26"E 110.05'

S89° 59' 26"E 50.07'

(R1) N00° 02' 07"W 109.98'
N00° 02' 14"W 110.00'

N00° 04' 28"W 109.87'

(R1) N00° 02' 14"W 110.00'
N00° 04' 28"W 109.81'

5' EASEMENT N89° 56' 59"E 110.12'

5' EASEMENT N89° 56' 59"E 50.07'

(R1) N89° 57' 46"E 160.00'
N89° 56' 59"E 160.19'

OLD SHOP
TO BE
REMOVED

EXISTING HOUSE
CARPORT

STRUCTURES SHOWN
ARE FROM AN AS-BUILT BY CLYED RUHL
DATED MARCH 11, 2001

EXISTING WATER SERVICE

EXISTING SEWER SERVICE

LEGEND

- FOUND PRIMARY 3.5" ALCAP MONUMENT
- FOUND PRIMARY 2.5" BRASS CAP MONUMENT
- FOUND SECONDARY MONUMENT ALCAP ON REBAR
- FOUND REBAR
- SET SECONDARY MONUMENT YELLOW PLASTIC CAP ON 5/8" X 30" REBAR
- SUBDIVISION EXTERIOR BOUNDARY
- SUBDIVISION INTERIOR BOUNDARY
- OTHER BOUNDARIES
- SECTION LINES
- - - - - EASEMENT
- (R1) RECORD PLAT 2001-3
- (R2) RECORD PLAT 66-40M & 66-27M (CALCULATED FROM COORDINATES)
- (R3) RECORD PLAT 2019-4

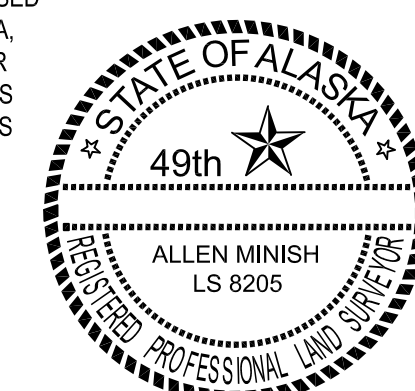
NOTES

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3. REF. PLATS: 66-40M, 66-27M, 2001-3, 2019-4 VALDEZ R.D.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE MONUMENTS SHOWN EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.

ALLEN MINISH
REGISTERED LAND SURVEYOR DATE _____



CERTIFICATE OF OWNERSHIP AND DEDICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF MINERAL CREEK KOCH SUBDIVISION, AS SHOWN ON THIS PLAT. I APPROVE THIS SURVEY AND PLAT AND DEDICATE OR RESERVE FOR PUBLIC, AS SHOWN, ALL EASEMENTS, PUBLIC UTILITY AREAS, AND RIGHTS-OF-WAY AS SHOWN AND DESCRIBED ON THIS PLAT.

BRADLEY J KOCH DATE _____
PO BOX 706
VALDEZ, AK 99686

NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,
BY: _____, PERSONALLY APPEARING BEFORE ME.

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

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LISA D KOCH DATE _____
PO BOX 706
VALDEZ, AK 99686

NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,
BY: _____, PERSONALLY APPEARING BEFORE ME.

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

TAX CERTIFICATE

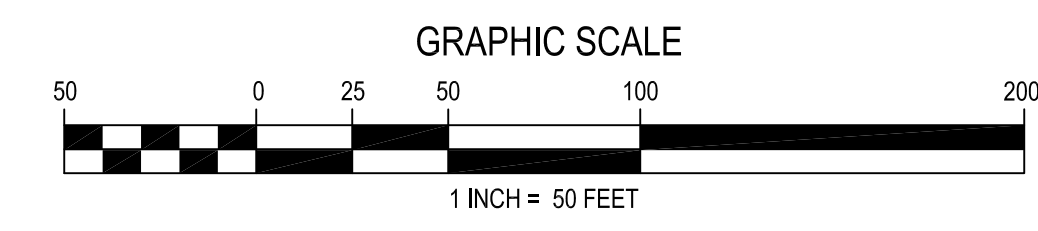
I, SHERI L. PIERCE, CITY CLERK FOR THE CITY OF VALDEZ, ALASKA DO HEREBY CERTIFY THAT ALL TAXES LEVIED AGAINST THE PROPERTIES REPRESENTED BY THESE LOT LINES ARE PAID AS OF _____.

SIGNED _____
SHERI L. PIERCE MMC
CITY CLERK
CITY OF VALDEZ

PLAT APPROVAL

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY THE CITY OF VALDEZ PLANNING AND ZONING COMMISSION FOR RECORDING.

SIGNED _____ DATE _____
DON HAASE
CHAIR OF THE PLANNING AND ZONING COMMISSION
CITY OF VALDEZ



SURVEYOR: WRANGELL MOUNTAIN TECHNICAL SERVICES PO BOX 118, MILE 32 EDGERTON HWY, CHITINA, AK 99566 (907) 823-2280		
A PLAT OF MINERAL CREEK KOCH SUBDIVISION CREATING LOTS 7A1 AND 7A2 OF BLOCK 8		
A RE-PLAT OF LOT 7A BLOCK 8 MINERAL CREEK SUBDIVISION PLAT 2001-3 WITHIN A PORTION OF USS 638; LOCATED WITHIN SURVEYED SECTION 31, TOWNSHIP 8 SOUTH, RANGE 6 WEST COPPER RIVER MERIDIAN, ALASKA CONTAINING ±17,600.82 FT² (±0.404 ACRES) VALDEZ RECORDING DISTRICT, ALASKA		
DRAWN BY: ADM DATE: 2/20/24	DATE OF SURVEY: START: 2023 END: 2024	WMTS PROJECT # 23042
CHECKED BY: ADM / COV DATE: 2/20/24	SCALE: 1" = 50'	DRAWING NAME: VALDEZ E OF HAZELET



Legislation Text

File #: 26-0219, **Version:** 1

ITEM TITLE:

Approval of Conditional Use Permit 26-01 - A Request from the City of Valdez for a Conditional Use Permit to Allow a Well House (Utility Class 1) on a Portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12

SUBMITTED BY: Bruce Wall, Senior Planner

FISCAL NOTES:

Expenditure Required: N/A
Unencumbered Balance: N/A
Funding Source: N/A

RECOMMENDATION:

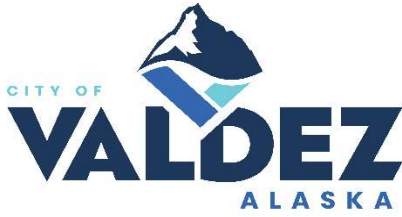
Approve the request from the City of Valdez for a well house on a portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12; and adopt findings.

SUMMARY STATEMENT:

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: TBD Whalen Avenue
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Whalen Drive

VMC 17.12.090(C) states, "The Planning and Zoning Commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request."

Please see the attached staff report for details on the code requirements, staff's evaluation of the application, and the proposed conditions.



CITY OF VALDEZ CONDITIONAL USE PERMIT APPLICATION

<i>Office Use Only</i>	
Application Number	<u>26-01</u> Date Received <u>3/31/2026</u>
Initials	<u>bw</u>

APPLICANT INFORMATION

Name Scott Benda

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

PROPERTY

Address 1112 W. Klutina Street

Legal Description Lot 7, Evergreen Vista Addition No. 1, Plat 80-12

PROPERTY OWNER INFORMATION (If different from applicant)

Name City of Valdez

Phone _____

Email _____

Mailing Address _____

REPRESENTATIVE INFORMATION (If applicable)

Name _____

Phone _____

Email _____

Mailing Address _____

ADDITIONAL MATERIALS REQUIRED (the following must be submitted when applying for a CUP)

- Narrative** – Provide a narrative that describes the location, proposed use(s), proposed site improvements, zoning district, existing and proposed building sizes, proposed density (as applicable), parking and access, and environmental conditions on and adjacent to the subject site.

List the conditional use review criteria and provide a response describing how the proposal complies with those criteria. VMC 17.12.090(C)

List all the specific use standards (VMC 17.80) that are applicable to the proposal and provide a response describing how the proposal complies with those standards.

- Plan Set** – May be required when the proposed use includes new buildings or site improvements. At the discretion of the Community Development Director, the plan set may include property survey, site plan, subdivision plat, grading and drainage plan, utilities plan and building elevations.

- Technical Studies** – May be required, at the discretion of the Community Development Director, to demonstrate compliance with the review criteria. These may include, but are not limited to, traffic studies, drainage studies, noise and vibration studies, and/or visual impact studies.

- Snow Storage Plan** – (VMC 17.88.030)

Scott Benda Digitally signed by Scott Benda
Date: 2026.03.31 14:48:49 -08'00'

Applicant Signature

3/31/26

Date

(Your signature above certifies that all information included on this form and the required additional materials are accurate.)

ADDITIONAL INFORMATION

Forms may be emailed to communitydevelopment@valdezak.gov or dropped off at the Community Development window in City Hall. For a fillable PDF form, visit www.valdezak.gov.

QUESTIONS?

Call the Community Development Department at 907-834-3401 or email communitydevelopment@valdezak.gov

VMC 17.12.090

C. Approval Criteria. The planning and zoning commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request. The planning and zoning commission may require the applicant to submit whatever reasonable evidence may be needed to protect the public interest.

The new well house is needed as well #4 cannot keep up with water demand during the summer when the canneries are running at full capacity during the summer month. The new well #5 will provide a back up to well #4 and eventually allow for well #4 to be rehabilitated without creating a break in service. The new well #5 will be used in a lead/lag configuration with well #4.

1. Criterion 1: Site Suitability. The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The planning and zoning commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors.

The existing location for well #5 was chosen after exhaustive study by the design team. The site is located near the water tank on Meals Hill and will tie into existing water piping that was installed during the Whalen Ave construction project. The site is owned by the City of Valdez and has proven to have adequate capacity in the aquifer to support the water demand needs of the new well.

2. Criterion 2: Utility, Sanitation, and Public Service Needs. The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection, public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements.

The new well directly improves sanitation by providing another source of potable water for use by the public. The new well adds much needed redundancy to the existing water system and will mediate a water supply problem that has been getting worse over the past 15 years. Adequate electrical power is available to power the facility from the existing grid. This facility does not include an onsite restroom. The interior of the facility is not open to the public. Fire protection for the new facility complies with current building codes.

3. Criterion 3: Zoning District Standards. With the exception of planned unit developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone it which it is. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application.

The design has properly addressed the required setbacks, existing underground utilities, vehicle and pedestrian traffic and snow storage.

4. Criterion 4: Specific Use Standards. The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80.

N/A

5. Criterion 5: Comprehensive Plan Consistency. The proposed conditional use and its associated site improvement(s) shall be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale.

This project complies with the criteria in this section.

6. Criterion 6: Nuisance Mitigation. The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage.

The well house will not create excessive noise as the pump is located underground inside the well case and the other equipment is inside the building. The back up generator will only run during routine testing times during daylight hours or when there is a power outage. The lighting on the well house is limited to exterior doors and light fixtures are not placed at an excessive height. Vibration is not an issue. Traffic to the well house will be limited to maintenance personnel. At some point in the future a public water dispenser may be installed to allow people to fill portable water tanks for domestic use at properties not served by city water or an onsite well. Traffic will be minimal as there are not many residences in Valdez that do not have water available. Outdoor materials are not stored outside well houses during routine operations.

7. Criterion 7: Access and Circulation. The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

Drawing C3 shows the access off Whalen Ave to the new well house. The paved area around the well house is visible on the drawing. This facility will see limited automobile traffic. Impact to pedestrian or cycling traffic is nonissue.



Conditional Use Permit – Proposed Findings and Proposed Conditions

Date: May 13, 2026
File: CUP 26-01
To: Planning & Zoning Commission
From: Bruce Wall, Senior Planner
Conditional Use: Well House (Utility, Class I)

General Information

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: TBD Whalen Avenue
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Whalen Drive

VMC 17.08

“Conditional use” means a provision which allows for flexibility within this chapter by permitting certain specified uses in zoning districts where such uses are generally considered appropriate, but only after additional conditions and safeguards are applied to ensure their compatibility with permitted principal uses.

“Utility, Class I” means utility installations including substations and indoor processing that do not create noise, odor, or vibration impacts that negatively affect surrounding properties.

Project Description

The City of Valdez is proposing a new well house on the elementary school / school district offices parcel. The applicant states in their narrative the following.

The new well house is needed as well #4 cannot keep up with water demand during the summer when the canneries are running at full capacity during the

summer month. The new well #5 will provide a back up to well #4 and eventually allow for well #4 to be rehabilitated without creating a break in service. The new well #5 will be used in a lead/lag configuration with well #4.

Proposed Findings

Procedural Findings

- a) On March 31, 2026, the Community Development Department received a conditional use permit application from the City of Valdez.
- b) The applicant supplemented the narrative and snow storage plan on April 3, 2026.
- c) The Community Development Department reviewed the application and determined that it was complete, in accordance with VMC 17.12.090(E)(1).
- d) A public hearing was scheduled for May 13, 2026, to consider the Conditional Use Permit.
- e) Notice of the publication was published in KVAK's e-blast newspaper on April 27, 2026 and May 4, 2026.
- f) Notice of the meeting was published on the City of Valdez website on April 27, 2026, in accordance with VMC 17.12.090(E)(5) and 17.12.160(C)(1).
- g) Notice of the meeting was mailed on April 29, 2026, to the 78 property owners within 300 feet of the parcel where the well house is proposed, in accordance with VMC 17.12.090(E)(5) and, 17.12.160(C)(2).
- h) A document holder with public notice flyers was posted on Whalen Drive on April 29, 2026, in accordance with VMC 17.12.090(E)(5) and 17.12.160(C)(3).

1. **Criterion 1: Site Suitability.** The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The Planning and Zoning Commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors. VMC 17.12.090(C)(1)

- a) The narrative submitted by the applicant states, *"The existing location for well #5 was chosen after exhaustive study by the design team. The site is located near the water tank on Meals Hill and will tie into existing water piping that was installed during the Whalen Ave construction project. The site is owned by the City of Valdez and has proven to have adequate capacity in the aquifer to support the water demand needs of the new well."*
- b) The proposed well house site has less than a 1% slope to the south.
- c) There are not any known geophysical hazards on the property.
- d) It is not anticipated that the proposed use will have any affect on drainage or water quality.
- e) The geography of the site is suitable for the proposed use.

2. **Criterion 2: Utility, Sanitation, and Public Service Needs.** The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection, public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements. VMC 17.12.090(C)(2)

- a) The narrative submitted by the applicant states, *“The new well directly improves sanitation by providing another source of potable water for use by the public. The new well adds much needed redundancy to the existing water system and will mediate a water supply problem that has been getting worse over the past 15 years. Adequate electrical power is available to power the facility from the existing grid. This facility does not include an onsite restroom. The interior of the facility is not open to the public. Fire protection for the new facility complies with current building codes.”*
- b) Notice of the application was provided to the following city departments: Fire, Police, Public Works, and the Building Official.
- c) The application materials demonstrate that the utility, sanitation, and public service needs will be met.

3. **Criterion 3: Zoning District Standards.** With the exception of Planned Unit Developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone in which it is located. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application. VMC 17.12.090 (C)(3)

- a) The narrative submitted by the applicant states, *“The design has properly addressed the required setbacks, existing underground utilities, vehicle and pedestrian traffic and snow storage.”*
- b) The subject property is in the Public Lands (P) district.
- c) The proposed building setbacks 30 feet from the closest property line. The proposed building height is 20’-4”.
- d) The proposed building meets the dimensional standards of the Public Lands district.

4. **Criterion 4: Specific Use Standards.** The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80. VMC 17.12.090(C)(4)

- There are not any specific use standards for Class I Utilities.

5. **Criterion 5: Comprehensive Plan Consistency.** The proposed conditional use and its associated site improvement(s) shall be consistent with the Comprehensive Plan's

goals, policies, and maps in terms of land uses, development character, and scale.
VMC 17.12.090(C)(5)

- a) The Future Land Use Map in Plan Valdez, the comprehensive plan for the City of Valdez designates the place type for the site as New Townsite Neighborhood.
- b) Staff's review of the comprehensive plan did not find any inconsistencies of the proposed use with comprehensive plan.

6. **Criterion 6: Nuisance Mitigation.** The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage. VMC 17.12.090(C)(6)

- a) The narrative submitted by the applicant states, "*The well house will not create excessive noise as the pump is located underground inside the well case and the other equipment is inside the building. The backup generator will only run during routine testing times during daylight hours or when there is a power outage. The lighting on the well house is limited to exterior doors and light fixtures are not placed at an excessive height. Vibration is not an issue. Traffic to the well house will be limited to maintenance personnel.*"
- b) It is not anticipated that the proposed use will create any nuisances related to excessive noise, lighting, vibration, traffic, debris and litter, or outdoor material storage beyond what can be expected by similar operations operating in the community.

7. **Criterion 7: Access and Circulation.** The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists. VMC 17.12.090(C)(7)

- a) The narrative submitted by the applicant states, "*This facility will see limited automobile traffic. Impact to pedestrian or cycling traffic is nonissue.*"
- b) The proposed well house will be located adjacent and will be served by Whalen Avenue.
- c) Due to the limited use of the proposed facility, it is not anticipated that it will create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

8. **Snow Storage:**

- a) The narrative submitted by the applicant states, "*We've had multiple meetings with Public Works and moved the well house to the north and west on the lot to accommodate their snow storage needs. Snow will be stored on the south side of the lot next to W. Pioneer Street.*"

- b) The applicant has submitted a snow storage plan as required by VMC 17.88.030(C).
- c) The snow storage plan was provided to various city departments and other agencies along with other application materials.
- d) The snow storage plan indicates that there will not be a reduction in the available parking spaces for snow storage.
- e) The snow storage plan has been reviewed by Community Development staff, and they have determined that the plan provides adequate space to reasonably handle expected snow storage needs on the site.
- f) Snow will shed into the side yard of the lot.
- g) Shedding snow will not block the ingress or egress of the structure.
- h) Condition of Approval Number 3 requires that the intersection visibility triangle be maintained as required by VMC 17.88.050.

VMC 17.12.090(E)(7)

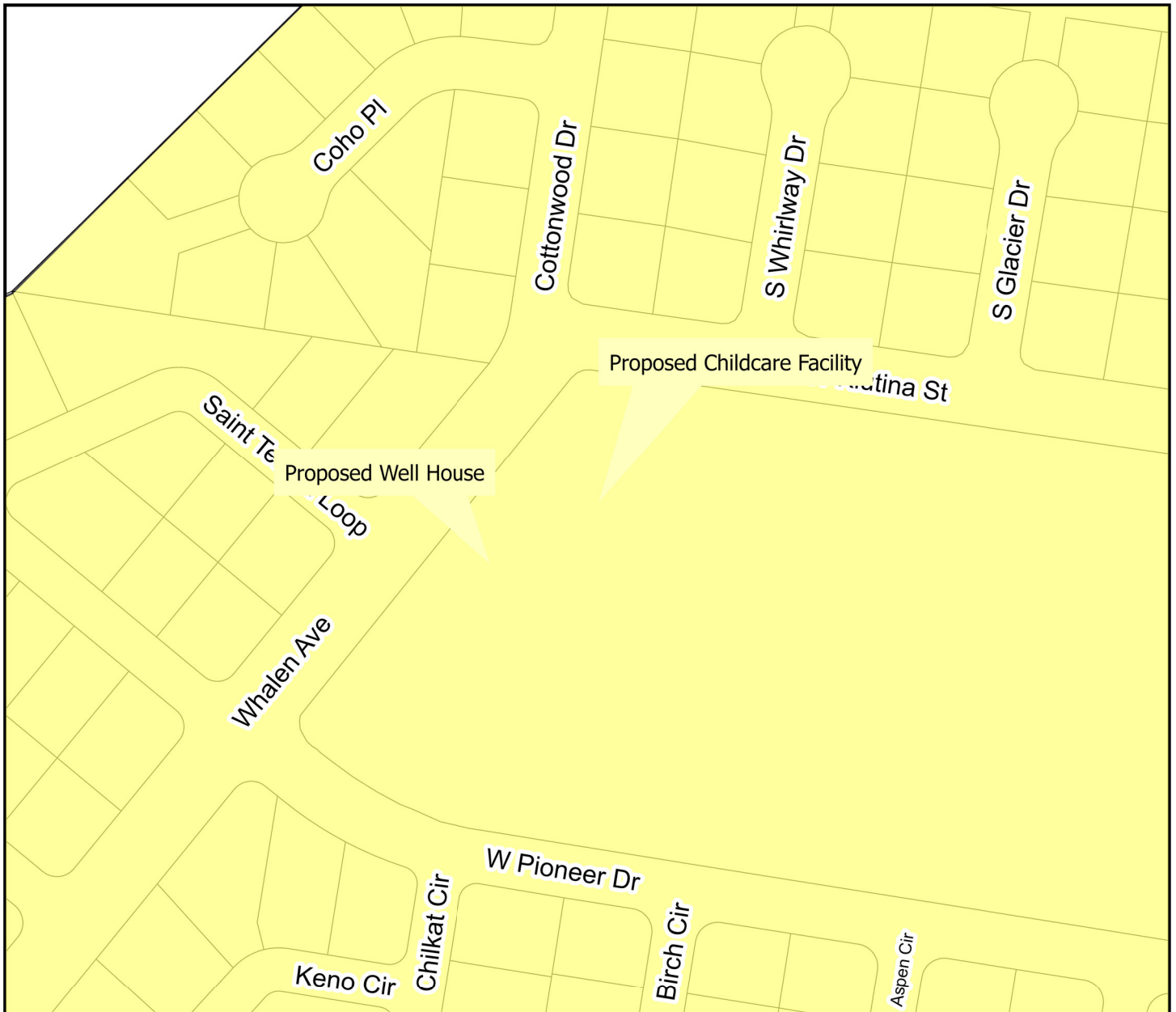
The Planning and Zoning Commission shall conduct a public hearing to review the conditional use application, review the staff report, hear staff, applicant, and public testimony, discuss the proposal, adopt findings of fact (from staff or establishing their own), and take action on the application. The Commission may approve, approve with conditions, or deny the application.

Conditions

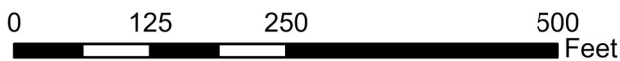
1. The conditional use permit is for a portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12 to be used as a well house (Utility, Class I).
2. The conditional use permit is effective upon approval.
3. The permittee shall maintain the intersection visibility triangle as required by VMC 17.88.050.
4. The conditional use permit must be utilized within twelve months after the effective date of approval. In the event construction work is involved, it must commence within the stated period and must be diligently prosecuted to completion.
5. The use must be consistent with the submitted application, narrative, and site plan. Any substantial change to the use requires approval pursuant to VMC 17.12.090(F).

Staff Recommendation

Staff recommends that CUP 26-01 be approved by the Planning & Zoning Commission with the conditions recommended by staff.



Proposed Well House and Childcare Facility

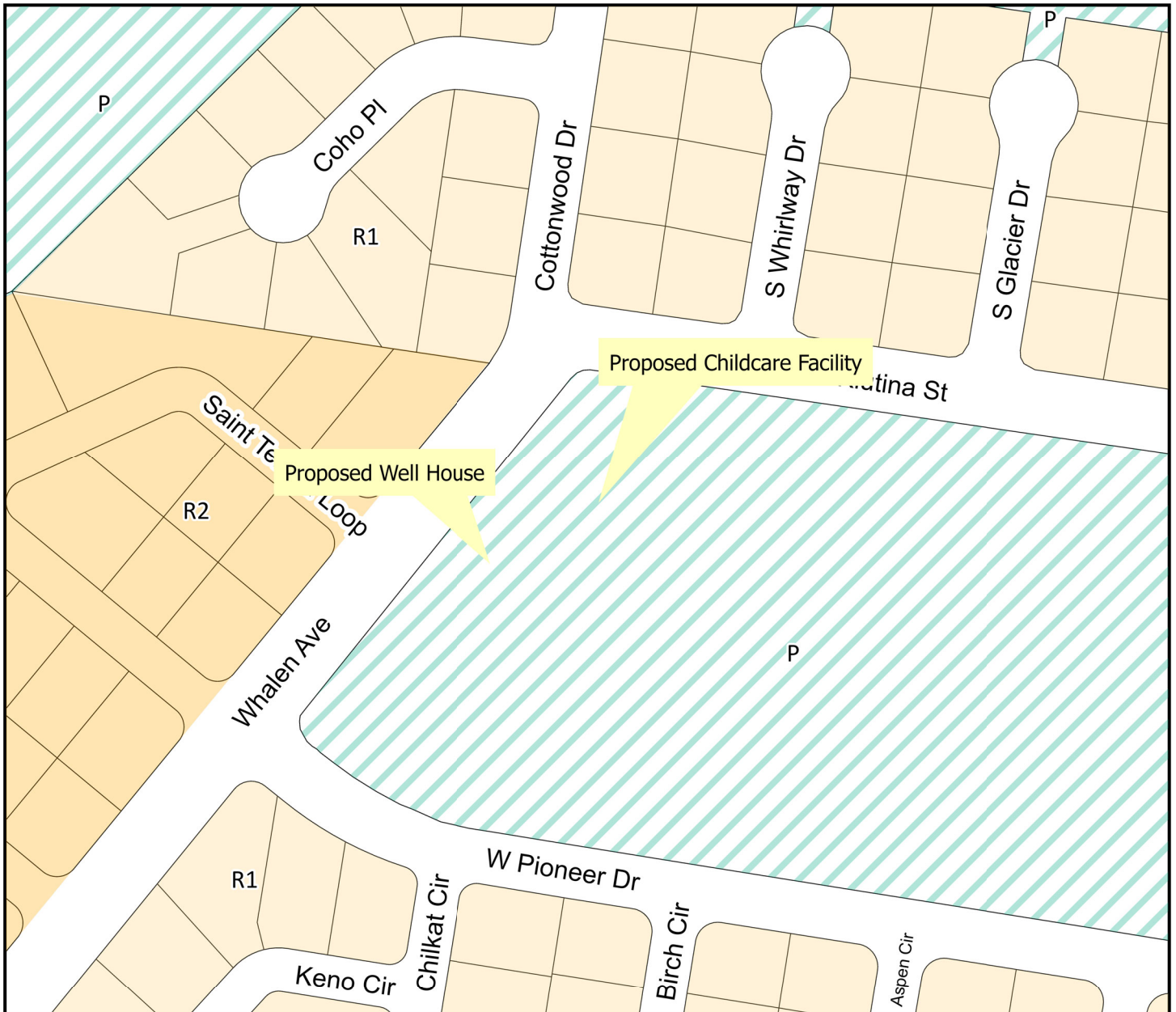


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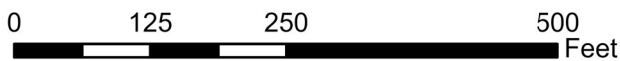
Comprehensive Plan Place Type

 New Townsite Neighborhood


Date: 5/1/2026 Author: Community Development



Proposed Well House and Childcare Facility



Zoning District

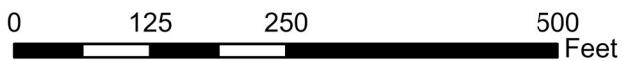
-  Moderate Density Residential (R1)
-  High Density Residential (R2)
-  Public Lands District (P)

Information displayed is for informational purposes only. The City of Valdez makes no warranties, expressed or implied as to the veracity or accuracy of the information herein.

Date: 5/1/2026 Author: Community Development



Proposed Well House and Childcare Facility



Information displayed is for informational purposes only. The City of Valdez makes no warranties, expressed or implied as to the veracity or accuracy of the information herein.

Date: 5/1/2026 Author: Community Development



Legislation Text

File #: 26-0220, **Version:** 1

ITEM TITLE:

Approval of Conditional Use Permit 26-02 - A Request from the City of Valdez for a Conditional Use Permit to Allow a Child Care Facility on a Portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12, and Adopt Findings

SUBMITTED BY: Bruce Wall, Senior Planner

FISCAL NOTES:

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

RECOMMENDATION:

Approve the request from the City of Valdez for a child care facility on a portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12, and adopt findings.

SUMMARY STATEMENT:

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: 1112 W. Klutina Street
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Klutina Street

VMC 17.12.090(C) states, "The Planning and Zoning Commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request."

Please see the attached staff report for details on the code requirements, staff's evaluation of the application, and the proposed conditions.



CITY OF VALDEZ CONDITIONAL USE PERMIT APPLICATION

<i>Office Use Only</i>	
Application Number	<u>26-02</u> Date Received <u>April 23, 2026</u>
Initials	<u>bw</u>

APPLICANT INFORMATION

Name Nathan Duval - City of Valdez

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

PROPERTY

Address 1112 W Klutina St, Valdez, AK 99686

Legal Description LT 7 Evergreen Vista ADD NO 1 (HH School)

PROPERTY OWNER INFORMATION (If different from applicant)

Name City of Valdez

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

REPRESENTATIVE INFORMATION (If applicable)

Name Lindy Vititow - COV Project Manager

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]

ADDITIONAL MATERIALS REQUIRED (the following must be submitted when applying for a CUP)

- Narrative** – Provide a narrative that describes the location, proposed use(s), proposed site improvements, zoning district, existing and proposed building sizes, proposed density (as applicable), parking and access, and environmental conditions on and adjacent to the subject site.

List the conditional use review criteria and provide a response describing how the proposal complies with those criteria. VMC 17.12.090(C)

List all the specific use standards (VMC 17.80) that are applicable to the proposal and provide a response describing how the proposal complies with those standards.

- Plan Set** – May be required when the proposed use includes new buildings or site improvements. At the discretion of the Community Development Director, the plan set may include property survey, site plan, subdivision plat, grading and drainage plan, utilities plan and building elevations.

- Technical Studies** – May be required, at the discretion of the Community Development Director, to demonstrate compliance with the review criteria. These may include, but are not limited to, traffic studies, drainage studies, noise and vibration studies, and/or visual impact studies.

- Snow Storage Plan** – (VMC 17.88.030)

Lindy Vititow
Applicant Signature

4-23-2026
Date

(Your signature above certifies that all information included on this form and the required additional materials are accurate.)

ADDITIONAL INFORMATION

Forms may be emailed to communitydevelopment@valdezak.gov or dropped off at the Community Development window in City Hall. For a fillable PDF form, visit www.valdezak.gov.

QUESTIONS?

Call the Community Development Department at 907-834-3401 or email communitydevelopment@valdezak.gov

Valdez Childcare Renovation Project Narrative

Name of Project: Valdez New Childcare Renovation
Address: 1112 W. Klutina Street, Valdez, AK 99686
Proposed Use: Childcare Facility
Owner: City of Valdez

Project Narrative:

This project was established to provide the community of Valdez with a Childcare Facility for Children Ages 0-5. Currently there is not a full-time childcare facility within the community of Valdez that provides this service for Valdez residents.

After several years of researching options for the location of the new Childcare Facility. The Valdez City Council and VCS School Board chose and approved to use the current VCS District Offices building as the location of the childcare facility. The current VCS District Office employees are being relocated to office spaces within Hermon Hutchens Elementary School.

This project will remodel the existing Valdez City School District Offices building, to become the new Childcare Facility. The building is a one story, wood framed building. No additional square footage will be added to the existing building during this renovation project. This will be only an interior renovation project that will meet all local, state and federal code requirements which are required to meet the educational occupancy for a childcare facility.

The snow lot storage and snow removal plan will not change from the building's previous plan and remain the same as it has been for this building location.

The required playground for the new childcare facility will be located outside of the west HHES building entrance and will be shared with HHES students during alternate times of use between the two schools.

Narrative Criteria for New Childcare Facility

VMC 17.12.090

C. Approval Criteria. The planning and zoning commission shall evaluate whether the conditional use permit application complies with the criteria established in this section in determining to approve, approve with conditions, or deny the request. The planning and zoning commission may require the applicant to submit whatever reasonable evidence may be needed to protect the public interest.

1. Criterion 1: Site Suitability. The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The planning and zoning commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors.

The site for the new Childcare Facility was found suitable to be located within the existing VCS District Offices building after a long review process by the City of Valdez and VCS School Board. All civil, architectural, and geotech consultants have evaluated all items listed within this “Criterion 1” and have addressed all these factors within the renovation design.

2. Criterion 2: Utility, Sanitation, and Public Service Needs. The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection, public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements.

All items included within “Criterion 2” are being addressed by the project’s design consultants, including the State Fire Marshal, to meet these “Utility, Sanitation, and Public Service Needs” requirements.

3. Criterion 3: Zoning District Standards. With the exception of planned unit developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone in which it is located. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application.

The use of the new Childcare Facility being placed within the existing building location at 1112 W. Klutina St. meets the future land use requirements for being located within the “New Townsite Neighborhood” as it is classified as a school/ institutional building occupancy. All site improvements made within this project by the design consultants will comply with the dimensional standards set forth within the existing building location of “New Townsite Neighborhood” zone.

4. Criterion 4: Specific Use Standards. The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80.

The new Childcare Facility design complies with the “Specific Use Standards” as it meets all current State of Alaska day care facilities license requirements for this specific occupancy classification. The future childcare operator for this site currently holds a current State of Alaska childcare center license and will be required to always maintain a valid current state license while operating as a childcare at this site.

5. Criterion 5: Comprehensive Plan Consistency. The proposed conditional use and its associated site improvement(s) shall be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale.

The exterior of the existing building site which is to be used as a childcare facility will not have any major exterior renovations to the existing building envelope which maintains the character of the adjacent HHES school building. The required playground site for the childcare facility was thoughtfully located on the west exterior side of Hermon Hutchens Elementary school to align with and be consistent with the "Comprehensive Plan". The design consultants have designed any project site improvements to be consistent with the comprehensive plan's goals, policies, and maps in terms of land uses, development character, and scale

6. Criterion 6: Nuisance Mitigation. The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage.

The city has employed civil, architectural, and traffic control experts as part of the design team on this project to mitigate and address within the design of this project any potential nuisances related to excessive noise, lighting, vibration, traffic, debris, litter, and outdoor material storage.

7. Criterion 7: Access and Circulation. The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

The childcare design team is analyzing and implementing improvements within the project site to accommodate adequate access for all motor vehicles, pedestrians, and cyclists entering and exiting the site to ensure undue traffic congestion and to avoid any potential safety hazards to motorists, pedestrians, and/or cyclists.

IF THIS DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES

12/18/2025 12:46:08 PM Autodesk Docs://24-121 Valdez Childcare/24-121 Valdez Childcare B1.N.rvt

CITY OF VALDEZ

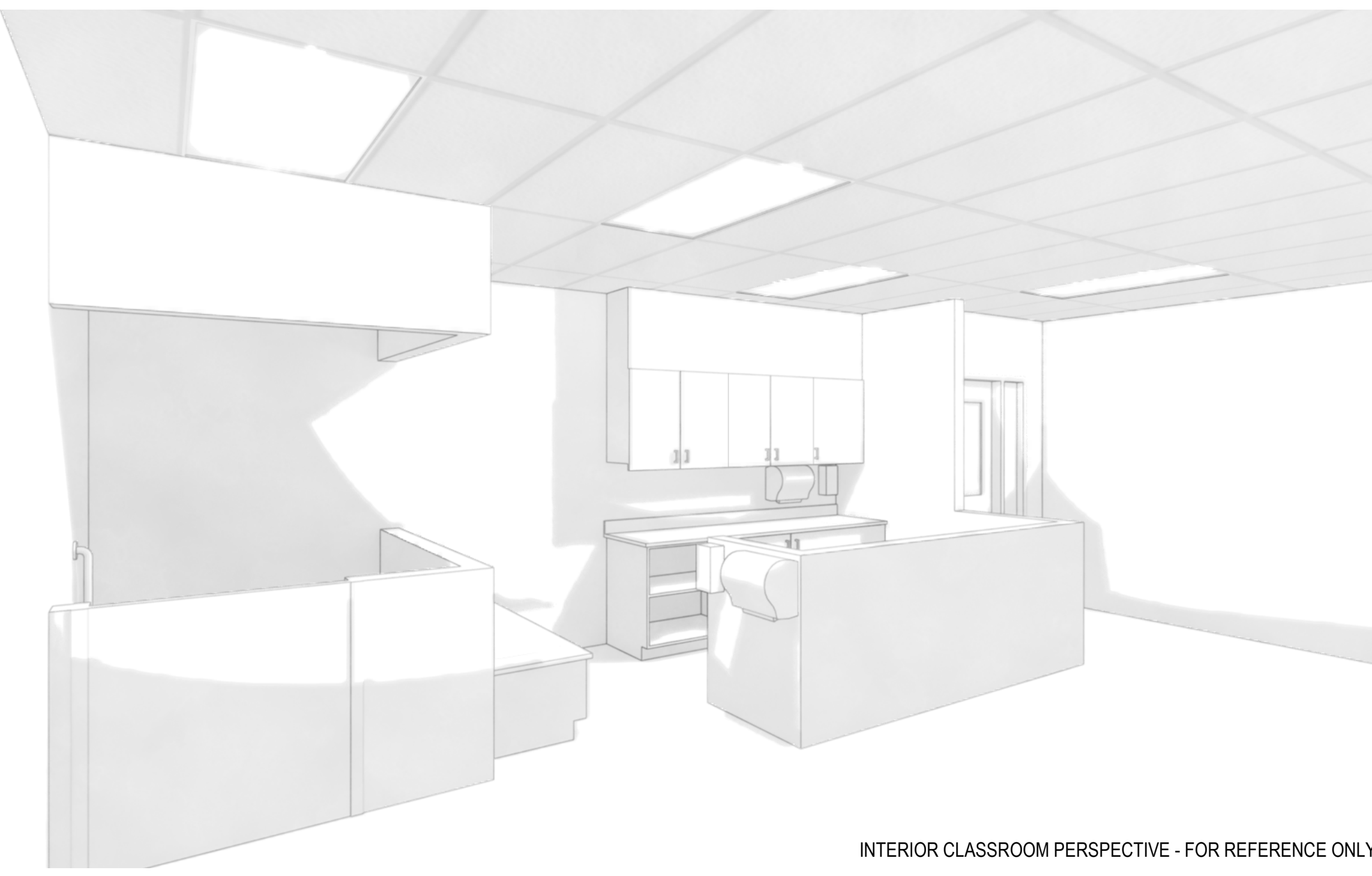
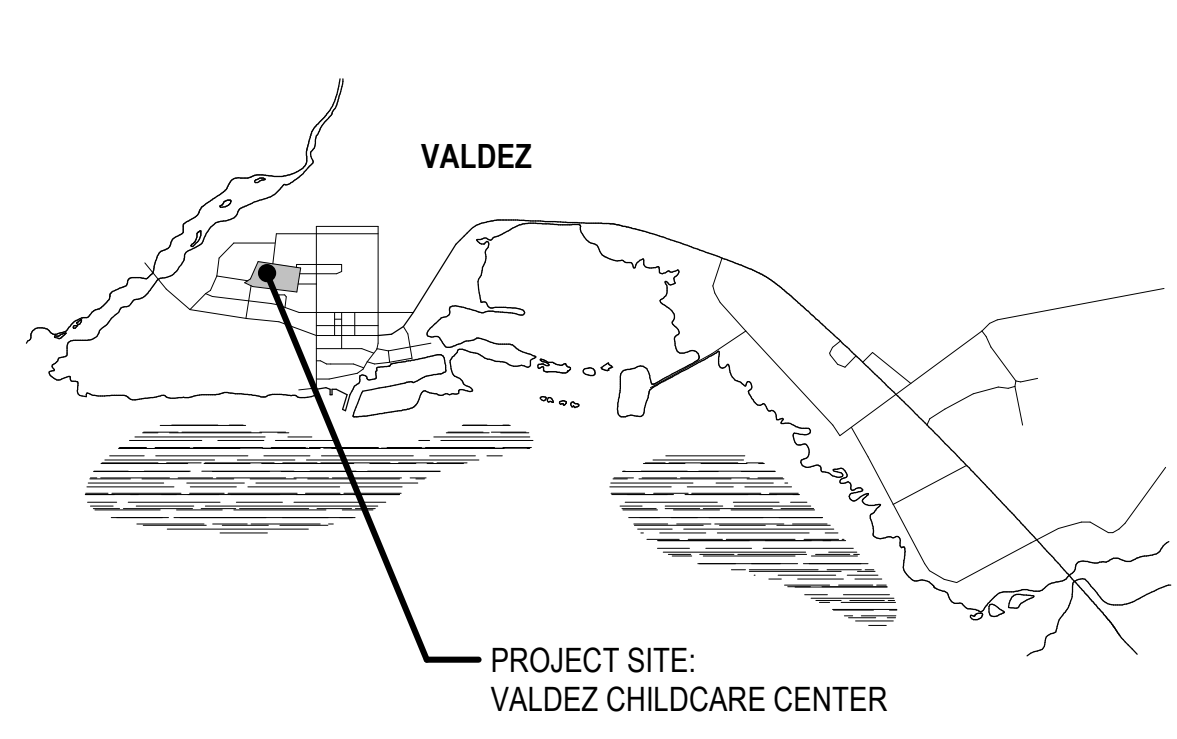
VALDEZ CHILDCARE

VALDEZ, ALASKA

LOCATION MAP



VICINITY MAP



INTERIOR CLASSROOM PERSPECTIVE - FOR REFERENCE ONLY

DRAWING INDEX

GENERAL	G001 PROJECT TITLE, PROJECT TEAM	STRUCTURAL	S001 GENERAL STRUCTURAL NOTES & DETAILS
G101 CODE ANALYSIS AND LIFE SAFETY PLAN		MECHANICAL	M001 MECHANICAL LEGEND AND ABBREVIATIONS
		M002 MECHANICAL SCHEDULES	
CIVIL	C100 NOTES, LEGEND, AND ABBREVIATIONS	M101 PLUMBING DEMOLITION	
C101 SITE PLAN & DEMOLITION PLAN		M102 HEATING AND VENTILATION DEMOLITION	
C102 GRADING PLAN		M201 UNDERFLOOR PLUMBING REMODEL	
C103 WATER IMPROVEMENTS		M202 PLUMBING REMODEL	
		M301 HEATING REMODEL	
ARCHITECTURE	AD100 EXISTING CONDITIONS PHOTOS	M302 VENTILATION REMODEL	
AD101 DEMOLITION PLAN - OVERALL		M401 ENLARGED PLANS	
AD102 DEMOLITION RCP - OVERALL		M501 MECHANICAL DETAILS	
		M502 MECHANICAL DETAILS	
ARCHITECTURE	A001 ABBREVIATIONS, GENERAL PROJECT NOTES, SYMBOLS	ELECTRICAL	E001 ELECTRICAL LEGEND AND LIGHT FIXTURE SCHEDULE
A002 ASSEMBLY TYPES		E002 ELECTRICAL POWER ONE-LINE	
A110 FLOOR PLAN - OVERALL		E101 LIGHTING DEMOLITION PLAN	
A210 REFLECTED CEILING PLAN - OVERALL		E102 POWER DEMOLITION PLAN	
A301 EXTERIOR ELEVATIONS		E103 SIGNAL DEMOLITION PLAN	
A302 BUILDING SECTIONS		E201 LIGHTING REMODEL PLAN	
A501 EXTERIOR DETAILS - OPENINGS		E301 POWER REMODEL PLAN	
A601 ENLARGED PLANS		E401 SIGNAL REMODEL PLAN	
A602 ENLARGED PLANS		E501 ELECTRICAL DETAILS	
A610 FURNITURE PLAN - OVERALL - FOR REFERENCE ONLY		E502 ELECTRICAL DETAILS	
A701 INTERIOR ELEVATIONS			
A702 INTERIOR ELEVATIONS			
A703 INTERIOR ELEVATIONS			
A811 INTERIOR DETAILS			
A901 DOOR, STOREFRONT, AND WINDOW SCHEDULE			
A911 FINISH SCHEDULE			
A912 FINISH LEGEND			
A914 FIRST FLOOR - INTERIOR FINISH PLAN			
A921 SIGN LEGEND			

DESIGN DEVELOPMENT

DECEMBER 18, 2025

PROJECT TEAM

ARCHITECTURE, LANDSCAPE, INTERIORS
 BETTISWORTH NORTH ARCHITECTS
 PHONE: (907) 456-5780
 CONTACT: DAVID POPIEL
 EMAIL: dpopiel@bettisworthnorth.com

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 PHONE: (907) 276-0521
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 REID MIDDLETON
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CIVIL
 TRIAD ENGINEERING LLC
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 CONTACT: BRANDON MARCOTT
 EMAIL: brandonmarcott@triadak.com

SURVEY
 JOA SURVEYS, LLC
 PHONE: (907) 561-0136
 CONTACT: JAMES MITCHELL

GENERAL PROJECT NOTES

PROJECT DESCRIPTION: THIS PROJECT IS A REMODEL OF THE EXISTING VALDEZ CITY SCHOOL DISTRICT OFFICE, TO BECOME A CHILDCARE FACILITY FOR CHILDREN AGES 0-5. THE BUILDING IS A ONE STORY, WOOD FRAMED BUILDING. THE AREA OF THE BUILDING IS APPROXIMATELY 7056 SF. THE PROJECT WILL BE AN EDUCATIONAL OCCUPANCY.

REFERENCE CODES: ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, STANDARDS, REGULATIONS, AND OTHER SUPPLEMENTAL AMENDMENTS PER THE JURISDICTIONS OF THE PROJECT.

DRAWING FORMAT: THESE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED AT DRAWING SCALES RELATED TO THEIR FULL-SIZE FORMAT OF 22X34. ANY DEVIATIONS FROM THIS FORMAT WILL PRODUCE DRAWINGS OUTSIDE OF THE SCALE LIMITS INDICATED.

ELECTRONIC MEDIA: THE AVAILABILITY OF ELECTRONIC DOCUMENTS FOR USE BY THE GENERAL CONTRACTOR ON THIS PROJECT IS CONDITIONALLY GRANTED THROUGH THE PERMISSION OF THE DESIGNER OF RECORD.

VERIFY CONDITIONS: THE CONTRACTOR SHALL VERIFY ALL PROJECT-RELATED NEW AND/OR EXISTING CONDITIONS, INCLUDING DIMENSIONS, PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE ARCHITECT AND CITY OF VALDEZ PROJECT MANAGER IN WRITING OF ALL DISCREPANCIES AND/OR UNKNOWN CONDITIONS OBSERVED.

SITE SAFETY: THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT RELATED SAFETY MEASURES ON-SITE DURING THE PROJECT CONSTRUCTION PERIOD. NOTIFY THE CITY OF VALDEZ PROJECT MANAGER AT ONCE SHOULD ANY SAFETY RELATED CONCERNS BE OBSERVED.

BABAA COMPLIANCE: THIS PROJECT IS SUBJECT TO THE BUILD AMERICA, BUY AMERICA ACT. ALL MANUFACTURED PRODUCTS AND CONSTRUCTION MATERIALS INCORPORATED INTO THE WORK SHALL BE PRODUCED IN THE UNITED STATES. DOCUMENTATION OF COMPLIANCE SHALL BE MAINTAINED BY THE CONTRACTOR. WAIVERS MUST BE SUBMITTED TO OWNER AND HUD FOR REVIEW AND APPROVAL PRIOR TO USE OF NON-COMPLIANT MATERIALS.

BETTISWORTH NORTH

NOT FOR CONSTRUCTION

CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA

CONSULTANT:

PROJECT NO:	24-121	
DATE:	2025-12-18	
DRAWN BY:	HNK	
CHECKED BY:	DPP	
REVISION	DESCRIPTION	DATE

PROJECT TITLE, PROJECT TEAM

G001

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CORPORATE NO. AEC219 WWW.BETTISWORTHNORTH.COM

DESIGN DEVELOPMENT

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CODE ANALYSIS

PROJECT SUMMARY:

NAME OF PROJECT: VALDEZ CHILDCARE RENOVATION
 ADDRESS: 1112 W. KLUTINA STREET, VALDEZ, AK 99686
 PROPOSED USE: CHILDCARE FACILITY
 AUTHORITY HAVING JURISDICTION: STATE OF ALASKA FIRE MARSHAL
 OWNER: CITY OF VALDEZ

PROJECT DESCRIPTION: THIS PROJECT IS A REMODEL OF THE EXISTING VALDEZ CITY SCHOOLS OFFICE, TO BECOME A CHILDCARE FACILITY FOR CHILDREN AGES 0-5. THE BUILDING IS A ONE STORY, WOOD FRAMED BUILDING. THE AREA OF THE BUILDING IS APPROXIMATELY 7056 SF. THE PROJECT WILL BE AN EDUCATIONAL OCCUPANCY.

LEGAL DESCRIPTION: LT 7, EVERGREEN VISTA, PLAT #80-12.

ZONING ANALYSIS: CITY OF VALDEZ TITLE 17

ZONING: (P) PUBLIC LANDS
 LOT SIZE = 591,109 SF
 ZONING REQUIREMENTS: ZONING CLEARANCE REVIEW - APPLICATION REQUIRED

CODE ANALYSIS:

APPLICABLE CODES

- INTERNATIONAL BUILDING CODE 2021
- INTERNATIONAL EXISTING BUILDING CODE 2021
- INTERNATIONAL MECHANICAL CODE 2021
- UNIFORM PLUMBING CODE 2018
- 2017 NATIONAL ELECTRICAL CODE
- 2020 NFPA 70
- 2021 INTERNATIONAL FIRE CODE
- CITY OF VALDEZ TITLE 17

CODE STUDY FROM ORIGINAL DOCUMENTS

1976 UNIFORM BUILDING CODE
 CONSTRUCTION TYPE: V-N
 OCCUPANCY: B2 AND H3
 STORY: ONE
 AREA: 7056 SF

INTERNATIONAL EXISTING BUILDING CODE ANALYSIS 2021 CODE STUDY

- CHAPTER 6: CLASSIFICATION OF WORK
- 604.1 SCOPE: LEVEL 3 ALTERATION APPLIES TO PROJECT, MORE THAN 50% OF WORK AREA.
 - 605.2 APPLICATION: CHANGE OF OCCUPANCY SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 10
- CHAPTER 8: ALTERATIONS - LEVEL 3
- 801.4 COMPLIANCE - NEW CONSTRUCTION ELEMENTS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.
- CHAPTER 10: CHANGE OF OCCUPANCY
- 1004.1 FIRE PROTECTION REQUIREMENTS OF SECTION 1011 SHALL APPLY WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 IBC.
 - 1005.1 MEANS OF EGRESS SHALL COMPLY WITH SECTION 1011
 - 1011.1 COMPLY WITH CHAPTER 9 IBC AND SECTIONS 1002 THROUGH 1010.
 - 1011.2.1 PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM
 - 1011.3 INTERIOR FINISH - COMPLY WITH IBC
 - 1011.4 MEANS OF EGRESS - COMPLY WITH CHAPTER 10 IBC
 - 1011.5.1 HEIGHT AND AREA - COMPLY WITH CHAPTER 5 IBC

INTERNATIONAL BUILDING CODE 2021 ANALYSIS

- CHAPTER 3: OCCUPANCY CLASSIFICATION AND USE
- CHANGE OF OCCUPANCY CLASSIFICATION:
 - GROUP E (EDUCATION)
 - ORIGINAL OCCUPANCY CLASSIFICATION - GROUP B: BUSINESS
- CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
- NO PROPOSED CHANGE TO BUILDING HEIGHT OR AREA
 - ALLOWABLE HEIGHT = 40'
 - ACTUAL HEIGHT = 15'
 - ALLOWABLE AREA = 14,000 SF
 - ACTUAL AREA = 7056 SF
- CHAPTER 6: TYPE OF CONSTRUCTION
- TYPE OF CONSTRUCTION = VB
 - STRUCTURAL FRAME COLUMNS = NON-RATED
 - EXTERIOR AND INTERIOR NON-BEARING WALLS = NON-RATED
 - ROOF ASSEMBLY = NON-RATED
 - TABLE 602: NO FIRE RESISTANCE RATING IS REQUIRED FOR EXTERIOR WALLS WITH GREATER THAN 30' OF FIRE SEPARATION DISTANCE
- CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES
- PROJECT IS NON-RATED, NON-LOADING BEARING INTERIOR CONSTRUCTION, NO REQUIRED RATINGS PER TABLE 601
- CHAPTER 8: INTERIOR FINISHES
- PROPOSED INTERIOR FINISHES ARE CLASS B (REFER TO TABLE 803.13 FOR E-OCCUPANCY)
- CHAPTER 9: FIRE PROTECTION AND LIFE SAFETY
- NFPA 13 SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT BUILDING
 - PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED WHERE REQUIRED
 - MANUAL FIRE ALARM SYSTEM REQUIRED
- CHAPTER 10: MEANS OF EGRESS
- PROPOSED RENOVATION INCLUDES A CHANGE OF OCCUPANCY.
 - NUMBER OF EXITS REQUIRED = 2 MINIMUM
 - EXITS PROVIDED = 2
 - COMMON PATH OF TRAVEL = MAX 75'
 - EXIT ACCESS TRAVEL DISTANCE = 250'
- CHAPTER 11: ACCESSIBILITY
- AT LEAST 60% OF ALL PUBLIC ENTRANCES ARE ACCESSIBLE
 - ALL RENOVATED SPACES WILL COMPLY WITH CURRENT ACCESSIBILITY REQUIREMENTS OF THE IBC AND ANSI 117.1
- CHAPTER 29: PLUMBING FIXTURE REQUIREMENTS
- E-OCCUPANCY
 - 49 MALE AND 49 FEMALE OCCUPANTS
 - SEE OCCUPANT LOAD TABLE
 - WATER CLOSETS | 1 PER 50 MALE AND FEMALE
 - 2 REQUIRED | 3 PROVIDED
 - LAVATORY | 1 PER 50 MALE AND FEMALE
 - 2 REQUIRED | 3 PROVIDED
 - DRINKING FOUNTAIN | 1 PER 100
 - 0 REQUIRED | 1 PROVIDED
 - SERVICE SINK = 1
 - 1 REQUIRED | 1 PROVIDED

LIFE SAFETY - CODE PLAN LEGEND

- PATH OF EGRESS TRAVEL
- COMMON PATH OF TRAVEL
- NON RATED PARTITION
- 1HR RATED
- BUILDING EXIT
- EXIT ACCESS
- EXIT CAPACITY NOTE (REQUIRED WIDTH CALCULATED .XX'/(OCC))
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET
- CODE RELATED NOTE

OCCUPANCY GROUP LEGEND

- NFPA: BUSINESS IBC: GROUP B
- NFPA: DAYCARE IBC: GROUP E
- NFPA: STORAGE IBC: GROUP S-1

LIFE SAFETY - CODE PLAN NOTES

SEE SHEET A001 FOR FIRE RATING/PARTITION HEIGHT KEY & NOTES.
 SEE DOOR SCHEDULE ON SHEET A901 FOR DOOR FIRE RATINGS.

BETTISWORTH NORTH

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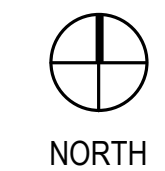
CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA
DESIGN DEVELOPMENT

CONSULTANT:

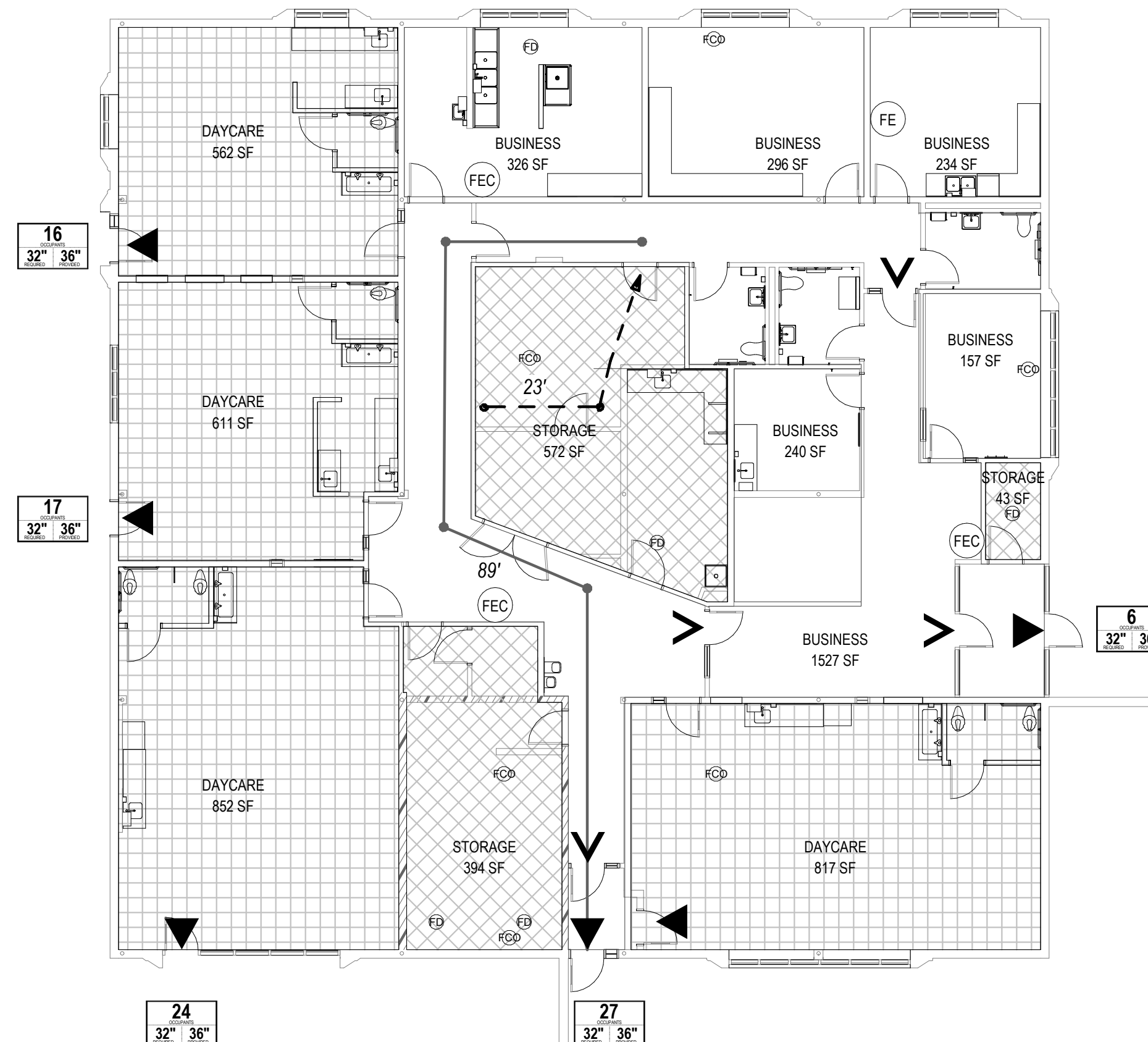
PROJECT NO: 24-121
 DATE: 2025-12-18
 DRAWN BY: GMB
 CHECKED BY: HNK

REVISION	DESCRIPTION	DATE

CODE ANALYSIS AND LIFE SAFETY PLAN
G101



NUMBER	NAME	AREA	OCCUPANCY		LOAD FACTOR	USE DESCRIPTION	OCCUPANTS
			IBC	CATEGORY			
100	VEST	90 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
101	ADMIN/LOBBY	260 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
110	HALL	58 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
111	DIRECTOR'S OFFICE	157 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
112	LACTATION	122 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
114	PUBLIC RR	61 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	1
120	HALL	316 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
121	LAUN/JAN	180 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
122	PRE-K	766 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	22
122.1	TOILET	43 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
122.2	SPRINKLER RISER ROOM	43 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
122.3	HALL	191 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
124	ELEC	36 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
124.1	COMM	37 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
126	PRE-K	802 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	23
126.1	TOILET	43 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
126.2	MECH	306 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
127	INFANT/TODDLER	570 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	16
127.1	TOILET	28 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
130	HALL	76 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
135	VEST	37 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
140	HALL	225 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
141	STAFF RR	73 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
143	BREAKROOM	234 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
144	STAFF RR	60 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
147	TEACHER WORKROOM	223 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
148	STORAGE	374 SF	S-1	STORAGE (INCIDENTAL)	300 GSF	MECH, ELEC, STORAGE, ETC	1
149	WARMING KITCHEN	310 SF	B	BUSINESS	150 GSF	GENERAL BUSINESS USE	2
150	HALL	198 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
156	TODDLER	524 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	15
156.1	TOILET	27 SF	E	DAYCARE	35 NSF	GENERAL DAYCARE USE	1
157	VEST	38 SF	B	BUSINESS	0 SF	UNOCCUPIED ACCESSORY AREA	
	TOTAL AREA	6,508 SF				TOTAL OCCUPANT LOAD	97



1 FIRST FLOOR - LIFE SAFETY PLAN
 G101 3/32" = 1'-0"

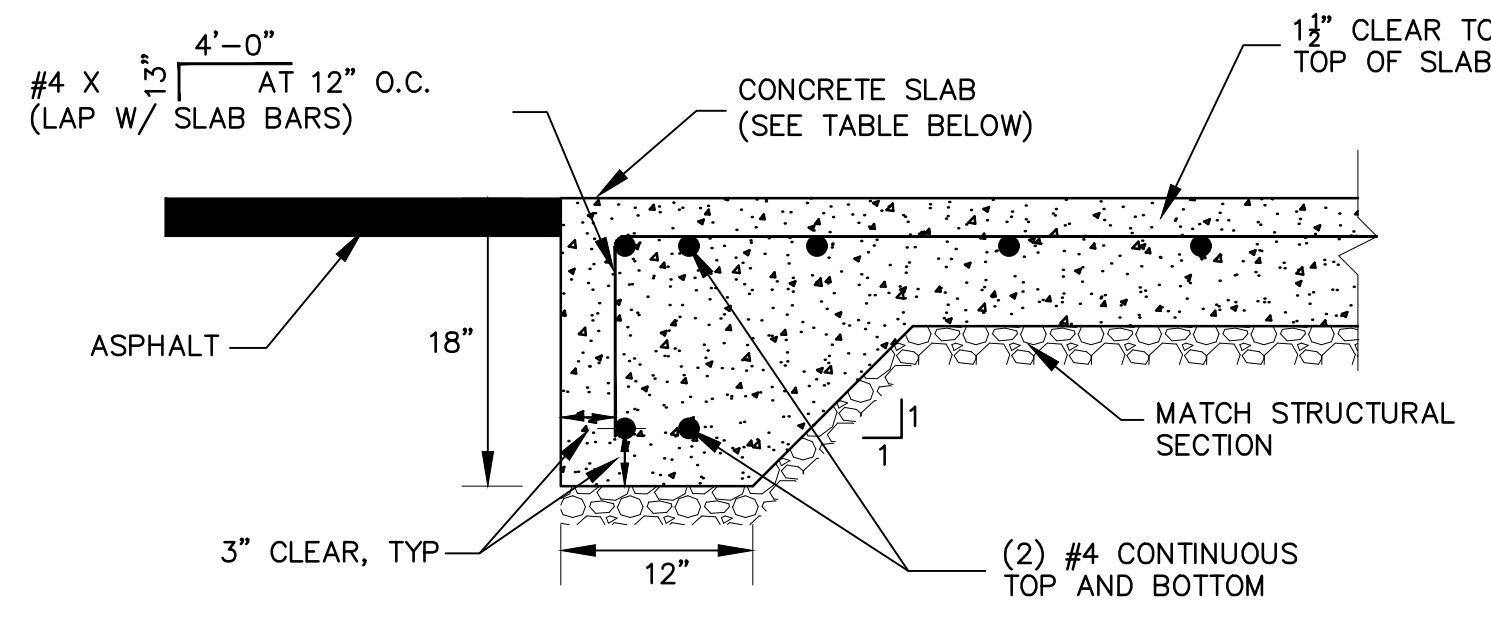
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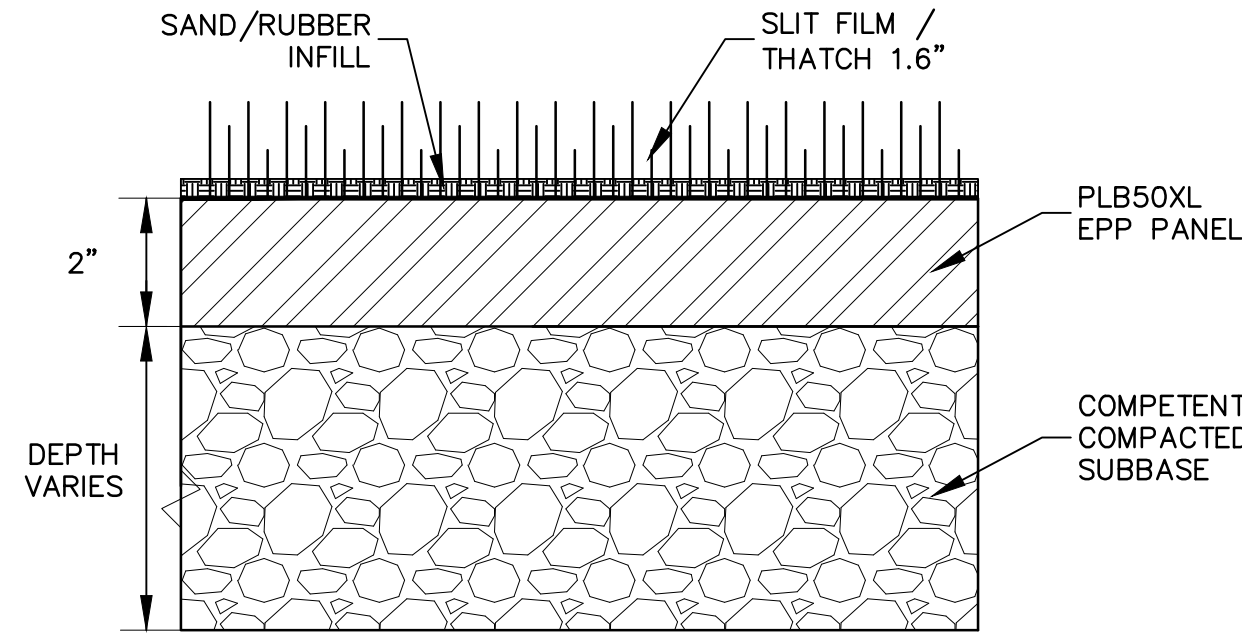
DESIGN DEVELOPMENT

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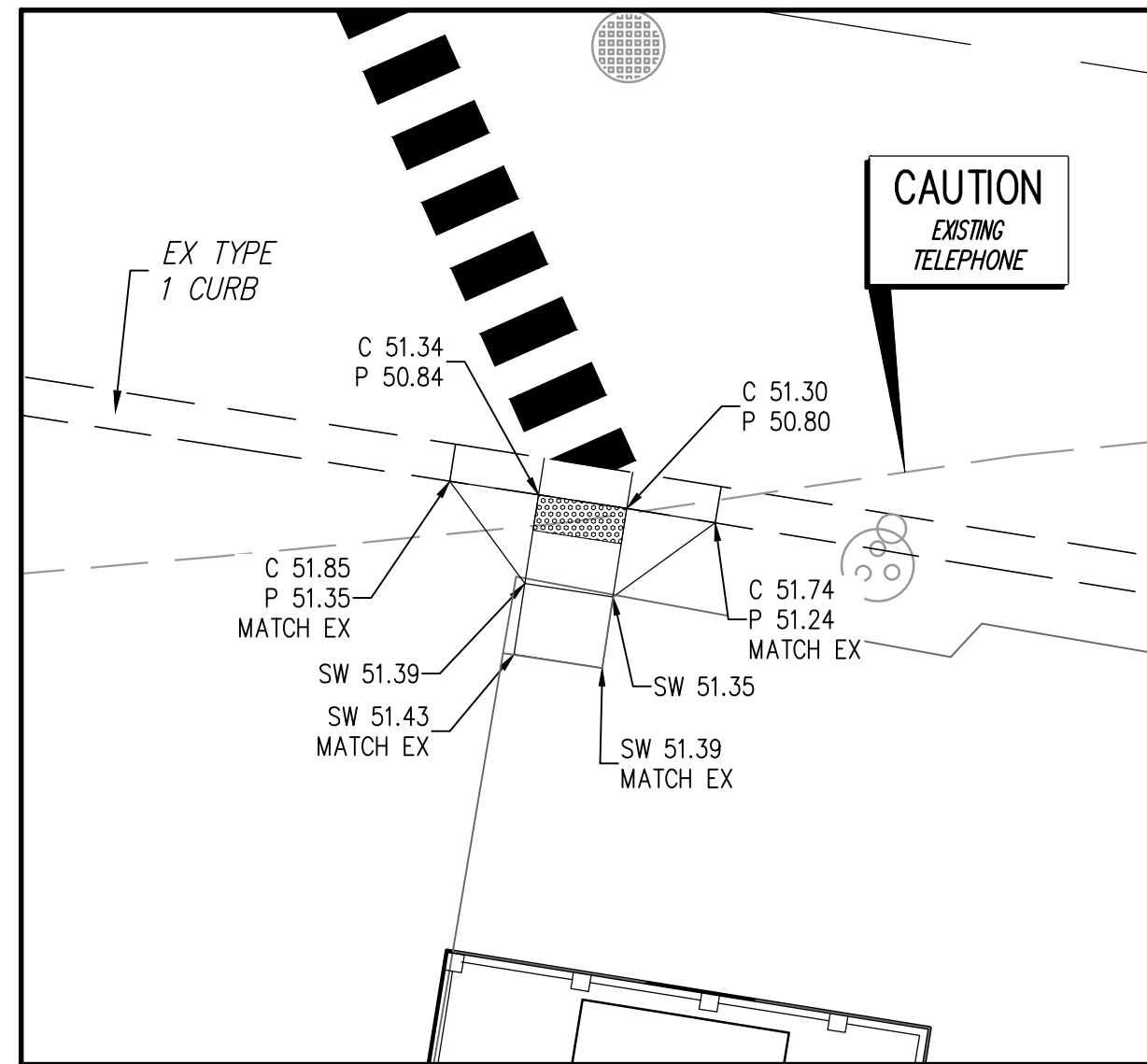
A DUMPSTER PAD SLAB TURN DOWN DETAIL
SCALE: 1" = 1' SECTION



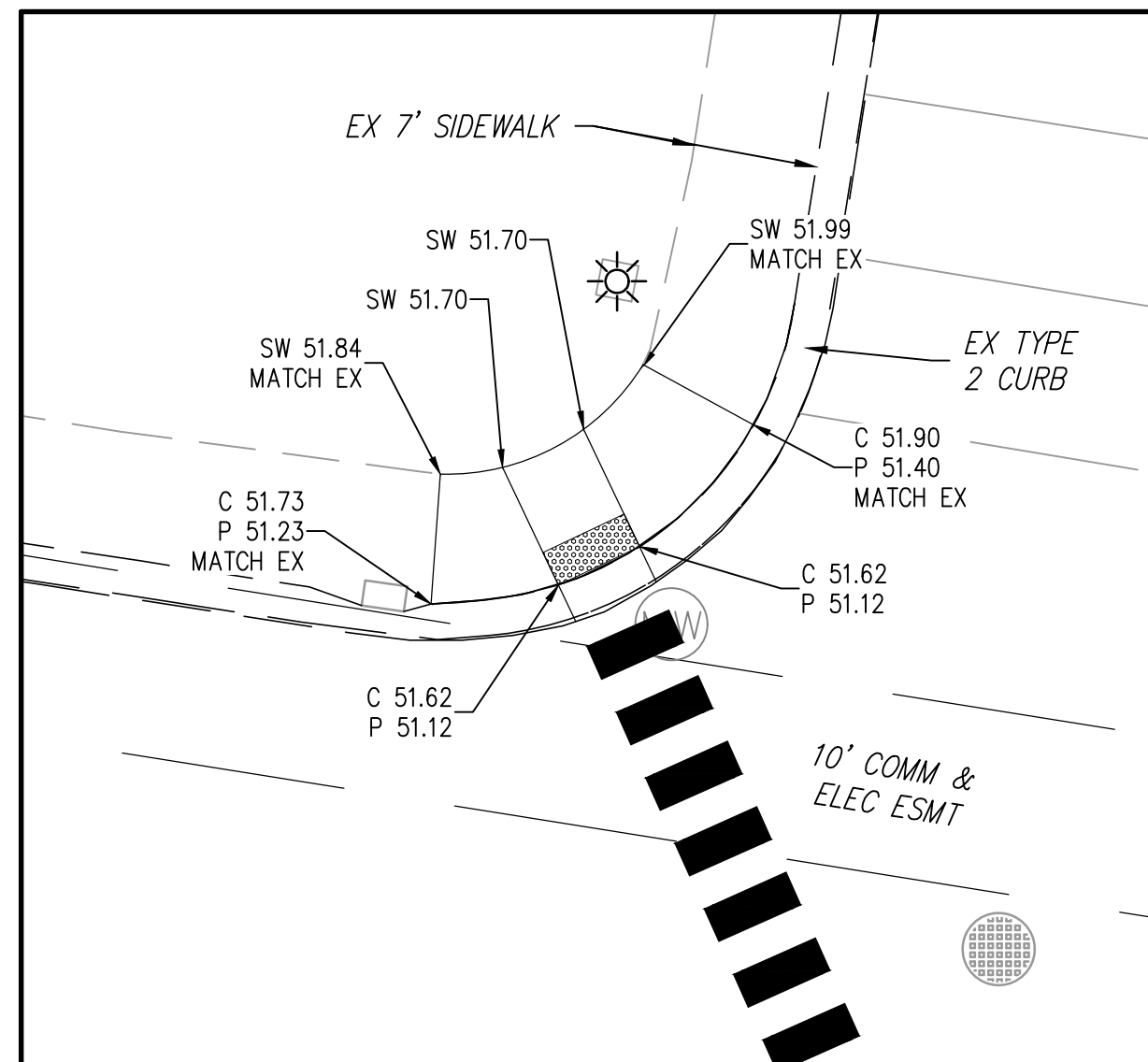
TURF NOTES

1. AFTER PAVEMENT DEMO, PROOF ROLL SUBBASE TO VERIFY NON-YIELDING SOILS PRESENT. IF YIELDING SOILS ARE ENCOUNTERED, OVER EXCAVATE AND REPLACE WITH COMPETENT GRAVEL MATERIALS TO MINIMUM OF 95% COMPACTION.
2. INSTALL BROCK PLAY50 PLB50XL INTERLOCKING EXPANDED POLYPROPYLENE PANELS (OR APPROVED EQUAL) OVER PREPARED SUBBASE.
3. ROLL OUT VINTAGE 32-100 TURF (OR APPROVED EQUAL), SEAM ADJACENT ROLLS AND GLUE DOWN TURF TO EPP PANELS. GLUE SHALL MEET THE MANUFACTURERS RECOMMENDATIONS.
4. INSTALL SAND AND RUBBER INFILL IN LIFTS AT A RATE OF 3.25 LBS/SF. INFILL SHALL CONSIST OF RESILIENT-LAYERED, GRANULAR SYSTEM, COMPRISING SELECT GRADED SAND AND RUBBER. FINAL MATERIAL SELECTION SHALL BE APPROVED BY THE MANUFACTURER.

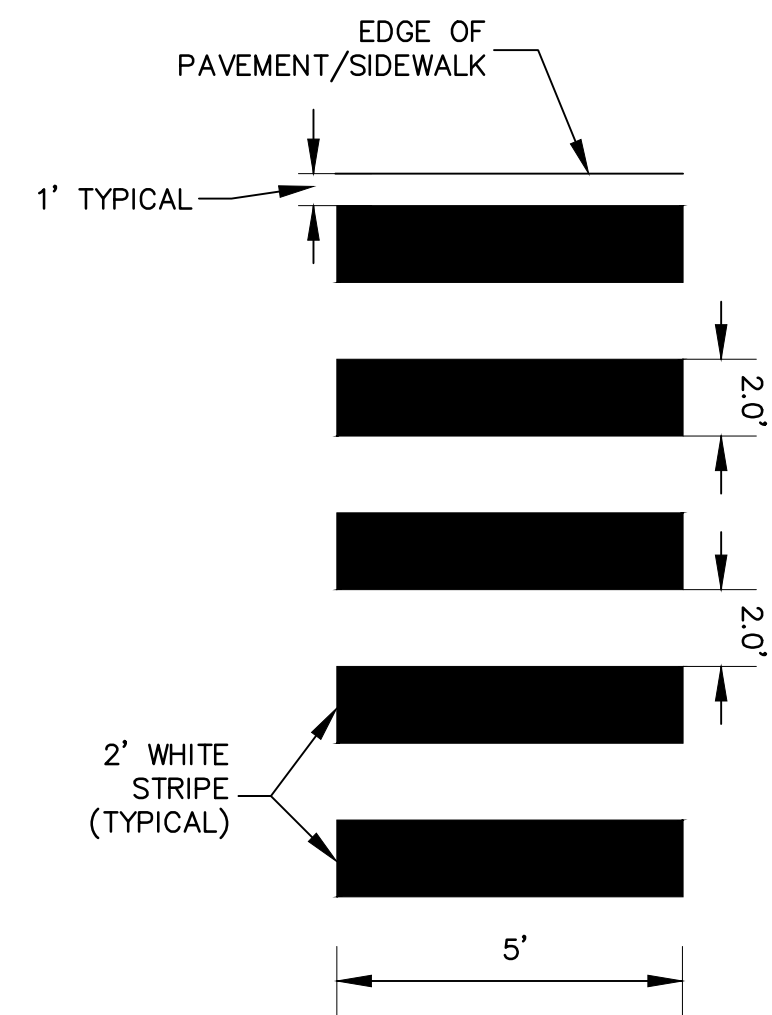
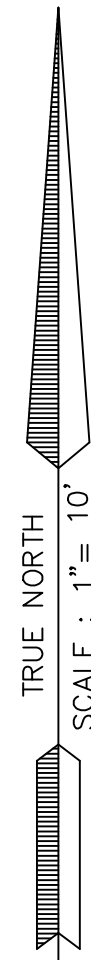
B SYNTHETIC TURF DETAIL
SCALE: NTS SECTION



C ADA RAMP ELEVATIONS
SCALE: 1" = 10'



D ADA RAMP ELEVATIONS
SCALE: 1" = 10'



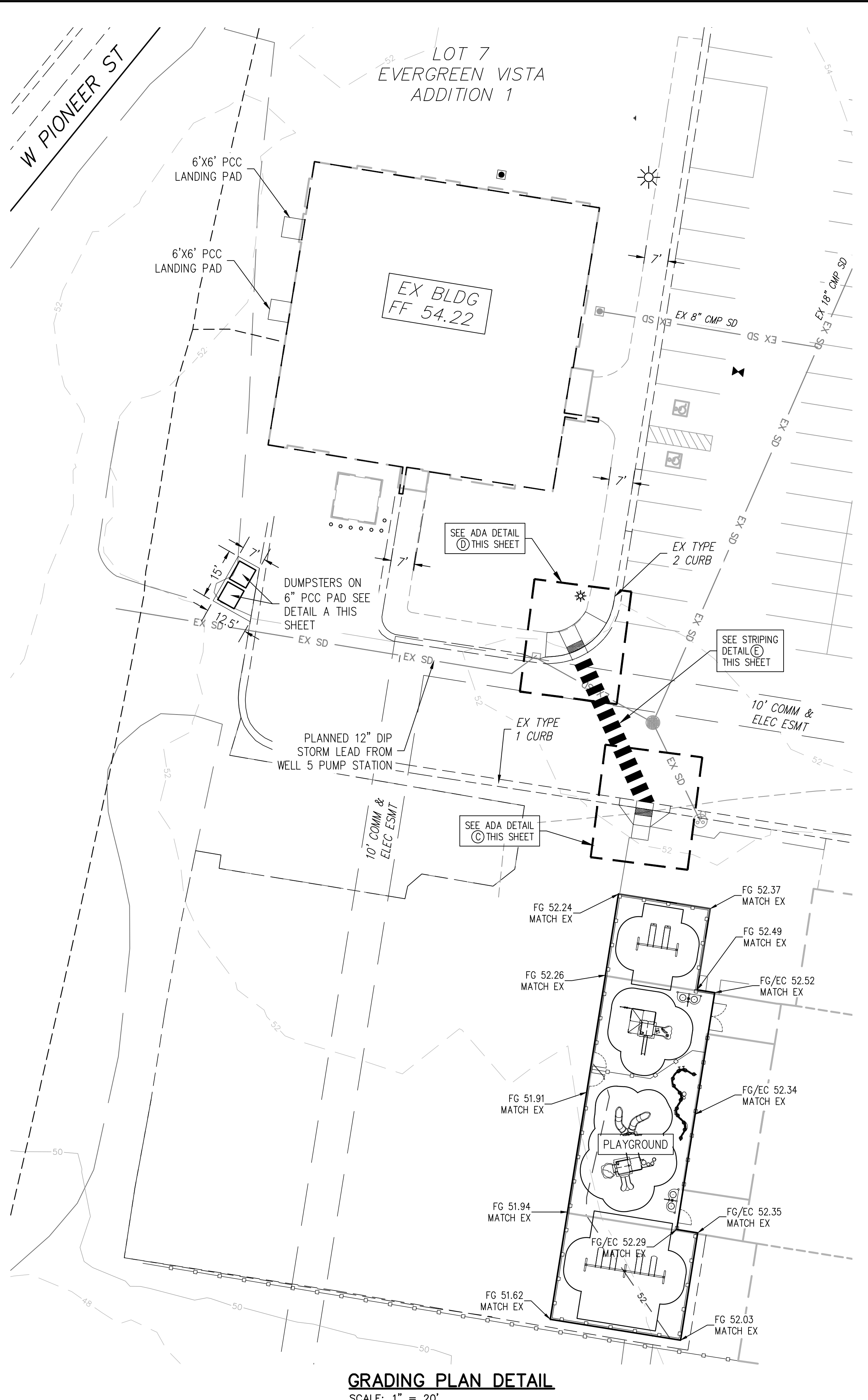
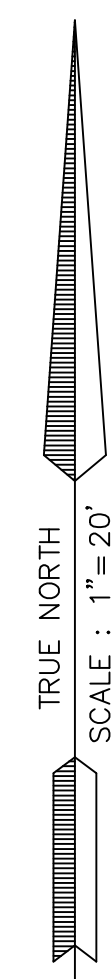
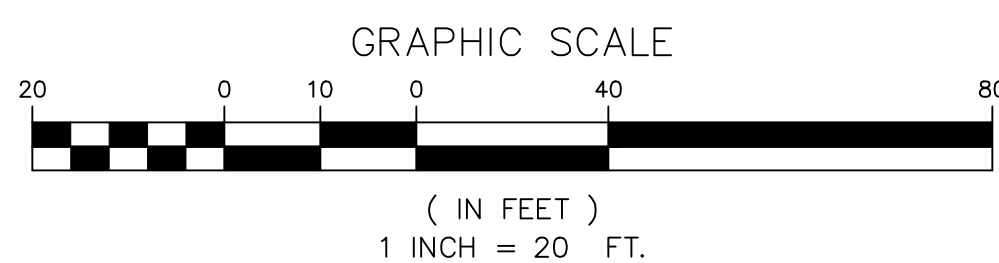
E TYPICAL CROSSWALK STRIPING
SCALE: 1" = 5'

SIDEWALK NOTES

1. RAMPS SHALL BE 6" PCC AND CONSTRUCTED PER CITY OF VALDEZ
2. RUNNING GRADE AT TRANSITIONS SHALL NOT EXCEED 8.33% & CROSSING SLOPES SHALL NOT EXCEED 2%
3. CONTRACTOR TO FIELD VERIFY ELEVATIONS & COORDINATE W/ ENGINEER IF DISCREPANCIES ARE FOUND.
4. EXISTING SIDEWALK TO BE REMOVED TO NEAREST JOINT

GRADING NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AND COORDINATE W/ ENGINEER IF DISCREPANCIES ARE FOUND
2. ALL CROSS SLOPES WITHIN THE PLAYGROUND SHALL BE LESS THAN 2% IN ALL DIRECTIONS. CORNER PLAYGROUND GRADES ARE APPROXIMATELY 1%
3. CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING UNDER ROOF OVERHANG OR NEAR SUPPORT COLUMNS.
4. PLAYGROUND EQUIPMENT PLANS PROVIDED BY OTHERS. CONTRACTOR TO INSTALL OWNER FURNISHED PLAY EQUIPMENT. CONTRACTOR TO FURNISH AND INSTALL TURF/PAD SYSTEM.



GRADING PLAN DETAIL
SCALE: 1" = 20'

BETTISWORTH NORTH



CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA
DESIGN DEVELOPMENT

CONSULTANT:
TRIAD
ENGINEERING, LLC
P.O. Box 111989
Anchorage, Alaska 99511
(907) 561-6537
www.triadak.com
COA# 128635

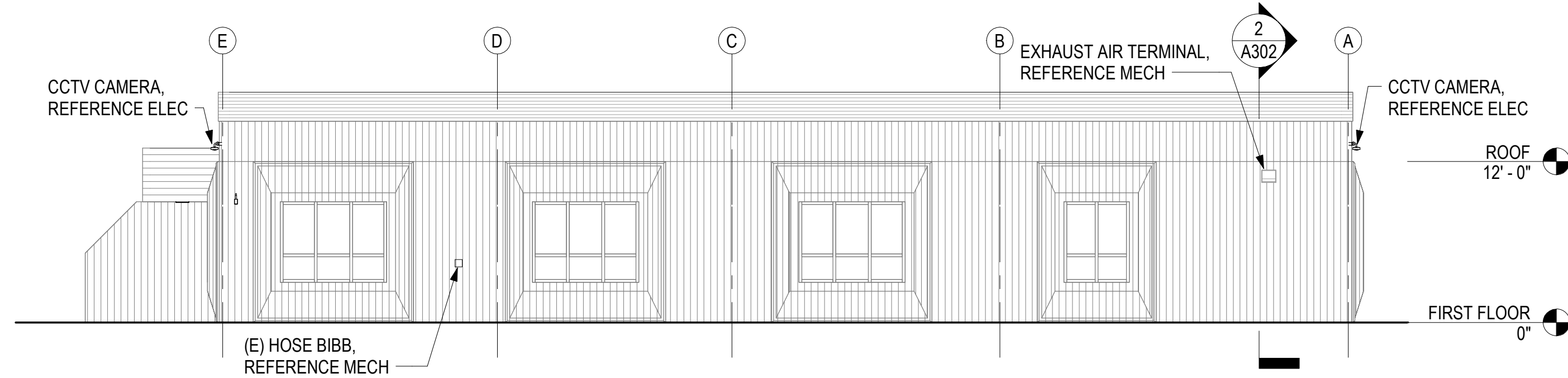
PROJECT NO: 24-224
DATE: 12.18.2025
DRAWN BY: PJB
CHECKED BY: BJM

REVISION	DESCRIPTION	DATE

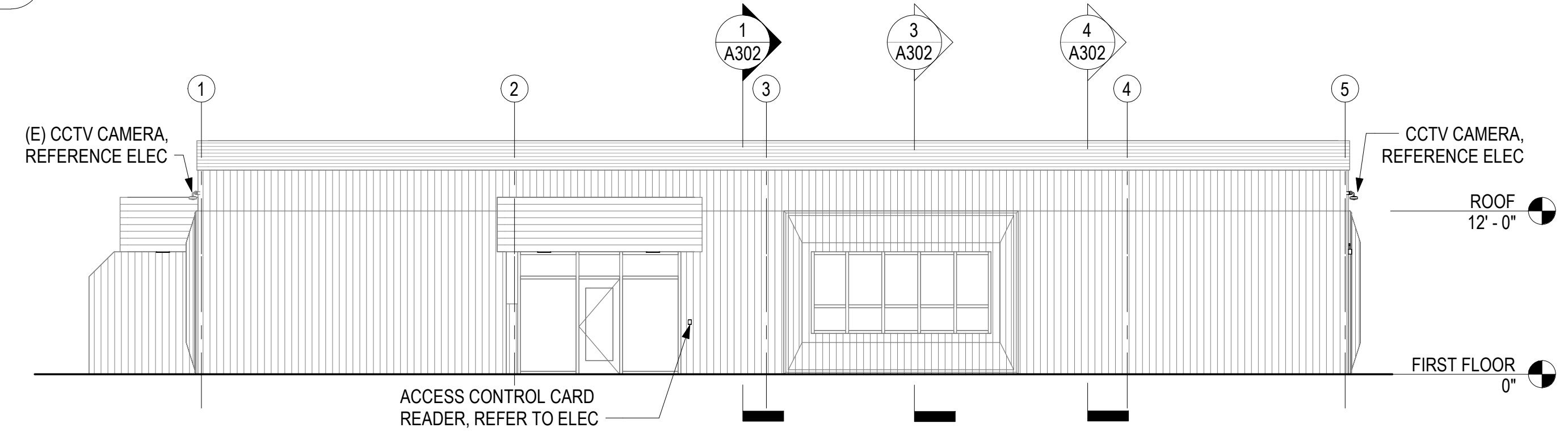
GRADING PLAN
C102

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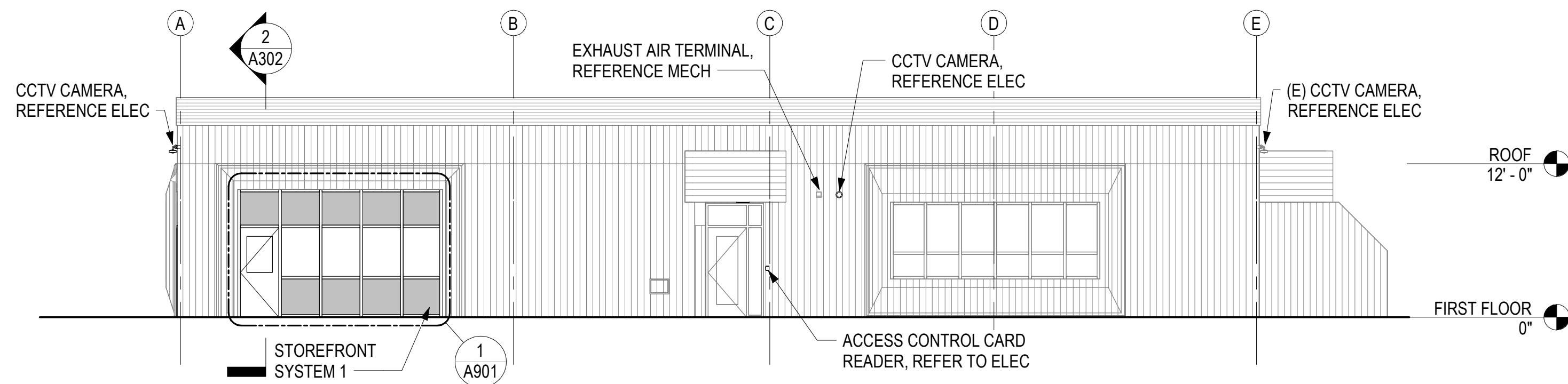
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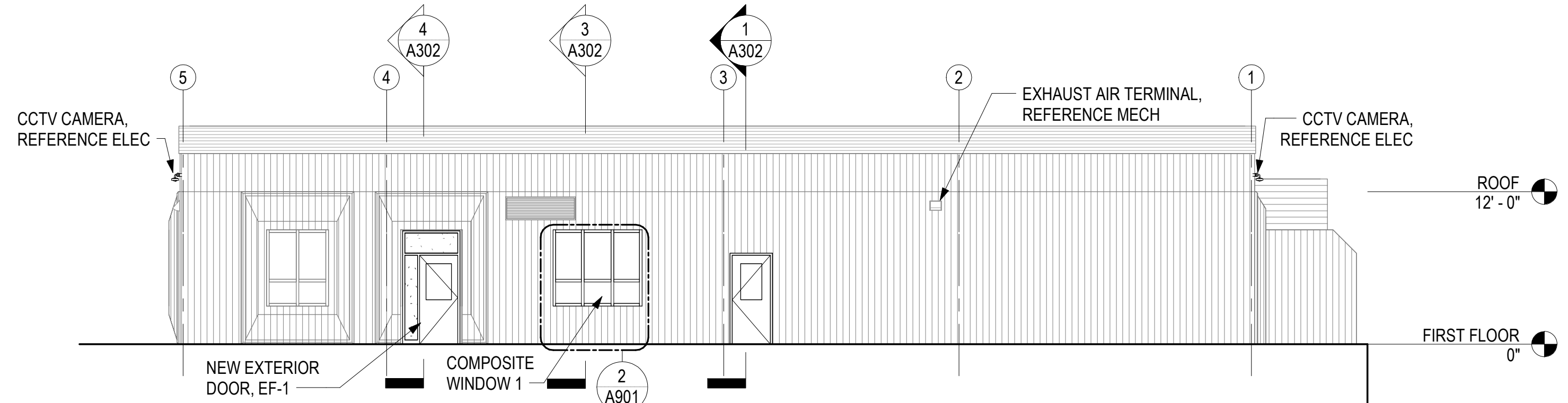
1 A301 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



2 A301 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



3 A301 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



4 A301 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
EF-1	EXTERIOR DOOR FRAME AND PANEL COLOR: MATCH (E)
RENOVATION LEGEND	
	EXISTING ELEMENTS
	NEW CONSTRUCTION ELEMENTS

**BETTISWORTH
NORTH**

**NOT FOR
CONSTRUCTION**

CITY OF VALDEZ
VALDEZ CHILDCARE
VALDEZ, ALASKA

DESIGN DEVELOPMENT

CONSULTANT:

PROJECT NO: 24-121
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CHECKED BY: HNK

REVISION	DESCRIPTION	DATE

EXTERIOR ELEVATIONS
A301



Conditional Use Permit – Proposed Findings and Proposed Conditions

Date: May 13, 2026
File: CUP 26-01
To: Planning & Zoning Commission
From: Bruce Wall, Senior Planner
Conditional Use: Child Care Facility

General Information

Applicant: City of Valdez
Property Owner: City of Valdez
Street Address: 1112 W. Klutina Street
Legal Description: Lot 7, Evergreen Vista Addition No. 1, Plat 80-12
Zoning District: Public Lands (P)
Existing Land Use: Elementary School and School District Offices
Access: Klutina Street

VMC 17.08

"Conditional use" means a provision which allows for flexibility within this chapter by permitting certain specified uses in zoning districts where such uses are generally considered appropriate, but only after additional conditions and safeguards are applied to ensure their compatibility with permitted principal uses.

"Child care facility" means a facility providing day care to children required to be licensed under AS 47.32.

Project Description

The City of Valdez is proposing a new child care facility in the prior school district offices. The applicant states in their narrative the following.

This project was established to provide the community of Valdez with a Childcare Facility for Children Ages 0-5. Currently there is not a full-time childcare facility within the community of Valdez that provides this service for Valdez residents.

After several years of researching options for the location of the new Childcare Facility. The Valdez City Council and VCS School Board chose and approved to use the current VCS District Offices building as the location of the childcare facility.

Proposed Findings

Procedural Findings

- a) On April 23, 2026, the Community Development Department received a conditional use permit application from the City of Valdez.
- b) The Community Development Department reviewed the application and determined that it was complete, in accordance with VMC 17.12.090(E)(1).
- c) A public hearing was scheduled for May 13, 2026, to consider the Conditional Use Permit.
- d) Notice of the publication was published in KVAK's e-blast newspaper on April 27, 2026 and May 4, 2026.
- e) Notice of the meeting was published on the City of Valdez website on April 27, 2026, in accordance with VMC 17.12.090(E)(5) and 17.12.160(C)(1).
- f) Notice of the meeting was mailed on April 29, 2026, to the 78 property owners within 300 feet of the parcel where the well house is proposed, in accordance with VMC 17.12.090(E)(5) and, 17.12.160(C)(2).
- g) A document holder with public notice flyers was posted on Klutina Street on April 29, 2026, in accordance with VMC 17.12.090(E)(5) and 17.12.160(C)(3).

1. **Criterion 1: Site Suitability.** The subject site shall be suitable to support the proposed conditional use and its associated structure(s) and site improvements. The Planning and Zoning Commission shall consider topography, slope and soil stability, geophysical hazards, surface and subsurface drainage, and water quality conditions on and around the subject site and the probable effects of the proposed conditional use upon these factors. VMC 17.12.090(C)(1)

- a) The narrative submitted by the applicant states, *"The site for the new Childcare Facility was found suitable to be located within the existing VCS District Offices building after a long review process by the City of Valdez and VCS School Board. All civil, architectural, and geotech consultants have evaluated all items listed within this "Criterion 1" and have addressed all these factors within the renovation design."*
- b) The proposed child care facility will be located in an existing building.

2. **Criterion 2: Utility, Sanitation, and Public Service Needs.** The conditional use and the associated site improvements shall be adequately served by utilities, emergency responders, and a sanitation facility to ensure long-term safety for its occupants and surrounding populations. The planning and zoning commission shall consider whether adequate sewer/sanitation, storm drainage, potable water, fire protection,

public safety, access, and electrical power exist to serve the proposed use and associated structures/site improvements. VMC 17.12.090(C)(2)

- a) The narrative submitted by the applicant states, *“All items included within “Criterion 2” are being addressed by the project’s design consultants, including the State Fire Marshal, to meet these “Utility, Sanitation, and Public Service Needs” requirements.”*
- b) Notice of the application was provided to the following city departments: Fire, Police, Public Works, and the Building Official.
- c) The application materials demonstrate that the utility, sanitation, and public service needs will be met.

3. **Criterion 3: Zoning District Standards.** With the exception of Planned Unit Developments (PUDs), the proposed conditional use and its associated site improvement(s) shall comply with the dimensional standards of the zone in which it is located. Notwithstanding, those zoning standards may be adjusted pursuant to a separate variance and/or administrative adjustment application. VMC 17.12.090 (C)(3)

- a) The subject property is in the Public Lands (P) district.
- b) No new structures are being proposed for the child care facility.

4. **Criterion 4: Specific Use Standards.** The proposed conditional use and its associated site improvement(s) shall comply with the applicable specific use standards pursuant to Chapter 17.80. VMC 17.12.090(C)(4)

- a) The narrative submitted by the applicant states, *“The new Childcare Facility design complies with the “Specific Use Standards” as it meets all current State of Alaska day care facilities license requirements for this specific occupancy classification. The future childcare operator for this site currently holds a current State of Alaska childcare center license and will be required to always maintain a valid current state license while operating as a childcare at this site.”*
- b) Condition of Approval Number 3 requires that the child care facilities meet all current state of Alaska day care facilities license requirements.

5. **Criterion 5: Comprehensive Plan Consistency.** The proposed conditional use and its associated site improvement(s) shall be consistent with the Comprehensive Plan's goals, policies, and maps in terms of land uses, development character, and scale. VMC 17.12.090(C)(5)

- a) The narrative submitted by the applicant states, *“The use of the new Childcare Facility being placed within the existing building location at 1112 W. Klutina St. meets the future land use requirements for being located within the “New Townsite Neighborhood” as it is classified as a school/ institutional building occupancy. All site improvements made within this project by the design consultants will comply with the dimensional standards set forth within the existing building location of “New Townsite Neighborhood” zone.”*

- b) Goal 5.1 is, *“Provide safe, equitable, and convenient access to healthcare, education, **childcare**, wellness, and social support services.”*
- c) Staff’s review of the comprehensive plan did not find any inconsistencies of the proposed use with comprehensive plan.

6. **Criterion 6: Nuisance Mitigation.** The proposed conditional use and its associated site improvement(s) shall provide mitigation measures to address potential nuisances relating to excessive noise, lighting, vibration, traffic, debris and litter, and outdoor material storage. VMC 17.12.090(C)(6)

- a) The narrative submitted by the applicant states, *“The city has employed civil, architectural, and traffic control experts as part of the design team on this project to mitigate and address within the design of this project any potential nuisances related to excessive noise, lighting, vibration, traffic, debris, litter, and outdoor material storage.”*
- b) It is not anticipated that the proposed use will create any nuisances related to excessive noise, lighting, vibration, traffic, debris and litter, or outdoor material storage beyond what can be expected by similar operations operating in the community.

7. **Criterion 7: Access and Circulation.** The proposed conditional use and its associated site improvement(s) shall provide adequate site access for motor vehicles, pedestrians, and cyclists. Applications shall not be approved where the proposed use would create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists. VMC 17.12.090(C)(7)

- a) The narrative submitted by the applicant states, *“The childcare design team is analyzing and implementing improvements within the project site to accommodate adequate access for all motor vehicles, pedestrians, and cyclists entering and exiting the site to ensure undue traffic congestion and to avoid any potential safety hazards to motorists, pedestrians, and/or cyclists.”*
- b) The proposed child care facility will be located in the prior school district offices and will be served by the current parking lot, streets, and sidewalks.
- c) It is not anticipated that the child care facility will create undue traffic congestion or pose a safety hazard to motorists, pedestrians, and/or cyclists.

8. **Snow Storage:**

- a) The narrative submitted by the applicant states, *“The snow lot storage and snow removal plan will not change from the building’s previous plan and remain the same as it has been for this building location.”*
- b) The applicant has submitted a snow storage plan as required by VMC 17.88.030(C).
- c) The snow storage plan was provided to various city departments along with other application materials.
- d) The snow storage plan indicates that there will not be a reduction in the available parking spaces for snow storage.

- e) The snow storage plan has been reviewed by Community Development staff, and they have determined that the plan provides adequate space to reasonably handle expected snow storage needs on the site.
- f) The existing building's roof is not designed to shed snow.

VMC 17.12.090(E)(7)

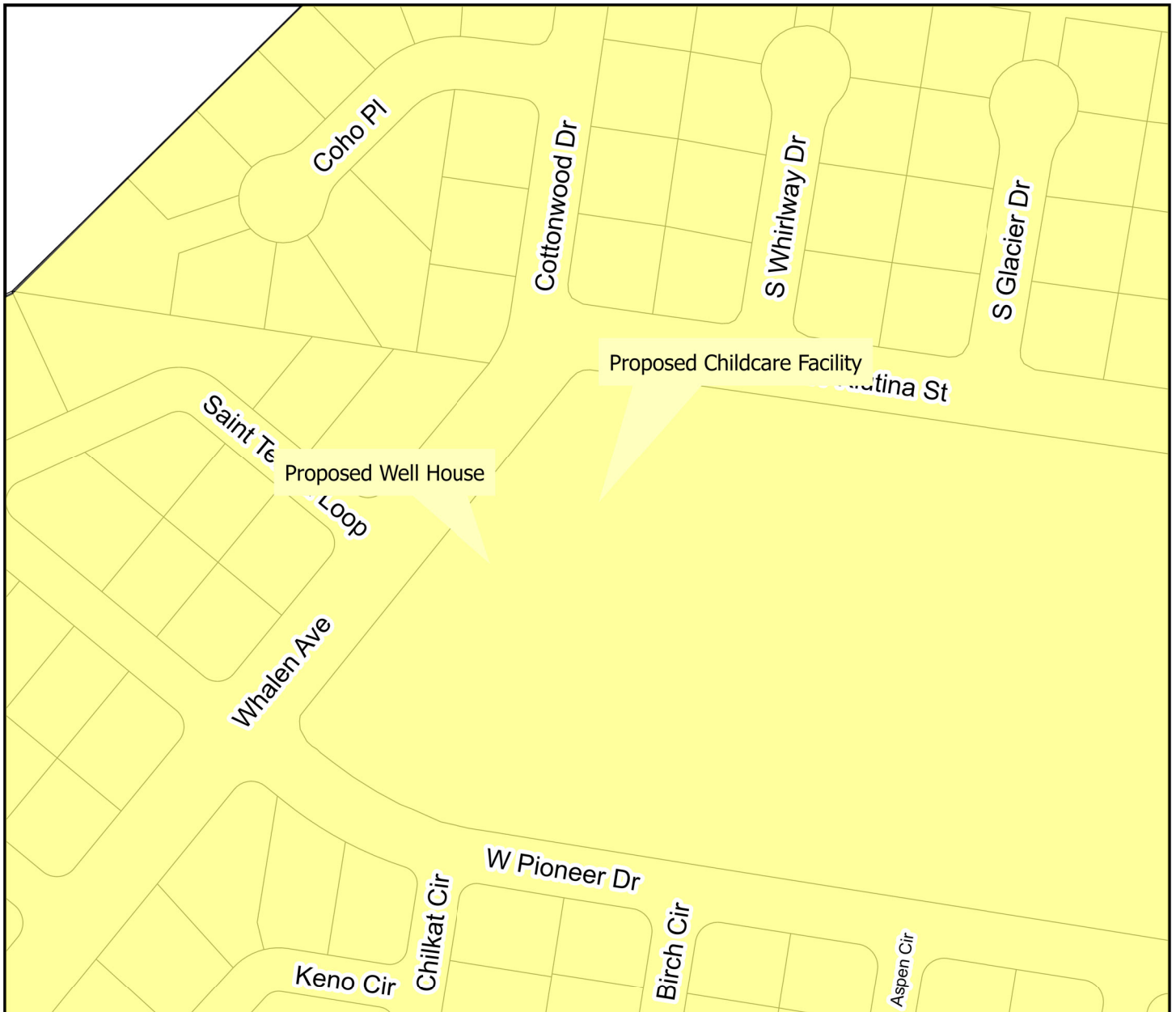
The Planning and Zoning Commission shall conduct a public hearing to review the conditional use application, review the staff report, hear staff, applicant, and public testimony, discuss the proposal, adopt findings of fact (from staff or establishing their own), and take action on the application. The Commission may approve, approve with conditions, or deny the application.

Conditions

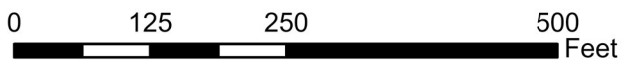
1. The conditional use permit is for a portion of Lot 7, Evergreen Vista Addition No. 1, Plat 80-12 to be used as a child care facility.
2. The conditional use permit is effective upon approval.
3. The child care facility shall meet all current state of Alaska day care facilities license requirements.
4. The conditional use permit must be utilized within twelve months after the effective date of approval. In the event construction work is involved, it must commence within the stated period and must be diligently prosecuted to completion.
5. The use must be consistent with the submitted application, narrative, and site plan. Any substantial change to the use requires approval pursuant to VMC 17.12.090(F).

Staff Recommendation

Staff recommends that CUP 26-02 be approved by the Planning & Zoning Commission with the conditions recommended by staff.



Proposed Well House and Childcare Facility

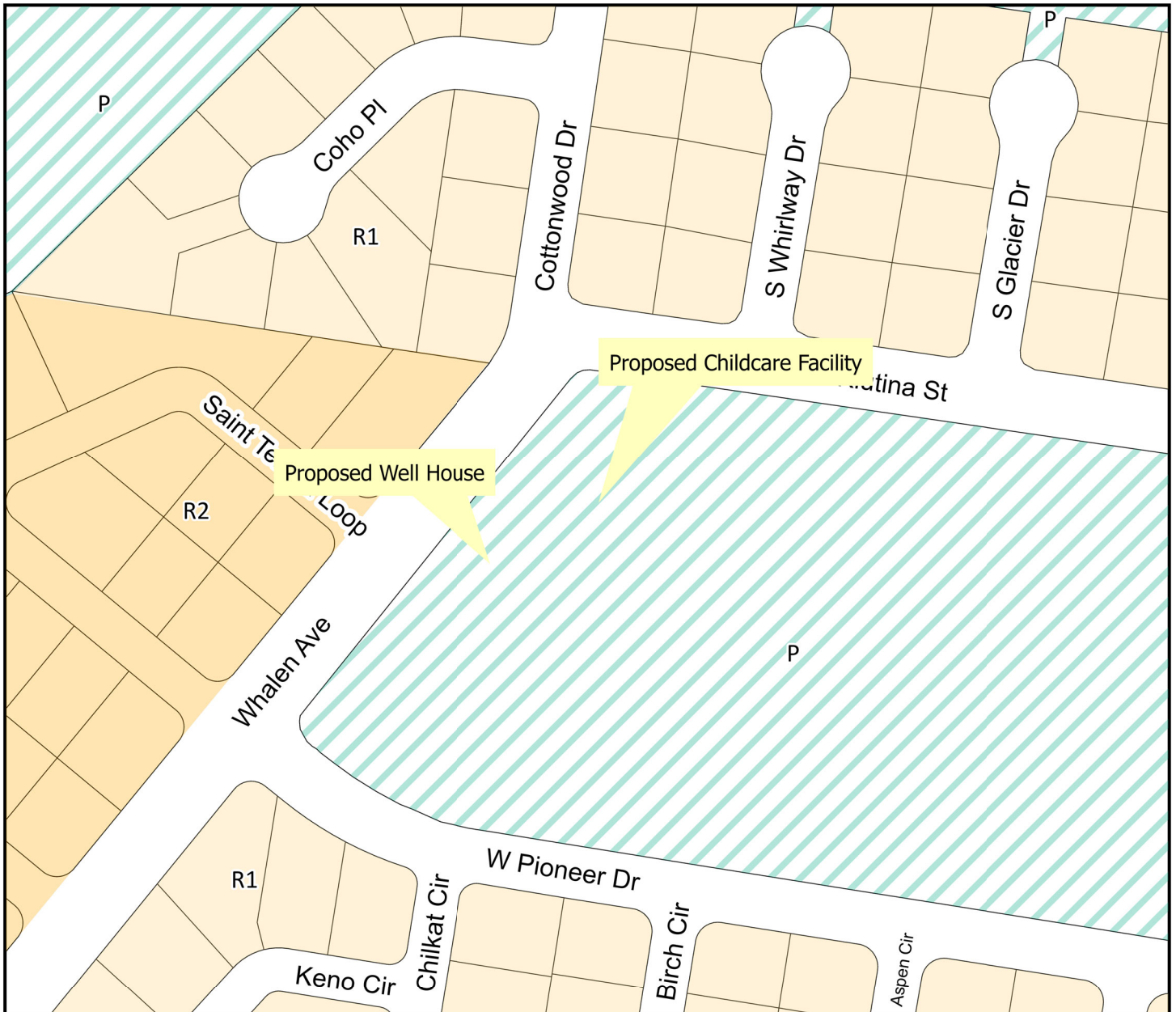


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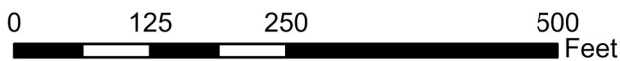
Comprehensive Plan Place Type

 New Townsite Neighborhood


Date: 5/1/2026 Author: Community Development



Proposed Well House and Childcare Facility



Zoning District

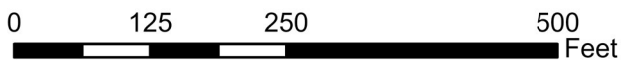
-  Moderate Density Residential (R1)
-  High Density Residential (R2)
-  Public Lands District (P)

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Date: 5/1/2026 Author: Community Development



Proposed Well House and Childcare Facility



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Date: 5/1/2026 Author: Community Development



Legislation Text

File #: 26-0221, **Version:** 1

ITEM TITLE:

Approval of Amendment to Temporary Land Use Permit 26-03 for Chugach Outfitters, LLC for an up to 25-acre portion of City of Valdez owned land at the Valdez Pipe Yard (USS 439) for up to 90 days from May-September 2026 with conditions.

SUBMITTED BY: Kate Huber, Community Development Director

FISCAL NOTES:

Expenditure Required: n/a

Unencumbered Balance: n/a

Funding Source: n/a

RECOMMENDATION:

Approve the amendment of Temporary Land Use Permit 26-03 for Chugach Outfitters, LLC for an up to 25-acre portion of City of Valdez owned land at the Valdez Pipe Yard (USS 439) for up to 90 days from May-September 2026 with conditions.

SUMMARY STATEMENT:

On January 28th, 2026 the Planning & Zoning Commission voted to approve a temporary land use permit for Chugach Outfitters to operate dog mushing tours at Gold Fields and on Walter Day Memorial Road.

Since that approval, Community Development Staff have been working with the applicant to meet the required conditions but have not fully executed the temporary land use permit itself. The final issues preventing issuance have been resolved, however upon touring the site last week, Mr. Fowler of Chugach Outfitters has determined that the conditions of Walter Day Memorial Road are not suitable for offering a positive guest experience for dog mushing tours. Due to the current conditions, as well as concerns raised by the commission, public, and city staff regarding potential conflicts with other users of the area and bears, Mr. Fowler has requested that the commission consider an alternative location for his summer tours.

The request before the commission is to approve an amendment of the original TLUP request which will override the previous approval. This request is for a temporary summer location for Chugach Outfitters tour operations while the applicant and city staff reevaluate the other possible locations for summer and/or winter operations.

The new proposed location at Valdez Pipe Yard has been reviewed by Community Development, PRCS, and Animal Control staff, as well as the City Manager. All agree that this is a suitable location for Chugach Outfitters to operate on a temporary basis. The Pipe Yard is not included in the

established off-leash in Old Town Valdez, which is located from McKinley Street to the water, adjacent to the end of the Pipe Yard location.

The Community Development director spoke with Ken Lares, President of the Valdez Motor Sports Club to inquire whether the issuance of this TLUP would conflict with any Motor Sports Club activities in their leased area of the Pipe Yard. Mr. Lares confirmed that the club does not have any summer events planned for their leased area and is supporting this use at the Pipe Yard for the summer months.

If the Planning & Zoning Commission approves this amendment, staff will work with Mr. Fowler to narrow down the exact area of the Pipe Yard the permit will cover and the exact dates. The size and number of days proposed for this permit is meant as a maximum, while the actual permit will likely cover a much smaller area and fewer days. These specific details will be included with the final TLUP prior to issuance. The applicant is aware of the scrap metal storage at the NW corner of the Pipe Yard and will avoid that area. The fee for usage will be determined after the final area is established and pursuant to the fees established in Resolution #23-43.

The original application and narrative from Chugach Outfitters are attached, along with a general map of the Pipe Yard. The portions of the narrative that apply specifically to the Gold Fields and winter operations are not considered part of this amendment.

The commission should expect to see a separate TLUP request from Chugach Outfitters for an alternate location (or multiple seasonal alternate locations) once Mr. Fowler has time to work with staff on a more detailed second application. This request will allow him to begin operations at the Pipe Yard location while those details are worked out and brought forward to the commission for approval.

Staff recommends approval of the amendment to temporary land use permit 26-03 with the following conditions:

- Vaccine records (parvo distemper and rabies) for the dogs are required
- Applicant must meet with Animal Control Officer prior to the permit commencement to discuss animal control ordinance and required safety measures
- Dogs must have a place to get out of the weather in between sled rides
- A minimum of 2 signs must be posted at the entrance to the Pipe Yard by the applicant alerting the public that a dog sled is operating in the area on the days of operation

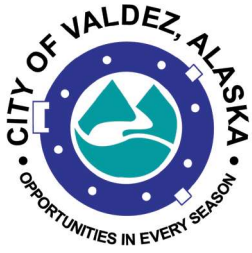
If approved, the applicant will be required to submit documentation of the conditions above, as well as demonstrate adequate liability insurance and participant waivers for legal review.

The Animal Control Officer has agreed to patrol in the area during the permit dates and hours of operation.

Per Valdez Municipal Code 17.12.120 (F) (2) , temporary land use permits greater than ten days in duration and not to exceed six months may be granted by the Planning and Zoning Commission. Fees for temporary land use permits of this type were established by City Council with Resolution #23-43 and will be \$11.00 per day.

Pursuant to Valdez Municipal Code 17.12.120 (G) Approval Criteria, staff review of the proposed temporary use request found that all 10 approval criteria were satisfied.

Per VMC 17.12.120 (I) (5), if temporary land use permit 26-03 is approved by the Planning and Zoning Commission, the decision will be reported to City Council.



CITY OF VALDEZ TEMPORARY LAND USE PERMIT APPLICATION

All fields are required. If not applicable, please mark with N/A or dash.

Office Use Only	
Application Number _____	Date Received _____
Initials _____	Zoning District _____
Permitted Use? Yes No	

APPLICANT INFORMATION

Name Chugach Outfitters Inc.

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]
[REDACTED]
[REDACTED]

REPRESENTATIVE INFORMATION *(if applicable)*

Name John Fowler

Phone [REDACTED]

Email [REDACTED]

Mailing Address [REDACTED]
[REDACTED]
[REDACTED]

PROPERTY INFORMATION

Property Owner Name City of Valdez

Legal Description Lot _____ Block _____ Subdivision/Survey _____

Physical Address 3100 Richardson Hwy.

Property Description Portion of tract D ASLS 79-116 (SOFTBALL FIELDS)

Proposed Use of Area *(attach a narrative, if more detail is required)*

Total Use Area Dimensions Depending on snow clearing
Term Requested 8 Weeks
Parking Area Dimensions 8'x10' each guest vehicle 6 private transports possible

TEMPORARY BUILDINGS/STRUCTURES *(if applicable)*

Detail the number of temporary buildings, and the dimensions, type, and use for each.


•

ORGANIZATION TYPE

- Individual Corporation
 Sole Proprietorship Non Profit
 Partnership Other *(please explain)* _____

ADDITIONAL MATERIALS REQUIRED *(the following must be submitted when applying for a TLUP)*

- Site Plan** *(including lot boundaries, use area boundaries, parking dimensions, and proposed temporary buildings)*
 Certificate of Liability Insurance *(may be submitted following approval, but is required prior to permit issuance)*
 State of Alaska Business License *(and any applicable professional licenses)*
 City of Valdez Business Registration

APPLICANT SIGNATURE  DATE 11/18/25

(Your signature above certifies that you are the official representative of this business and that all information included on this form is accurate.)

ADDITIONAL INFORMATION

Forms may be emailed to communitydevelopment@valdezak.gov or dropped off at the Community Development Window in City Hall. For a fillable PDF form, visit valdezak.gov/275/City-Forms

To submit via mail, send to the following address:

**Community Development
City of Valdez
PO Box 307
Valdez, AK 99686**

QUESTIONS?

Call the City of Valdez Community Development Department at **907-834-3401** or email communitydevelopment@valdezak.gov.

Narrative:

In addition to Guest parking Dog transport is a 10' truck with 8' trailer for anchoring Dogs /Sleds/ Carts before and after tours. We would run tours on the trail to the river.

We host a kennel of four 15 year old Alaskan Huskies. With origins in Eagle. Significantly the end of telegraph built to communicate between Valdez and Yukon prospectors. There are 13 active working age team mates all related to this bloodline. Teams consisting of four to six dogs pull the Summer carts. Most carts seat four guests.

Small teams are easier to control safely in public. All runs are proceeded with site evaluation before every tour. These checks determine if hazards exist ie; tree fall, flooding, excessive heat where shade must be provided for animals and guests. No conflicting wildlife or pedestrians with loose pets

After transporting or acquiring guests 10 minutes of orientation then 20 minutes of tour will commence. In past engagements we have hauled as many as 50 people in approximately 4-5 hours. That would be a full day! Normally 20 people is sufficient to keep us happy.

Summer guests are recruited dock side or by reservation electronically.

Winter dates need to correspond with weather, reservations and normal busy times beginning February with ski season. Trail conditions dictate a dog teams ability to work.

We base operations from truck that houses and stages departures and arrivals of dog teams and guests. Parking should accommodate approximately half dozen vehicles.

Small two fold self standing signs will indicate operation sites and removed after each event.

All garbage and waste removed promptly.

Winter can require trail prep done with snow machine.

Term:

To clarify Summer dates are individual days. As opposed to Winter dates are consecutive.

Winter Dates

February 15th – 28th

March 1st – 27th

Summer dates:

May 9th

May 13th

July 1st

July 3rd

July 11th

July 13th

July 14th

July 15th

July 17th & 18th

July 21st & 22nd

July 24th

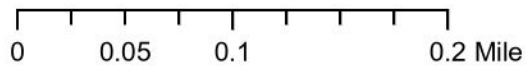
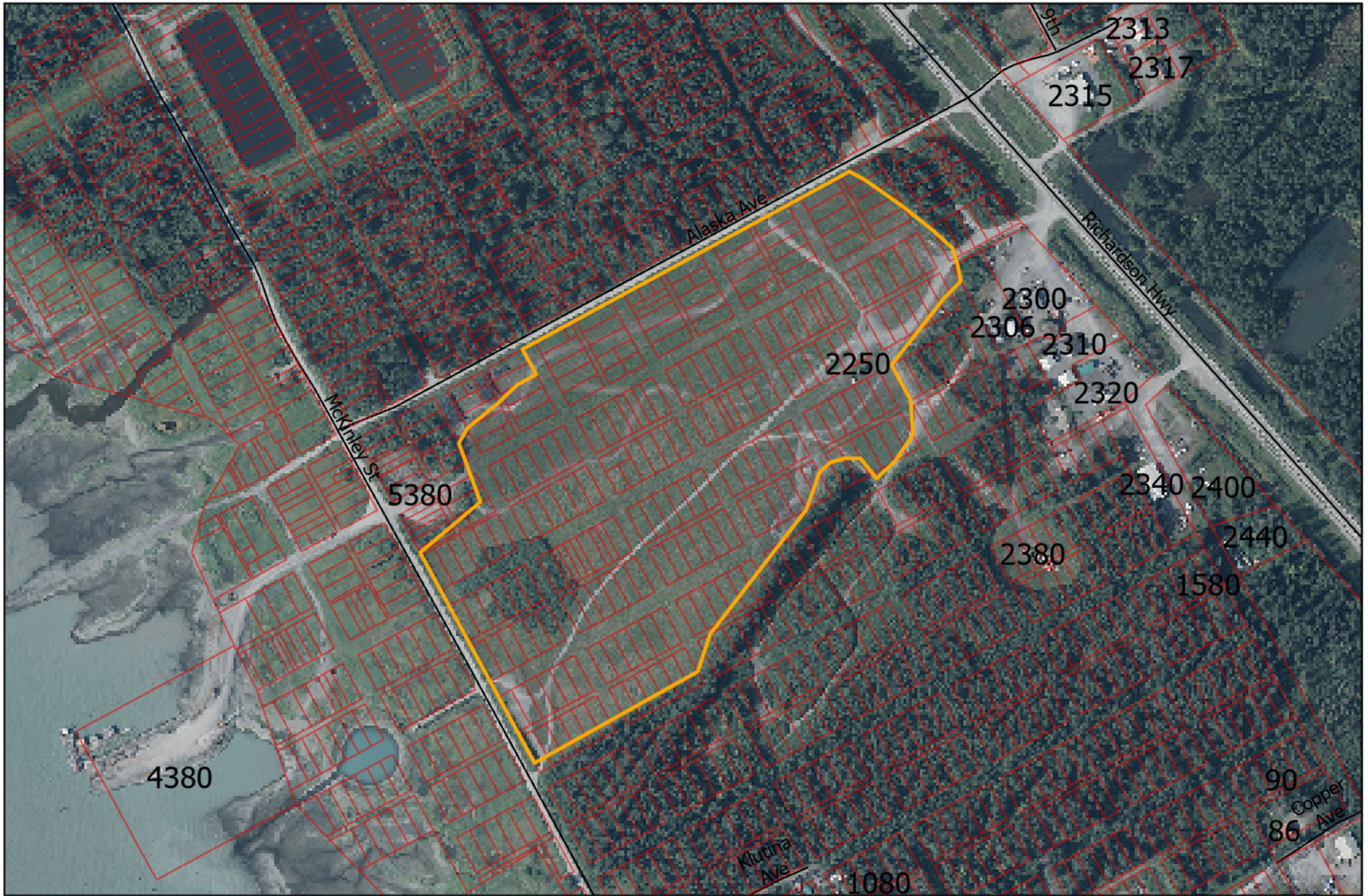
July 29th

September 15th

September 21st



VALDEZ PIPEYARD



 Pipeyard Boundary