

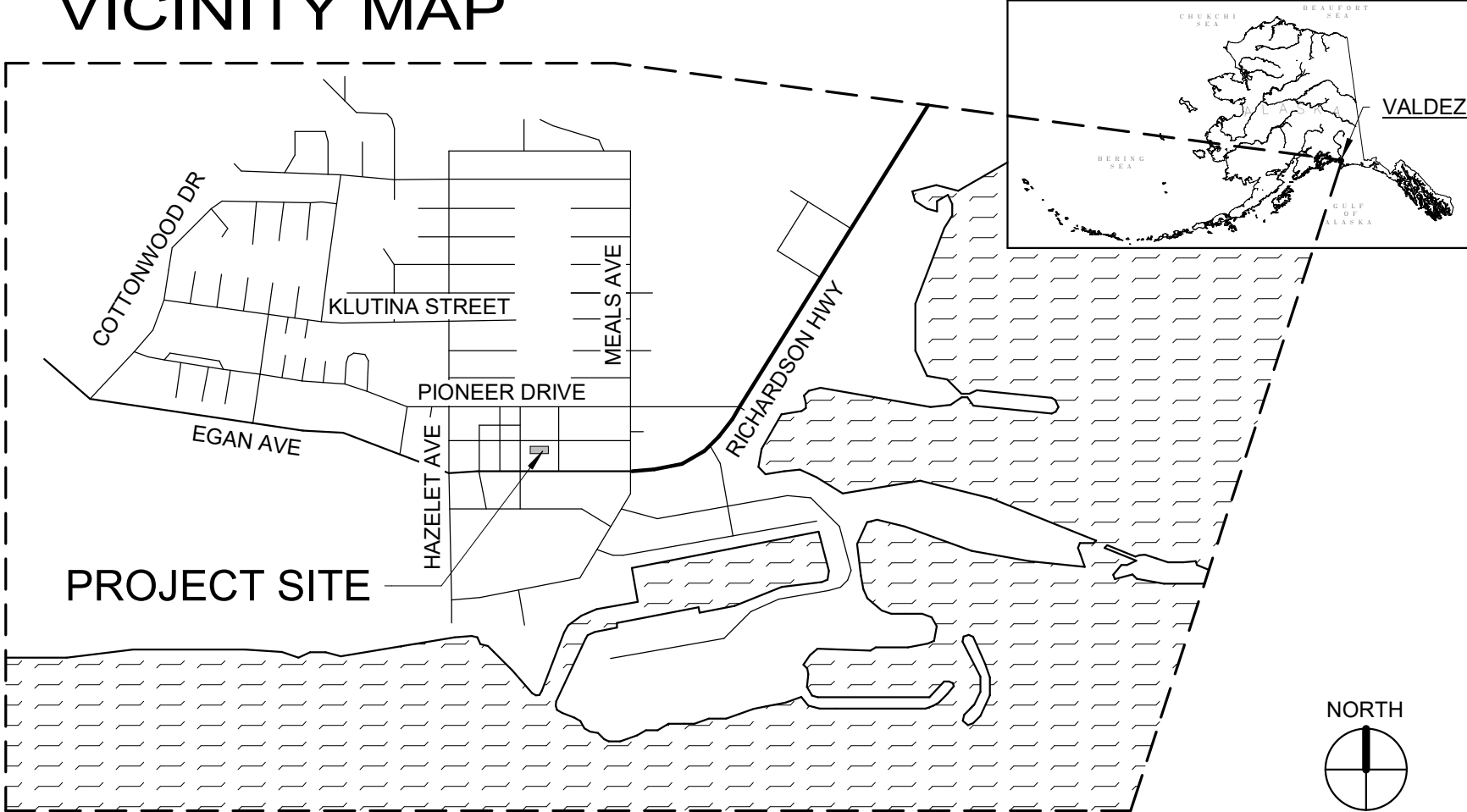
CITY OF VALDEZ LIBRARY RESTROOM RENOVATIONS

Valdez, Alaska

REVISIONS		
No	Description	Date

BID DOCUMENTS AUGUST 25, 2021

VICINITY MAP



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PROJECT DESCRIPTION

THE EXISTING RESTROOMS OF THE CITY OF VALDEZ LIBRARY WILL BE RENOVATED AND RECONFIGURED TO PROVIDE ADA COMPLIANT RESTROOMS. THE EXISTING FIRST FLOOR RESTROOMS WILL BE CONVERTED TO UNISEX RESTROOM FACILITIES AND THE EXISTING EMPLOYEE RESTROOM FACILITIES WILL BE RELOCATED TO PROVIDE ADDITIONAL SPACE TO BE ABLE TO BECOME ADA COMPLIANT.

GENERAL NOTES

- THESE DRAWINGS WERE PREPARED FROM AS-BUILT DOCUMENTS PROVIDED BY THE CITY OF VALDEZ. ACTUAL FIELD CONDITIONS MAY DEVIATE FROM THESE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING SHOULD EXISTING CONDITIONS DIFFER FROM THE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION IMPACTED BY THE WORK.
- CONTRACTOR TO PROTECT ALL EXISTING EQUIPMENT, FINISHES, AND OWNER PROPERTY AFFECTED BY THE WORK OR WORKER TRAFFIC.
- CONTRACTOR TO PROVIDE EXTERIOR TOILET FACILITIES FOR WORKERS.
- IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR TO PROVIDE ADEQUATE MEANS OF WATER MITIGATION INTO CITY OF VALDEZ DESIGNATED SEWER LINE UNTIL COMPLETION OF WORK. REFER TO 01 21 00 ALLOWANCES.
- REFER TO H-SERIES DRAWINGS FOR ALL HAZARDS ABATEMENT.

CODE INFORMATION

GOVERNING CODES ARE THE 2012 INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL MECHANICAL CODE (IMC), INTERNATIONAL FIRE CODE (IFC), UPC 2018, AND NEC 2017, & NFPA 13 AS ADOPTED BY THE STATE OF ALASKA.

OCCUPANCY: A-3, NO CHANGE IN OCCUPANCY.

TYPE OF CONSTRUCTION: IIA

SPRINKLERED: YES

OCCUPANT LOAD:
BASEMENT: 44 OCCUPANTS
FIRST FLOOR: 50 OCCUPANTS
SECOND FLOOR: 23 OCCUPANTS
GRAND TOTAL = 117 OCCUPANTS.

INTERIOR FINISHES:
CLASS B AT INTERIOR EXIT STAIRWAYS, RAMPS, & PASSAGEWAYS
CLASS B AT CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS.
CLASS C AT ROOMS AND ENCLOSED SPACES

PLUMBING FIXTURE COUNT (UPC TABLE 422.1):

OCCUPANCY: A-3
OCCUPANT LOAD: 117 OCCUPANTS / 2 = ~59 MEN, ~59 WOMEN

WATER CLOSETS:

MALE:
REQUIRED: 1
PROVIDED: 1

FEMALE:

REQUIRED: 3
PROVIDED: 2 DEDICATED*
*PROVIDING ADDITIONAL WC: 2 PUBLIC UNISEX, 1 EMPLOYEE UNISEX BELOW

UNISEX:
PROVIDED: 3

URNIALS:

REQUIRED: 1
PROVIDED: 1

LAVATORIES:

MALE:
REQUIRED: 1
PROVIDED: 2

FEMALE:

REQUIRED: 1
PROVIDED: 2

UNISEX:
PROVIDED: 3

DRINKING FOUNTAINS:
REQUIRED: 1
PROVIDED: 2 (EXISTING)

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S1.01	ENLARGED PLANS AND DETAILS
A0.01	ABBREVIATIONS AND SYMBOLS
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A1.03	NEW AND DEMO ENLARGED FLOOR PLANS
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E0.01	LEGEND, SCHEDULE, AND CALCULATIONS
E1.01	ELECTRICAL DEMOLITION PLANS
E2.01	ELECTRICAL REMODEL PLAN



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COV LIBRARY RESTROOM RENOVATIONS

VALDEZ, ALASKA

BDS Project No.: 621006.00
Client Project No.:

BID DOCUMENTS
AUGUST 25, 2021

COVER SHEET
G0.01

GENERAL NOTES

1. THE HAZARDS ABATEMENT PORTION OF THIS PROJECT INCLUDES THE DISTURBANCE AND/OR REMOVAL AND DISPOSAL OF SELECTED ASBESTOS-CONTAINING MATERIALS, MERCURY-CONTAINING MATERIALS, AND LEAD-CONTAINING MATERIALS. THE PURPOSE OF THE HAZARDS ABATEMENT PORTION OF THE WORK IS TO REMOVE THESE MATERIALS FROM THE VALDEZ CONSORTIUM LIBRARY PRIOR TO RENOVATION OR DEMOLITION SO THAT PERSONNEL CAN SAFELY PERFORM THEIR WORK WITHOUT CREATING HAZARDS TO HEALTH OR THE ENVIRONMENT.
2. THE WORK DOES NOT INCLUDE REMOVAL OF ALL HAZARDOUS MATERIALS IN THE BUILDING. REMOVE HAZARDOUS MATERIALS COORDINATING WITH OTHER TRADES, AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS, OUTLINED IN THE SPECIFICATIONS, AND AS REQUIRED TO COMPLETE THE WORK. "REMOVAL" INCLUDES PROPER HANDLING, PACKAGING AND DISPOSAL OF MATERIALS REMOVED.
3. POTENTIALLY HAZARDOUS MATERIALS SUCH AS MERCURY-CONTAINING LAMPS AND HEATING SYSTEM GLYCOL AFFECTED BY THE PROJECT ARE TO BE REMOVED AND DISPOSED OF PROPERLY. REFER TO SPECIFICATIONS AND THE CONTRACTOR'S APPROVED WORK PLAN FOR HAZARDOUS MATERIALS REMOVAL, DISTURBANCE, CLEARANCE, AND DISPOSAL PROCEDURES.
4. LEAD-BASED PAINTS (PAINT CONTAINING EQUAL TO OR GREATER THAN 1.0 mg/cm²) WERE NOT IDENTIFIED DURING THE LIMITED LEAD TESTING SHOWN IN THE HAZMAT SURVEY, BUT LEAD-BASED PAINTS MAY BE PRESENT AT OTHER LOCATIONS. LOW LEVELS OF LEAD FOUND BY XRF TESTING DOES NOT MEAN THE PAINTS ARE FREE OF LEAD, THE PAINTS MAY CONTAIN MEASURABLE AMOUNTS OF LEAD. LEAD-CONTAINING MATERIALS INCLUDE ALL PAINTED SURFACES, CERAMIC TILES, AND METALLIC LEAD, AS WELL AS LEAD-CONTAINING DUSTS. THIS IS NOT A LEAD ABATEMENT PROJECT, AND ALL TRADES WILL LIKELY DISTURB SOME LEAD-CONTAINING MATERIALS. CONTROL WORKER EXPOSURES USING LEAD-SAFE WORK PRACTICES AND CHOICE OF MEANS AND METHODS OF CONDUCTING THE WORK TO COMPLY WITH 40 CFR 745 AND 29 CFR 1926.62 AND TO AVOID CONTAMINATION OF THE WORK AREA AND SITE.
5. PERFORM INITIAL AIR MONITORING TESTS ON ALL TASKS THAT DISTURB ASBESTOS OR LEAD-CONTAINING MATERIALS, DUST OR PAINT TO DETERMINE THE APPROPRIATE WORKER AND SITE PROTECTION PROCEDURES REQUIRED. METALLIC LEAD IS ASSUMED PRESENT IN BELL AND SPIGOT PIPE JOINTS AND IN SOLDER ON COPPER PIPES.
6. SETTLED AND CONCEALED DUST ON ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL COMPONENTS THROUGHOUT THE PROJECT AREA(S) IS ASSUMED TO CONTAIN REGULATED AIR CONTAMINANTS INCLUDING ASBESTOS AND LEAD. WORK OF ALL TRADES MAY INCLUDE DISTURBANCE OF ASBESTOS AND LEAD AND MAY RESULT IN WORKER EXPOSURE TO ASBESTOS AND LEAD ABOVE THE OSHA ACTION LEVEL OR PERMISSIBLE EXPOSURE LIMITS FOR ASBESTOS OR LEAD IF PROPER WORK PRACTICES AND/OR ENGINEERING CONTROLS ARE NOT USED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE APPROPRIATE WORKER AND SITE PROTECTION PROCEDURES SO THAT THEIR WORKERS ARE NOT EXPOSED ABOVE THOSE LIMITS AND THAT WORK IS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE PRESENCE OF ASBESTOS OR LEAD IN DUSTS DOES NOT NECESSARILY MAKE THEM A HAZARD TO WORKERS OR A HAZARDOUS WASTE.
7. THE CONTRACTOR'S INDEPENDENT LABORATORY SHALL PROVIDE ALL INSPECTIONS, MONITORING, SAMPLING, ANALYSES AND REPORTING SERVICES AS SPECIFIED. CLEARANCE AIR MONITORING SHALL BE CONDUCTED IN ACCORDANCE WITH 40 CFR 763. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SAMPLING.
8. LOCATIONS OF MATERIALS SHOWN ON THESE DRAWINGS ARE SCHEMATIC AND APPROXIMATE. FIELD VERIFY AND COORDINATE CONSTRUCTION DETAILS, DIMENSIONS, WORK CONDITIONS, AND LOCATIONS WHICH WILL AFFECT THE REMOVAL OR DISTURBANCE OF HAZARDOUS MATERIALS. HAZARDOUS MATERIALS MAY HAVE COME LOOSE AND FALLEN ONTO FLOORS, CEILINGS, CHASES, OR WALL CAVITIES. THE QUANTITIES SHOWN IN THE SHEET SUMMARY ARE APPROXIMATE AND MAY VARY DEPENDING ON THE CONTRACTOR'S MEANS AND METHODS. REQUIRE ALL TRADES TO COORDINATE WITH EACH OTHER AND TO CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION. SEE DRAWINGS OF ALL DISCIPLINES FOR ADDITIONAL INFORMATION RELATING TO HAZARDOUS MATERIALS. IMMEDIATELY COMMUNICATE ALL DISCREPANCIES IN QUANTITIES TO THE OWNER. REFER TO HAZARDOUS MATERIALS ASSESSMENT FOR MORE INFORMATION ABOUT POTENTIALLY HAZARDOUS MATERIALS THAT ARE NOT SCHEDULED FOR DISTURBANCE BY THIS PROJECT. FURNISH ALL WORK AND MATERIALS REQUIRED FOR A FINISHED PROJECT AS DESCRIBED IN THE CONTRACT DOCUMENTS. QUANTITIES LISTED WITH A * MAY VARY DEPENDING ON THE CONTRACTOR'S MEANS AND METHODS. CONTRACTOR'S MEANS AND METHODS RESULTING IN ADDITIONAL MATERIALS REMOVAL SHALL NOT RESULT IN ADDED CONTRACT COSTS TO THE OWNER.
9. PROVIDE ALL WASTE TESTING, PACKAGING, HANDLING, TRANSPORTATION AND DISPOSAL. ALL COSTS FOR DISPOSAL SHALL BE BORNE BY THE CONTRACTOR. PERFORM TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) TEST(S) OF WASTE(S) CONTAINING LEAD OR PAINTED WITH LEAD-CONTAINING PAINT TO CHARACTERIZE THE WASTE(S) AS HAZARDOUS OR NON-HAZARDOUS PRIOR TO DISPOSAL. PERFORM TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) TEST(S) OF HEAT TRANSFER FLUIDS (GLYCOL) IN HEATING SYSTEM TO CHARACTERIZE THE WASTE(S) AS HAZARDOUS OR NON-HAZARDOUS PRIOR TO DISPOSAL. COORDINATE REQUIREMENTS OF LANDFILL(S) REGARDING MATERIALS PACKAGING, HANDLING, AND DISPOSAL REQUIREMENTS PRIOR TO SUBMITTING BID.
10. A JULY 1985 REPORT DESCRIBED THE DEMOLITION, REMOVAL, AND REPAIR OF PORTIONS OF THE CONCRETE FLOOR SLAB UNDER THE RAISED FLOOR SYSTEM IN THE BASEMENT. THE REPORT DESCRIBED THE USE OF SEVERAL SPECIFIC REPAIR MATERIALS AND/OR THEIR EQUIVALENTS, INCLUDING THE USE OF SEALANTS TO REPAIR CRACKS IN THE CONCRETE FLOOR SLAB. THOSE SEALANTS ARE ASSUMED TO CONTAIN ASBESTOS, AND ACCORDING TO THE JULY 1985 REPORT, CRACKS WHICH REQUIRED REPAIR ARE FOUND SCATTERED THROUGHOUT THE BASEMENT. ACCORDING TO THE DESCRIPTIONS AND SKETCHES PROVIDED WITH THE JULY 1985 REPORT, NO CRACKS WERE PRESENT IN THE CURRENT CONCRETE FLOOR SLAB LOCATIONS SCHEDULED FOR DEMOLITION BY THIS PROJECT, HOWEVER, SOME ARE LOCATED WITHIN THE WORK AREA. REFER TO THE JULY 1985 SKETCHES WHICH ARE AVAILABLE FROM THE OWNER FOR REVIEW.
11. THE AREAS BENEATH THE RAISED FLOOR IN THE BASEMENT HAVE BEEN SUBJECTED TO VARIOUS FLOODING EVENTS, AND THESE AREAS ARE ASSUMED TO HAVE BIOLOGICAL CONTAMINANTS SUCH AS MOLDS, FUNGI, BACTERIA, LEGIONELLA BACTERIA, ETC. THE WORK INCLUDES CLEANUP OF THESE VARIOUS BIOLOGICAL CONTAMINANTS FROM THE PROJECT AREAS AS REQUIRED TO ENSURE PERSONS WORKING IN THE AREA, INCLUDING OCCUPANTS OF THE BUILDING, ARE NOT EXPOSED TO THE VARIOUS CONTAMINANTS. WORK MAY BE REQUIRED WHILE THE BUILDING IS OCCUPIED. ALL WORK DISTURBING BIOLOGICAL CONTAMINATES SHALL COMPLY WITH IICRC S520 STANDARD AND REFERENCE GUIDE FOR PROFESSIONAL MOLD REMEDIATION, WITH ENVIRONMENTAL PROTECTION AGENCY GUIDELINES ON MOLD REMEDIATION, OR OTHER INDUSTRY ACCEPTED PRACTICES IF PRE-APPROVED BY THE OWNER. WORK INVOLVING DISTURBANCE OF THE BIOLOGICAL CONTAMINANTS INSIDE THE BUILDING MAY BE REQUIRE THE USE OF CONTAINMENT (CRITICAL BARRIERS) AND NEGATIVE AIR PRESSURE ENCLOSURES DEPENDING ON THE AREA TO BE REMEDIATED AND PROFESSIONAL JUDGMENT. ACCESS TO WORK AREA FROM WITHIN THE BUILDING SHALL BE BLOCKED TO PREVENT UNAUTHORIZED OR INADVERTENT ENTRY BY UNAUTHORIZED PERSONNEL. ACCESS TO WORK AREA SHALL BE SECURED BY LOCK OR OTHER OWNER-APPROVED MEANS WHEN WORK IS NOT ONGOING. THE AREAS SHALL BE CONSIDERED "CLEARED" ON THE BASIS OF A VISUAL INSPECTION DOCUMENTING THAT ALL VISIBLE DUST, DIRT, AND DEBRIS WITHIN THE AFFECTED AREAS HAS BEEN REMOVED. SPACES ADJACENT TO THE WORK AREAS WHICH DO NOT REQUIRE REMEDIATION SHALL BE SEALED BY USE OF A BARRIER WHICH PREVENTS THE MIGRATION OF THE REMAINING BIOLOGICAL CONTAMINANTS INTO THE PROJECT SPACES FOR THE DURATION OF THE PROJECT. THE BARRIERS SHALL BE REMOVED UPON COMPLETION OF ALL WORK UNLESS DIRECTED OTHERWISE BY THE OWNER.

ESTIMATED QUANTITIES TO BE REMOVED (ENTIRE PROJECT)

INCIDENTAL QUANTITIES OF MATERIALS, INCLUDING LEAD-CONTAINING MATERIALS, THAT ARE REQUIRED TO BE REMOVED TO COMPLETE THE WORK, BUT OTHERWISE ARE TO REMAIN, ARE NOT INCLUDED HERE, AS THEY WILL VARY DEPENDING ON THE CONTRACTOR'S CHOICE OF MEANS AND METHODS.

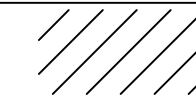







130	SQUARE FEET OF ASBESTOS-CONTAINING SHEET VINYL AND ASSUMED ASBESTOS-CONTAINING MASTICS
300	LINEAR FEET OF ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC
225	LINEAR FEET OF ASBESTOS-CONTAINING BROWN COVE BASE MASTIC
0*	LINEAR FEET OF ASSUMED ASBESTOS-CONTAINING SEALANTS AT CONCRETE FLOOR SLAB REPAIR LOCATIONS PERFORMED AROUND 1985
0*	SQUARE FEET OF ASSUMED ASBESTOS-CONTAINING WATERPROOFING MATERIALS ON EXTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS
0*	SQUARE FEET OF ASSUMED ASBESTOS-CONTAINING MASTICS FOR RIGID INSULATION BOARD ON INTERIOR FACE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS
1	LOT OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS
21	EACH MERCURY-CONTAINING FLUORESCENT LIGHTS
1	LOT OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL
500*	SQUARE FEET OF ASSUMED TO BE PRESENT BIOLOGICAL CONTAMINANTS IN AREAS BENEATH THE RAISED FLOOR IN THE BASEMENT TO BE CLEANED

SHEET NOTES

HAZARDS ABATEMENT DRAWINGS DO NOT SHOW ALL DETAILS OF WORK REQUIRED. ALL TRADES SHALL EXAMINE DRAWINGS OF OTHER TRADES AND COORDINATE WITH EACH OTHER TO DETERMINE EXTENT, TIMING AND LOCATIONS OF MATERIALS AFFECTED BY THE PROJECT.

- 1 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING SHEET VINYL AND ASSUMED ASBESTOS-CONTAINING MASTICS.
- 2 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC.
- 3 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 4 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING BROWN COVE BASE MASTIC.
- 5 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING SEALANTS AT CONCRETE FLOOR SLAB REPAIR LOCATIONS PERFORMED AROUND 1985 ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT. REFER ALSO TO GENERAL NOTE 10.
- 6 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING WATERPROOFING MATERIALS ON EXTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 7 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING MASTICS FOR RIGID INSULATION BOARD ON INTERIOR FACE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 8 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 9 REMOVE AND DISPOSE OF MERCURY-CONTAINING FLUORESCENT LIGHTS.
- 10 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 11 REMOVE AND DISPOSE OF BIOLOGICAL CONTAMINANTS SUCH AS MOLDS, FUNGI, BACTERIA, LEGIONELLA BACTERIA, ETC. FROM AFFECTED AREAS BENEATH THE RAISED FLOOR IN THE BASEMENT. REFER ALSO TO GENERAL NOTE 11.
- 12 NOT ALL ASBESTOS-CONTAINING OR HAZARDOUS MATERIALS ARE SHOWN BY THESE DRAWINGS. REFER TO HAZARDOUS MATERIALS ASSESSMENT FOR INFORMATION ON THESE OTHER MATERIALS THAT ARE KNOWN OR ASSUMED TO EXIST AT THIS BUILDING.

LEGEND

-  ASBESTOS-CONTAINING SHEET VINYL AND ASSOCIATED ASSUMED ASBESTOS-CONTAMINATED MASTICS TO BE REMOVED
-  ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC TO BE REMOVED
-  ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
-  ASBESTOS-CONTAINING BROWN COVE BASE MASTIC TO BE REMOVED
-  APPROXIMATE LOCATIONS OF ASSUMED ASBESTOS-CONTAINING SEALANTS USED AT CONCRETE FLOOR SLAB REPAIR LOCATIONS ACCORDING TO JULY 1985 REPORT
-  ASSUMED ASBESTOS-CONTAINING WATERPROOFING MATERIALS ON EXTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
-  ASSUMED ASBESTOS-CONTAINING MASTICS FOR RIGID INSULATION BOARD ON INTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
-  AREAS NOT SURVEYED. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON THE ASBESTOS-CONTAINING OR OTHER POTENTIALLY HAZARDOUS MATERIALS IN THESE AREAS

NOTIFICATION OF POTENTIAL HAZARDS

ASBESTOS, LEAD, AND OTHER HAZARDOUS MATERIALS ARE PRESENT IN THE BUILDING AND MAY IMPACT THE WORK OF ALL TRADES. REGULATED AIR CONTAMINANTS, INCLUDING ASBESTOS AND LEAD, ARE ALSO PRESENT IN SETTLED AND CONCEALED DUST IN AND ON ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL COMPONENTS OR SYSTEMS THROUGHOUT THE BUILDING. ALL TRADES SHALL COORDINATE WITH OTHER TRADES AND CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION. REFER TO SPECIFICATION DIVISIONS 0, 1, AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING, AND DISPOSING OF THESE MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.

NOTIFICATION OF CHILD OCCUPIED FACILITY

PORTIONS OF THIS BUILDING ARE CLASSIFIED AS A CHILD OCCUPIED FACILITY IN ACCORDANCE WITH 40 CFR 745 AND LEAD-BASED PAINTS MAY BE PRESENT ON COMPONENTS TO BE DISTURBED IN THOSE AREAS. PERSONNEL PERFORMING WORK IN THESE AREAS MUST COMPLY WITH THE REQUIREMENTS OF 40 CFR 745, INCLUDING TRAINING, WORK PRACTICES AND CLEANING OF THE WORK AREA. REFER TO SPECIFICATION DIVISIONS 0, 1 AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING AND DISPOSING OF LEAD MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.



BDS, Inc. Entity #25796D

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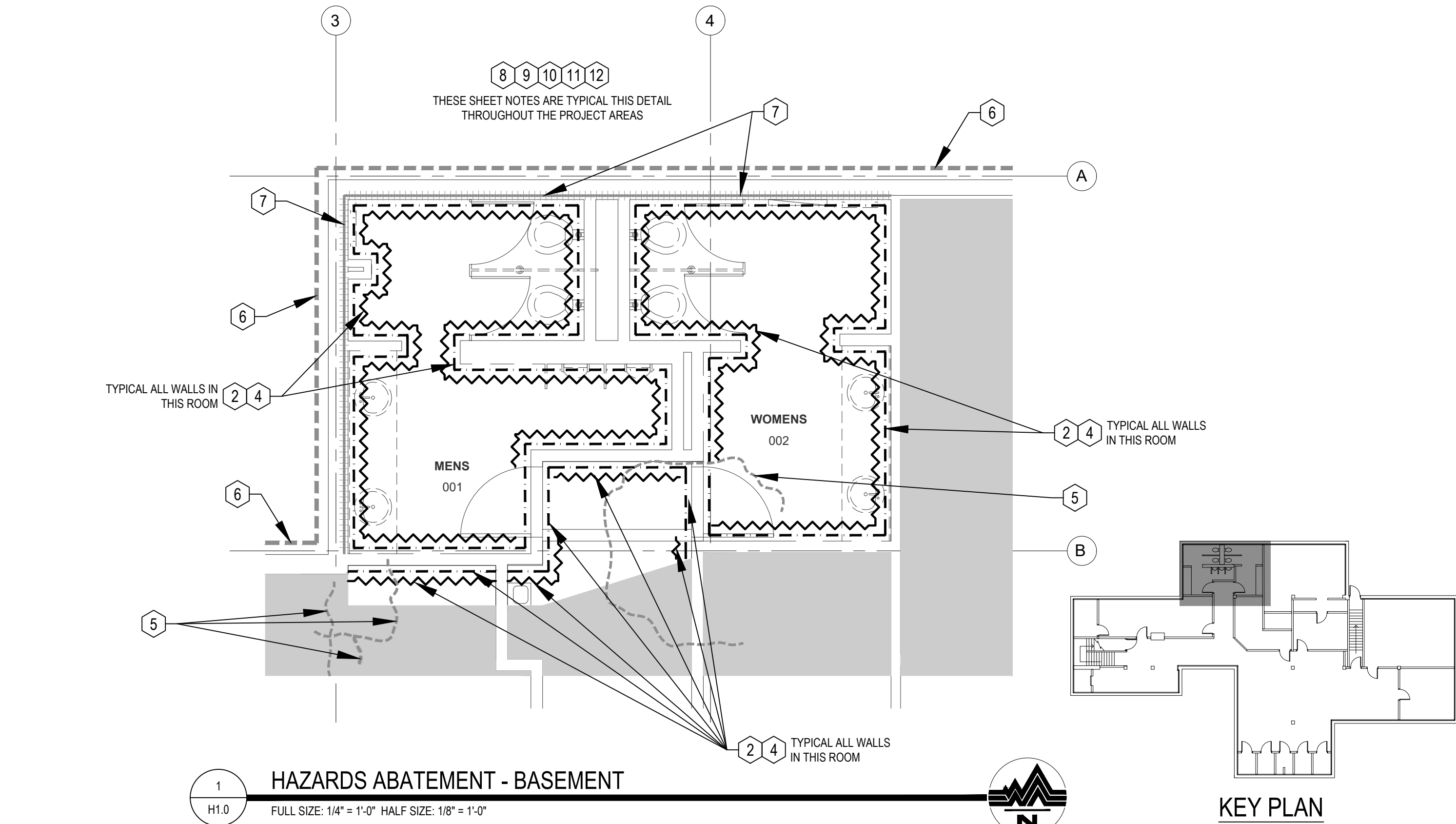
COV LIBRARY
RESTROOM
RENOVATIONS
VALDEZ, ALASKA

BDS Project No.: 621006.00
EHS Project No.: 7863

BID DOCUMENTS
AUGUST 25, 2021

HAZARDS ABATEMENT -
GENERAL & SHEET NOTES
AND QUANTITIES
H0.01

NOTIFICATION OF POTENTIAL HAZARDS: Asbestos, lead, and other hazardous materials are present in the building and may impact the work of all trades. Regulated air contaminants, including asbestos and lead, are also present in settled and concealed dust in and on Architectural, Structural, Mechanical, and Electrical components or systems throughout the building. All trades shall coordinate with other trades and conduct their work to prevent worker exposure or site contamination. Refer to Specification Divisions 0, 1, and 2 for specific information concerning disturbing, removing, and disposing of these materials and the installation of new materials or components. This notification is provided in accordance with EPA and OSHA requirements.



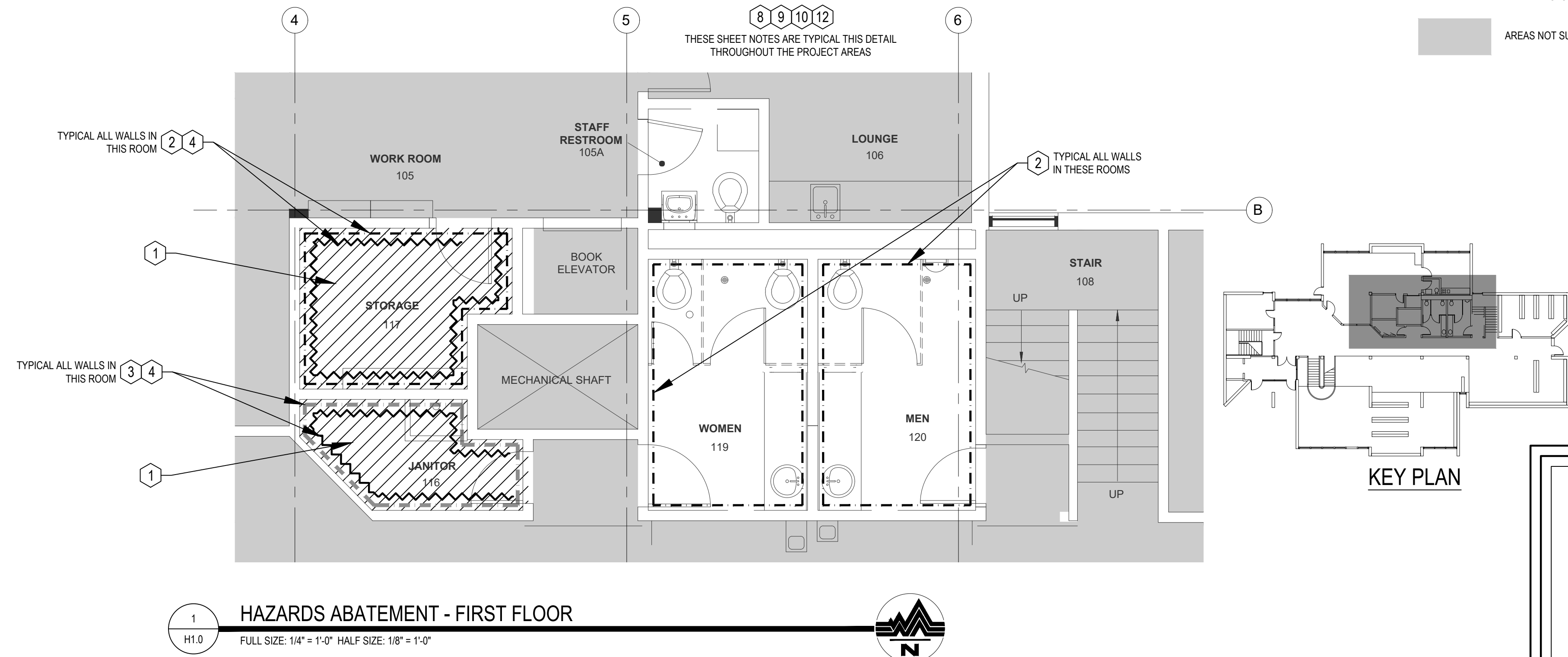
SHEET NOTES

HAZARDS ABATEMENT DRAWINGS DO NOT SHOW ALL DETAILS OF WORK REQUIRED. ALL TRADES SHALL EXAMINE DRAWINGS OF OTHER TRADES AND COORDINATE WITH EACH OTHER TO DETERMINE EXTENT, TIMING AND LOCATIONS OF MATERIALS AFFECTED BY THE PROJECT.

- 1 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING SHEET VINYL AND ASSUMED ASBESTOS-CONTAINING MASTICS.
- 2 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC.
- 3 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 4 REMOVE AND DISPOSE OF ASBESTOS-CONTAINING BROWN COVE BASE MASTIC.
- 5 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING SEALANTS AT CONCRETE FLOOR SLAB REPAIR LOCATIONS PERFORMED AROUND 1985 ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT. REFER ALSO TO GENERAL NOTE 10.
- 6 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING WATERPROOFING MATERIALS ON EXTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 7 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING MASTICS FOR RIGID INSULATION BOARD ON INTERIOR FACE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS ONLY AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 8 REMOVE AND DISPOSE OF ASSUMED ASBESTOS-CONTAINING FLANGE GASKETS AND VALVE PACKINGS AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 9 REMOVE AND DISPOSE OF MERCURY-CONTAINING FLUORESCENT LIGHTS.
- 10 REMOVE AND DISPOSE OF POTENTIALLY HAZARDOUS HEATING SYSTEM GLYCOL AS NECESSARY TO ACCOMMODATE THE PROJECT.
- 11 REMOVE AND DISPOSE OF BIOLOGICAL CONTAMINANTS SUCH AS MOLDS, FUNGI, BACTERIA, LEGIONELLA BACTERIA, ETC. FROM AFFECTED AREAS BENEATH THE RAISED FLOOR IN THE BASEMENT. REFER ALSO TO GENERAL NOTE 11.
- 12 NOT ALL ASBESTOS-CONTAINING OR HAZARDOUS MATERIALS ARE SHOWN BY THESE DRAWINGS. REFER TO HAZARDOUS MATERIALS ASSESSMENT FOR INFORMATION ON THESE OTHER MATERIALS THAT ARE KNOWN OR ASSUMED TO EXIST AT THIS BUILDING.

LEGEND

- ASBESTOS-CONTAINING SHEET VINYL AND ASSOCIATED ASSUMED ASBESTOS-CONTAMINATED MASTICS TO BE REMOVED
- ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC TO BE REMOVED
- ASBESTOS-CONTAINING GREY-GREEN CEILING GRID "L" CHANNEL MASTIC TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
- ASBESTOS-CONTAINING BROWN COVE BASE MASTIC TO BE REMOVED
- APPROXIMATE LOCATIONS OF ASSUMED ASBESTOS-CONTAINING SEALANTS USED AT CONCRETE FLOOR SLAB REPAIR LOCATIONS ACCORDING TO JULY 1985 REPORT
- ASSUMED ASBESTOS-CONTAINING WATERPROOFING MATERIALS ON EXTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
- ASSUMED ASBESTOS-CONTAINING MASTICS FOR RIGID INSULATION BOARD ON INTERIOR SIDE OF BELOW GRADE PORTIONS OF PRE-CAST CONCRETE PERIMETER WALLS TO REMAIN AND BE DISTURBED ONLY AS NECESSARY TO ACCOMMODATE THE WORK
- AREAS NOT SURVEYED. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON THE ASBESTOS-CONTAINING OR OTHER POTENTIALLY HAZARDOUS MATERIALS IN THESE AREAS



NOTIFICATION OF POTENTIAL HAZARDS

ASBESTOS, LEAD, AND OTHER HAZARDOUS MATERIALS ARE PRESENT IN THE BUILDING AND MAY IMPACT THE WORK OF ALL TRADES. REGULATED AIR CONTAMINANTS, INCLUDING ASBESTOS AND LEAD, ARE ALSO PRESENT IN SETTLED AND CONCEALED DUST IN AND ON ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL COMPONENTS OR SYSTEMS THROUGHOUT THE BUILDING. ALL TRADES SHALL COORDINATE WITH OTHER TRADES AND CONDUCT THEIR WORK TO PREVENT WORKER EXPOSURE OR SITE CONTAMINATION. REFER TO SPECIFICATION DIVISIONS 0, 1, AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING, AND DISPOSING OF THESE MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.

NOTIFICATION OF CHILD OCCUPIED FACILITY

PORTIONS OF THIS BUILDING ARE CLASSIFIED AS A CHILD OCCUPIED FACILITY IN ACCORDANCE WITH 40 CFR 745 AND LEAD-BASED PAINTS MAY BE PRESENT ON COMPONENTS TO BE DISTURBED IN THOSE AREAS. PERSONNEL PERFORMING WORK IN THESE AREAS MUST COMPLY WITH THE REQUIREMENTS OF 40 CFR 745, INCLUDING TRAINING, WORK PRACTICES AND CLEANING OF THE WORK AREA. REFER TO SPECIFICATION DIVISIONS 0, 1 AND 2 FOR SPECIFIC INFORMATION CONCERNING DISTURBING, REMOVING AND DISPOSING OF LEAD MATERIALS AND THE INSTALLATION OF NEW MATERIALS OR COMPONENTS. THIS NOTIFICATION IS PROVIDED IN ACCORDANCE WITH EPA AND OSHA REQUIREMENTS.



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VALDEZ, ALASKA
BDS Project No.: 621006.00
EHS Project No.: 7863
AUGUST 25, 2021

HAZARDS ABATEMENT -
BASEMENT AND FIRST
FLOOR
H1.01

GENERAL

THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS AMONG THE DRAWINGS BEFORE STARTING ANY WORK OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, REFERENCE STANDARDS, SITE CONDITIONS OR GOVERNING CODE, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCIES AND OBTAIN DIRECTION PRIOR TO PROCEEDING. NOTES ON INDIVIDUAL STRUCTURAL DRAWINGS SHALL TAKE PRIORITY OVER GENERAL STRUCTURAL NOTES. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED AS TYP ON THE PLANS BUT SHALL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS.

ALL CONSTRUCTION SHALL COMPLY WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED AND ADOPTED BY THE CITY OF VALDEZ.

SAFETY - THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE AND LOCAL SAFETY STANDARDS. THE CONTRACTOR IS IN CHARGE OF ALL SAFETY MATTERS ON AND AROUND THE JOB SITE.

STRUCTURAL DESIGN DATA

STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE IBC AS AMENDED AND ADOPTED BY THE CITY OF VALDEZ. RISK CATEGORY IS II IN ACCORDANCE WITH IBC SECTION 1604.5.

REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS, SLOPES, DEPRESSIONS, NON-BEARING WALLS, FIRE-PROOFING, FASCIA, CURBS, DRAINS, RAILINGS, WATERPROOFING, FINISHES, ETC.

THE STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING OPERATIONAL LOADS ON THE COMPLETED STRUCTURES. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING AND BRACING DURING CONSTRUCTION.

LIVE LOADS:

BASEMENT LIBRARY:	60 PSF
PARTITION:	15 PSF
MISC:	5 PSF
TOTAL:	80 PSF

SEISMIC LOADS: SITE CLASS D, DESIGN CATEGORY D,
Ss=1.5, S1=0.77, Sds=1.0, Ie=1.0

LATERAL ANALYSIS IS LINEAR STATIC. LATERAL FORCES ARE CARRIED BY FLEXIBLE ROOF AND RIGID FLOOR DIAPHRAGMS TO THE CONCRETE SHEAR WALLS.

FOUNDATIONS

FOUNDATIONS ARE DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 3,000 PSF UNDER SUSTAINED LOADING AND 4,300 PSF UNDER SHORT TERM LOADING.

ALL ORGANIC, FROZEN, SATURATED, OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUB-GRADE AND REPLACED WITH COMPACTED GRANULAR NON-FROST SUSCEPTIBLE (NFS) FILL. ALL FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED, NATURAL SUB-GRADE OR COMPACTED NFS FILL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 3,000 PSF.

SUB-GRADES BENEATH FOOTINGS AND SLABS SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS MEASURED BY ASTM D1557. BACKFILL AROUND AND ABOVE ALL FOUNDATION ELEMENTS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY.

EXISTING CONDITIONS

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING WORK. DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON EITHER SITE OBSERVATIONS, ORIGINAL DRAWINGS, OR WERE ASSUMED BASED ON EXPECTED CONDITIONS. IF EXISTING CONDITIONS DO NOT CLOSELY MATCH CONDITIONS SHOWN ON DRAWINGS, OR IF EXISTING MATERIALS ARE OF QUESTIONABLE OR SUBSTANDARD QUALITY, NOTIFY ENGINEER PRIOR TO COMMENCING WORK.

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE NOT INCLUDED IN THESE DRAWINGS AND REQUIRE STRUCTURAL DESIGN TO BE FURNISHED BY THE CONTRACTOR:

- ACCESS FLOOR SYSTEM AND ANCHORAGE

SUBMITTALS

THE CONTRACTOR SHALL REVIEW, STAMP WITH THEIR APPROVAL, DATE AND SIGN ALL SHOP DRAWINGS AND SUBMITTALS REQUIRED BY THE CONTRACT DRAWINGS PRIOR TO SUBMITTAL TO THE ENGINEER. AT THE TIME OF SUBMISSION, THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DEVIATION IN THE SHOP DRAWINGS FROM THE REQUIREMENTS OF THE CONTRACT DRAWINGS. DIMENSIONS AND QUANTITIES ARE THE CONTRACTOR'S RESPONSIBILITY AND WILL NOT BE REVIEWED.

STRUCTURAL CONCRETE

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 301, STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE, AS MODIFIED BY IBC SECTION 1905 AND LOCAL ADOPTED AMENDMENTS.

ALL CAST-IN-PLACE CONCRETE:

1. EXPOSURE F2, S0, W0, C0 (ACI 318-14, 19.3.1.1)
2. MINIMUM 28-DAY COMPRESSIVE STRENGTH = 4,500 PSI
3. MAXIMUM AGGREGATE SIZE = 3/4"
4. MAXIMUM WATER-CEMENT RATIO = 0.45
5. MAXIMUM CHLORIDE ION CONTENT = 1.00%
6. TARGET AIR CONTENT = 3% (+/-1%)

CONCRETE SHALL BE PROPORTIONED TO ACHIEVE A WORKABLE MIX THAT CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER.

APPLICABLE ASTM STANDARDS:

PORTLAND CEMENT = ASTM C150
AGGREGATE = ASTM C33, NORMAL WEIGHT
WATER = ASTM C94, SECTION 5.4 OR ASTM C1602
WATER REDUCING ADMIXTURE = ASTM C494, TYPE A

CONCRETE PLACED DURING COLD WEATHER SHALL CONFORM TO ACI 306. ALL COLD WEATHER CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL CONTAIN AIR ENTRAINMENT PER ACI 318-14 TABLE 19.3.3.1.

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT FOR CAST-IN-PLACE CONCRETE:

- A. CONCRETE CAST AGAINST EARTH 3-INCHES
- B. CONCRETE EXPOSED TO EARTH OR WEATHER
 -#5 AND SMALLER 1½-INCHES
- C. CONCRETE NOT EXPOSED TO EARTH OR WEATHER 3/4-INCH

ALL CONCRETE REINFORCING SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 315, ACI 318, CRSI MSP-1 AND ACI SP-66. DOWELS SHALL MATCH SIZE AND NUMBER OF MAIN REINFORCING.

EMBEDDED ITEMS (CONDUIT AND SLEEVES) SHALL NOT BE EMBEDDED IN OR PASS THROUGH CONCRETE WITHOUT APPROVAL. ALUMINUM ITEMS SHALL NOT BE EMBEDDED IN CONCRETE. SUBMIT CONDUIT LAYOUT AND EMBEDDED ITEM PLANS FOR REVIEW PRIOR TO PLACING CONCRETE.

POST-INSTALLED ANCHORS

INSTALLATION SHALL CONFORM TO MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS OF ICC-ES REPORT. ALL POST-INSTALLED ANCHORS SHALL HAVE A CURRENT ICC-ES REPORT AND BE AUTHORIZED FOR USE IN SEISMIC DESIGN CATEGORY D. PERIODIC SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED ANCHORS, UON. INSTALLATION OF ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED SHALL BE PERFORMED BY ACI/CRSI CERTIFIED PERSONNEL ONLY AND REQUIRES CONTINUOUS SPECIAL INSPECTION.

THREADED ROD SHALL BE ASTM A307, UON (OR ISO898 CLASS 5.8), TENSILE STRENGTH OF 60 KSI MIN, AND GALVANIZED WHERE EXPOSED TO THE WEATHER.

EXISTING BASE SHALL BE SCANNED PRIOR TO DRILLING HOLES. EXISTING REBAR LOCATIONS SHALL BE MARKED, AND NEW ANCHOR LOCATIONS REVISED TO AVOID EXISTING REINFORCING. NO REINFORCING BARS SHALL BE CUT TO INSTALL ANCHORS. ALL DEFECTIVE ANCHOR HOLES SHALL BE GROUTED AND A NEW HOLE DRILLED A MINIMUM OF 3 BOLT DIAMETERS AWAY.

ADHESIVE ANCHORS FOR THREADED ROD AND REBAR SHALL BE ONE OF THE FOLLOWING (OR AN APPROVED EQUIVALENT):

CONCRETE:

- DEWALT "PURE110+" (ESR-3298)
- HILTI "HIT-HY 200 SAFE SET" (ESR-3187)
- EPCON "A7+" (ESR-3903)
- SIMPSON "SET-XP" (ESR-2508)

POST-INSTALLED ANCHORS (CONTINUED)

POWER-ACTUATED FASTENERS (PAF) SHALL NOT BE USED TO RESIST ANY LATERAL LOAD INDUCED BY AN EARTHQUAKE. PAF SHALL BE 0.148-INCHES IN DIAMETER AND THE ANCHOR TYPE AND POWER LOAD SHALL BE SUITED TO THE MATERIAL BEING FASTENED AND THE SUBSTRATE MATERIAL. PRODUCT SHALL BE ITW RAMSET/RED HEAD (ESR-1799, 1955 OR 2579) OR APPROVED EQUAL. SPECIAL INSPECTION IS NOT REQUIRED FOR PAF INSTALLATION.

COLD FORMED STEEL

COLD FORMED STEEL SHALL MEET ASTM A1003 STRUCTURAL GRADE 50 TYPE H (Fy=50 KSI) FOR 14 GAUGE (68 MIL) OR 16 GAUGE (54 MIL) MEMBERS AND ASTM A1003 STRUCTURAL GRADE 33 TYPE H (Fy=33 KSI) FOR 18 GAUGE (43 MIL) AND LIGHTER MEMBERS.

ALL STRUCTURAL MEMBERS SHALL BE DESIGNED PER THE AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.

USE ONLY ONE MANUFACTURER OF COLD FORMED JOIST THROUGHOUT THE WORK, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFICALLY APPROVED IN ADVANCE BY THE ENGINEER. ACCEPTABLE JOIST MANUFACTURERS INCLUDE ANY MEMBER OF THE STEEL STUD MANUFACTURER'S ASSOCIATION.

PROVIDED ALL ACCESSORIES INCLUDING TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. INSTALL ALL ITEMS RECOMMENDED BY THE MANUFACTURER.

FASTENING OF COMPONENTS SHALL BE WITH SELF-DRILLING SCREWS (ASTM C1513) OR WELDS OF SUFFICIENT SIZE TO INSURE THE STRENGTH OF THE CONNECTION. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED. ALL WELDS SHALL BE TOUCHED UP WITH A ZINC-RICH PAINT.

UNLESS OTHERWISE INDICATED:

1. TRACKS SHALL BE CONNECTED WITH TWO #12 SCREWS OR PAF TO SUPPORTING SUBSTRATE AT EACH STUD, OR AN EQUIVALENT EQUAL SPACING;
2. OVERLAPPING STUDS OR BRACES SHALL BE CONNECTED WITH THREE #8 SCREWS;
3. STUDS SHALL BE CONNECTED TO TOP AND BOTTOM TRACKS WITH TWO #8 SCREWS, ONE AT EACH FLANGE;
4. BUILT-UP MEMBERS SHALL BE STITCHED TOGETHER WITH WELDS OR #8 SCREWS AT EACH CORNER AT 6-INCHES ON-CENTER.

PROVIDE COMMERCIAL GROUT FOR LEVELING THE FLOOR RUNNER OF STEEL STUD PARTITIONS AS REQUIRED.

@	At	BLKG	Blocking	EA	Each	INT	Interior	OH	Overhead	SIM	Similar	TYP	Typical
AB	Anchor Bolts	BM	Beam	EQ	Equal. Earthquake	LAG	Lag Screw	OPNG	Opening	SQ	Square	UON	Unless Otherwise Noted
BLDG	Building	BOT	Bottom	EW	Each Way	LOC	Location	PL	Plate	STL	Steel	VERT	Vertical
ARCH	Architect	BTWN	Between	EXP	Expansion	LONG	Longitudinal	PLS	Places	T&B	Top and Bottom	W/	With
AR	Anchor Rod	CL	Center-Line	FDN	Foundation	MAX	Maximum	PSF	Pounds-per-square-foot	T&G	Tongue and Groove	W/O	Without
ALT	Alternate	CLR	Clear	FF	Finished Floor	MEZZ	Mezzanine	PSI	Pounds-per-square-inch	T.O.	Top of	W	Wide-Flange, Wide
AHJ	Authority Having Jurisdiction	COL	Column	GALV	Galvanized	MIN	Minimum	REQ'D	Required	T.O.B.	Top of Beam	W/C	Water / Cement Ratio
AFF	Above Finish Floor	CONC	Concrete	GLB	Glue-Laminated Beam	MFR	Manufacturer	RO	Rough Opening	T.O.S.	Top of Steel	W.P.	Work Point
ADH	Adhesive	CONT	Continuous, Continue	HORZ	Horizontal	(N)	New	SBN	Shearwall Boundary Nailing	T.O.W.	Top of Wall	WWR	Welded Wire Reinforcement
ADD'L	Additional	DBN	Diaphragm Boundary Nailing	HSS	Hollow Structural Steel	OC	On-Center	SCH	Schedule	TRANS	Transverse		
		(E)	Existing	IBC	International Building Code								

REVISIONS

No	Description	Date
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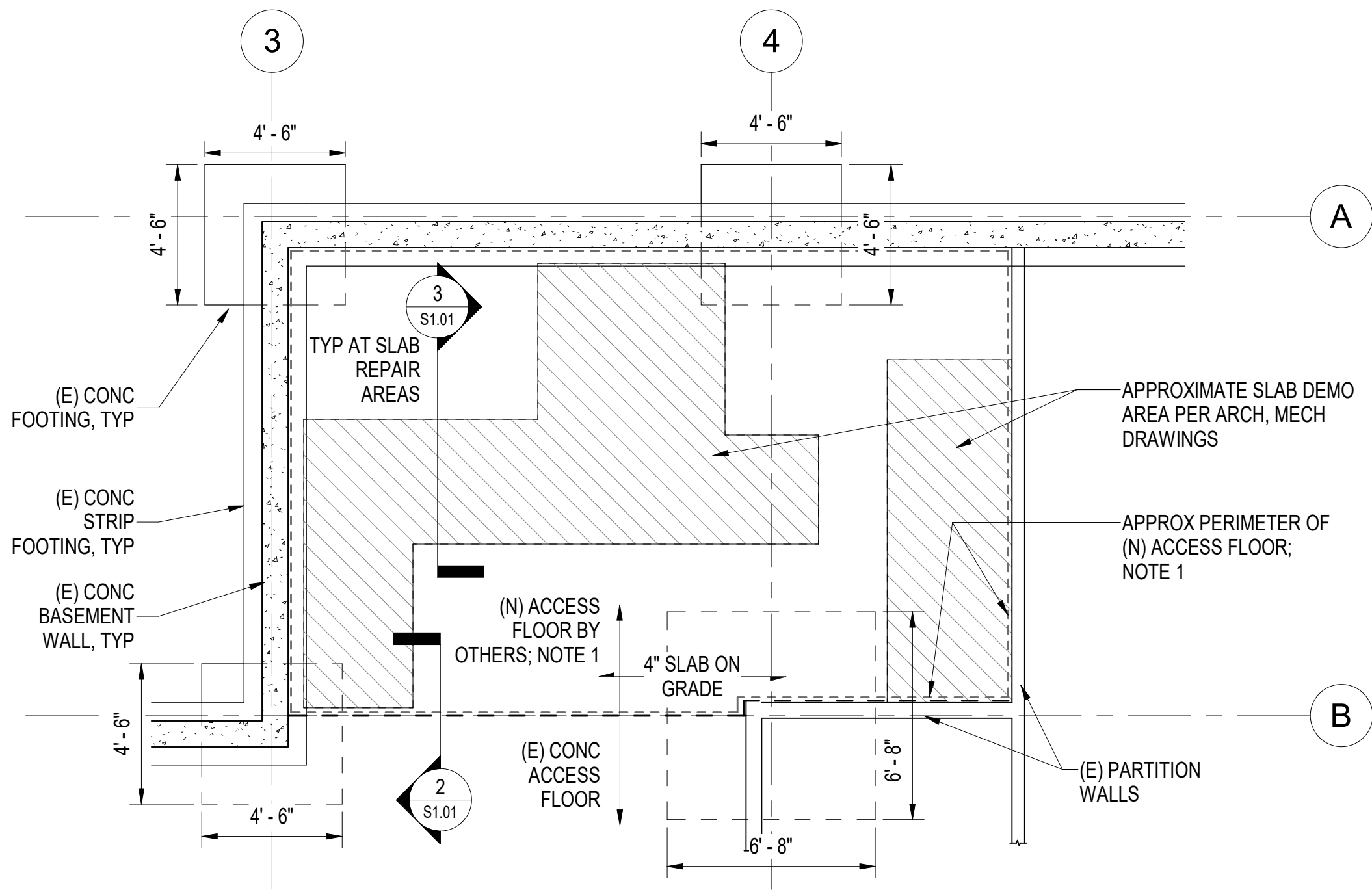
VALDEZ ALASKA

BDS Project No.: 621006.00

Client Project No.:

CONSTRUCTION DOCUMENTS
08.24.2021

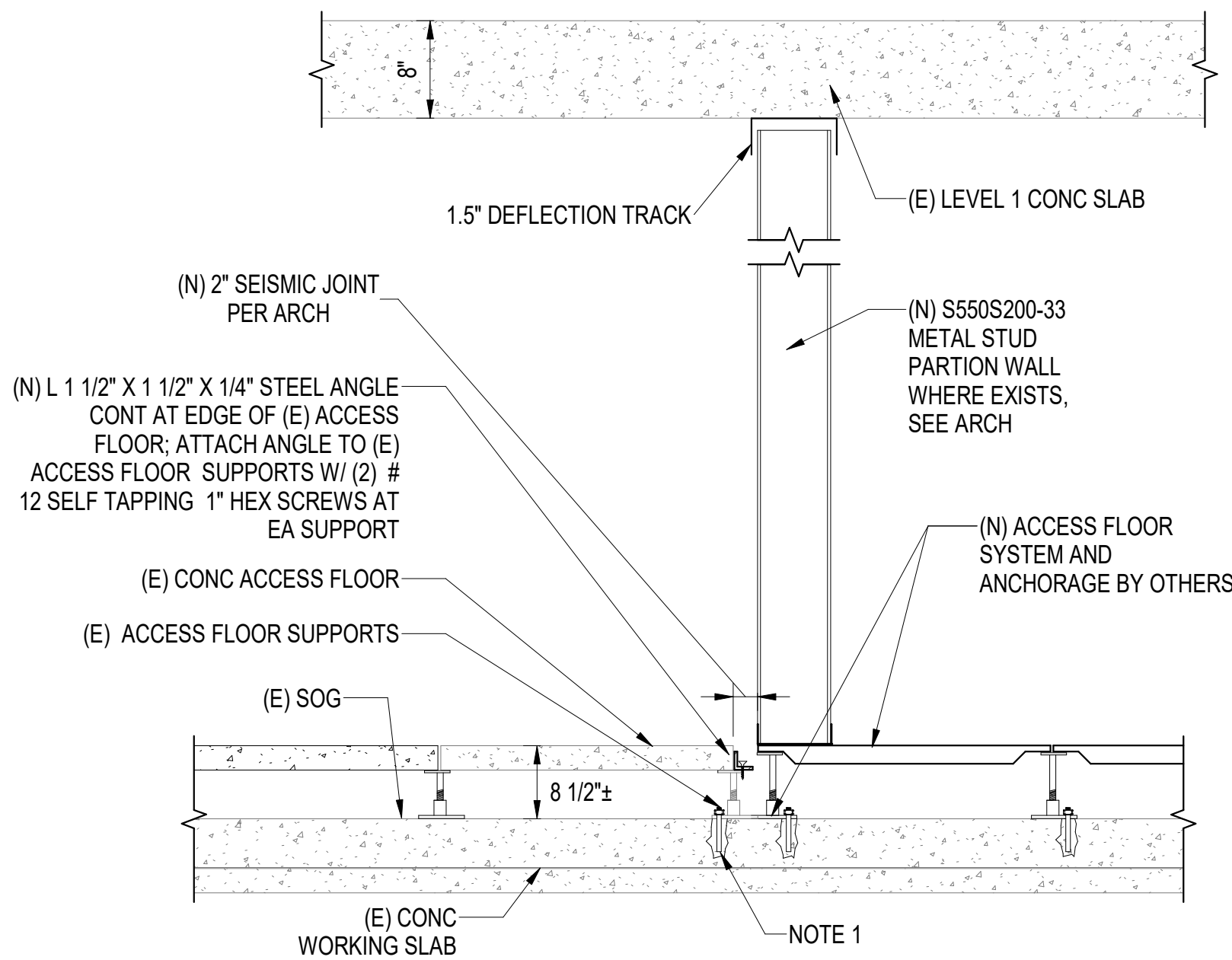
GENERAL
NOTES
S0.01



- NOTES:
- COORDINATE (N) ACCESS FLOOR EXTENTS W/ ARCH
 - CONTRACTOR TO AVOID IMPACTING EXISTING WALL AND COLUMN FOOTINGS. CONTACT ENGINEER OF RECORD IF EXISTING FOOTING IS TO BE AFFECTED BY DEMO WORK FOR GUIDANCE.

1 ENLARGED FLOOR PLAN AT BATHROOM REMODEL AREA

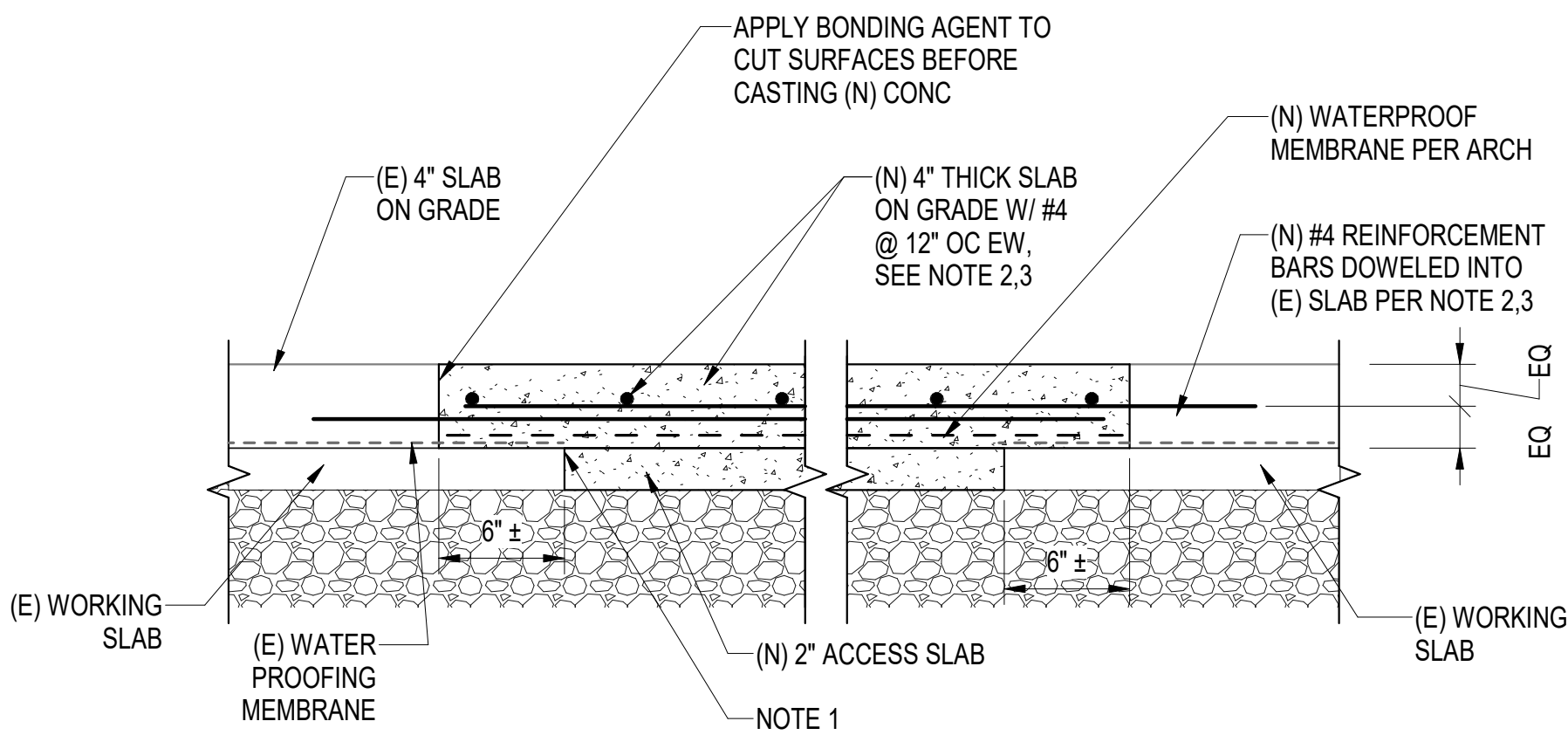
S1.01 1/4" = 1'-0"



- NOTES:
- PROVIDE (N) 3/8"Ø THREADED ROD ADHESIVE ANCHOR AT EA EXISTING ACCESS FLOOR SUPORT PEDESTAL BASE ALONG BOUNDARY BETWEEN EXISTING AND NEW ACCESS FLOOR; EMBED ANCHOR 2.5". PLACE (N) ANCHOR AT INTERIOR SIDE OF PEDESTAL BASE.

2 SECTION AT NEW ACCESS FLOOR INTERFACE

S1.01 1" = 1'-0"



- NOTES:
- CONTRACTOR TO CUT AND REMOVE UPPER STRUCTURAL SLAB 6" WIDER AT ALL SIDES THAN DIMENSION OF LOWER ACCESS SLAB REMOVAL. CONTRACTOR TO PRESERVE EXISTING WATERPROOF MEMBRANE AT INTERFACE BETWEEN SLABS. NEW ACCESS SLAB TO BE PURED AND CURED PRIOR TO PLACING NEW WATERPROOF MEMBRANE AND POURING 4" STRUCTURAL SLAB
 - SLAB OPENINGS AT 4" SLAB UP TO 3' - 8" IN WIDTH: DOWELS SHALL BE: #4 BARS @ 12" ON-CENTER ON ALL SIDES, LENGTH EQUAL TO 1" PLUS THE WIDTH OF THE CUT SLAB OPENING, EPOXY EMBED NEW BARS 3" INTO ORIGINAL SLAB, OVERLAP SHALL BE 4" LESS THAN THE SLAB CUT WIDTH.
 - SLAB OPENINGS AT 4" SLAB GREATER THAN 3' - 8" IN WIDTH: DOWELS SHALL BE #4 BARS @ 12" ON CENTER AT ALL SIDES. LENGTH OF BARS TO BE EPOXY DOWELED INTO EXISTING SLAB IS TO BE 2' - 4" AT EACH SIDE. PROVIDE ADDITIONAL #4 BAR THAT OVERLAPS EACH BAR DOWELED INTO (E) SLAB. OVERLAP TO BE A MIN OF 22" EACH SIDE
 - DO NOT OVERCUT CORNERS OF TRENCH. CHIP OUT CORNERS. OVERCUT CORNERS WILL BE RECUT AND REINFORCED SIMILAR TO TRENCH AT CONTRACTORS EXPENSE.
 - IF PIPE TRENCH EXTENDS THROUGH EXISTING FOOTING OR FOUNDATION WALL, CONTACT ENGINEER FOR ADDITIONAL CORING AND REPAIR DETAILS PRIOR TO DEMOLITION.
 - ACCESS FLOOR SYSTEM NOT SHOWN THIS VIEW.

3 BASEMENT SLAB REPAIR DETAIL

S1.01 1 1/2" = 1'-0"

REVISIONS

No	Description	Date
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RENOVATIONS

VALDEZ ALASKA

BDS Project No.: 621006.00
Client Project No.:

CONSTRUCTION DOCUMENTS
08.24.2021

ENLARGED
PLANS AND
DETAILS

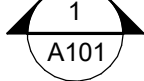
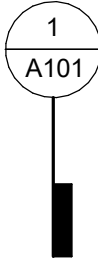
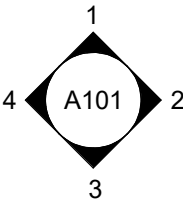
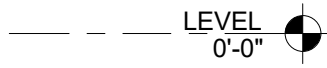
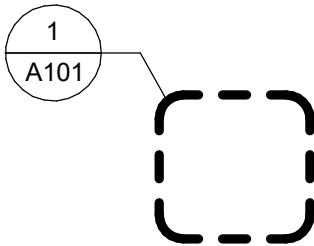

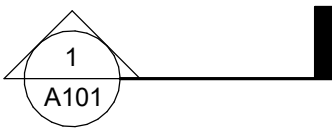
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NOTIFICATION OF POTENTIAL HAZARDS: Asbestos, lead, and other hazardous materials are present in the building and may impact the work of all trades. Regulated air contaminants, including asbestos and lead, are also present in settled and concealed dust in and on Architectural, Structural, Mechanical, and Electrical components or systems throughout the building. All trades shall coordinate with other trades and conduct their work to prevent worker exposure or site contamination. Refer to Specification Divisions 0, 1, and 2 for specific information concerning disturbing, removing, and disposing of these materials and the installation of new materials or components. This notification is provided in accordance with EPA and OSHA requirements.


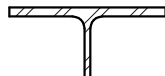

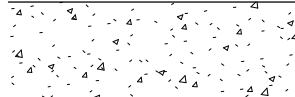
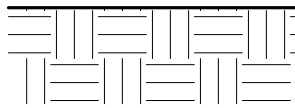


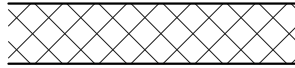






ARCHITECTURAL ABBREVIATIONS

# & @	NUMBER AND AT	IBC IFC IHM IN INCL INFO INSUL INT	INTERNATIONAL BUILDING CODE INTERNATIONAL FIRE CODE INSULATED HOLLOW METAL INCH INCLUDED INFORMATION INSULATION INTERIOR	STD STL STOR STRUC SVF	STANDARD STEEL STORAGE STRUCTURAL SHEET VINYL FLOORING
AB	ANCHOR BOLT				
ABV	ABOVE				T&G TONGUE AND GROOVE
A/C	AIR CONDITIONING				TB TACK BOARD
ACM	ASBESTOS CONTAINING MATERIALS				TBD TO BE DETERMINED
ACOUS	ACOUSTICAL				TEMP TEMPORARY
ACT	ACOUSTICAL CEILING TILE	J-BOX	JUNCTION BOX	THRES	THRESHOLD
ADD ALT	ADDITIVE ALTERNATE	JT	JOINT	THRU	THOUGH
ADDL	ADDITIONAL			THK	THICKNESS
ADJ	ADJACENT	KD	KNOCK DOWN	TLT	TOILET
AFF	ABOVE FINISH FLOOR	KIT	KITCHEN	TO	TOP OF
ALT	ALTERNATE			TCC	TOP OF CONCRETE
ALUM	ALUMINUM	L	LENGTH	TOD	TOP OF DECK
ANOD	ANODIZED	LAM	LIQUID APPLIED MEMBRANE	TOFF	TOP OF FINISHED FLOOR
APPROX	APPROXIMATE	LAV	LAVATORY	TOM	TOP OF MASONRY
ARCH	ARCHITECTURAL	LB	POUND	TOP	TOP OF PARAPET
AWW	ALL WEATHER WOOD	LB/SF	POUND PER SQUARE FOOT	TOS	TOP OF SLAB
		LF	LINEAR FOOT	TOW	TOP OF WALL
BB	BASE BID	LG	LIGHT GUARD INSULATION BOARD	TPD	TOILET PAPER DISPENSER
BD	BOARD	LR	LIVING ROOM	TPH	TOILET PAPER HOLDER
BKBD	BACK BOARD	LVR	LOUVER	TSTAT	THERMOSTAT
BLDG	BUILDING	LVT	LUXURY VINYL TILE	TV	TELEVISION
BLKG	BLOCKING			TYP	TYPICAL
BM	BEAM	MAX	MAXIMUM		
BO	BOTTOM OF	MBR	MEMBRANE	UH	UNIT HEATER
BOD	BOTTOM OF DECK	MECH	MECHANICAL	UL	UNDERWRITERS LABORATORY
BR	BEDROOM	MEZZ	MEZZANINE	UON	UNLESS OTHERWISE NOTED
BSMT	BASEMENT	MFR	MANUFACTURER		
BTWN	BETWEEN	MIL	MILLIMETER		
BUR	BUILT UP ROOFING (ASPHALT)	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
		MISC	MISCELLANEOUS	VERT	VERTICAL
CFCI	CONTRACTOR FURNISHED, CONTRACTOR	MO	MASONRY OPENING	VEST	VESTIBULE
	INSTALLED	MR	MOISTURE RESISTANT	VIF	VERIFY IN FIELD
CG	CORNER GUARD	MTD	MOUNTED	VR	VAPOR RETARDER
CJ	CONTROL JOINT	MTL	METAL	VTR	VENT THROUGH ROOF
CL	CENTER LINE				
CLO	CLOSET	(N)	NEW	W	WIDE
CLR	CLEAR	N/A	NOT APPLICABLE	W/	WITH
CLG	CEILING	NFS	NON FROST SUSCEPTIBLE	W/O	WITHOUT
CMP	CORRUGATED METAL PIPE	NIC	NOT IN CONTRACT	WD	WOOD
CMU	CONCRETE MASONRY UNIT	NOI	NOMINAL	WDW	WINDOW
COL	COLUMN	NRCA	NATIONAL ROOFING CONTRACTOR'S ASSOCIATION	WH	WATER HEATER
CONC	CONCRETE	NTS	NOT TO SCALE	WWF	WELDED WIRE FABRIC
CONST	CONSTRUCTION			XPS	EXTRUDED POLYSTYRENE
CONT	CONTINUOUS	OC	ON CENTER		
CONTR	CONTRACTOR	OD	OUTSIDE DIAMETER		
COORD	COORDINATE	OFCI	OWNER FURNISHED, CONTRACTOR		
CORR	CORRIDOR				
	CARPET	OFOI	OWNER FURNISHED, OWNER INSTALLED		
CSK	COUNTERSINK	OFS	OVERFLOW SCUPPER		
CT	CERAMIC TILE	OH	OVERHEAD		
CTR	CENTER	OPN'G	OPENING		
CUH	CABINET UNIT HEATER	OPP	OPPOSITE		
		OSB	ORIENTED STRAND BOARD		
D	DEEP / DEPTH	ORD	OVERFLOW ROOF DRAIN		
DBL	DOUBLE	OVHD	OVER HEAD		
DEG	DEGREE	OZ	OUNCE		
DEMO	DEMOLISH / DEMOLITION				
DEPT	DEPARTMENT	P	PAINT		
DF	DRINKING FOUNTAIN	PA	PUBLIC ADDRESS		
DIA	DIAMETER	PERIM	PERIMETER		
DIAG	DIAGONAL	PH	PENTHOUSE		
DIM	DIMENSION	PLAM	PLASTIC LAMINATE		
DISP	DISPENSER	PLYWD	PLYWOOD		
DN	DOWN	PNL	PANEL		
DR	DOOR	POLY	POLYETHYLENE SHEET		
DS	DOWNSPOUT	POLYISO	POLYISOCYANURATE INSULATION		
DTL	DETAIL	PR	PAIR		
DW	DISHWASHER	PREFAB	PREFABRICATE		
DWG	DRAWING	PROP	PROPER		
(E)	EXISTING	PSF	POUNDS PER SQUARE FOOT		
EA	EACH	PT	PRESERVATIVE TREATED		
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	PTD	PAINTED / PAPER TOWEL DISPENSER		
EJ	EXPANSION JOINT	PTDR	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE		
ELEC	ELECTRICAL				
ELEV	ELEVATION	PTR	PENETRATION THROUGH ROOF		
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PVC	POLYVINYL CHLORIDE		
EPS	EXPANDED POLYSTYRENE INSULATION				
EQ	EQUAL	R	RADIUS		
EQUIP	EQUIPMENT	RA	RETURN AIR		
ETR	ELECTRICAL THROUGH ROOF	RCP	REFLECTED CEILING PLAN		
EXIST	EXISTING	RD	ROOF DRAIN		
		REINF	REINFORCE		
F	FAHRENHEIT	RESIL	RESILIENT		
FD	FLOOR DRAIN	REST	REST ROOM		
FE	FIRE EXTINGUISHER	REQ'D	REQUIRED		
FEC	FIRE EXTINGUISHER CABINET	RL	RAIN LEADER		
FF	FINISHED FLOOR	RM	ROOM		
FF&E	FURNITURE, FIXTURES AND EQUIPMENT	RO	ROUGH OPENING		
FIN	FINISH	REF	REFERENCE		
FIXT	FIXTURE	REFRIG	REFRIGERATOR		
FLR	FLOOR				
FOF	FACE OF FINISH	SA	SUPPLY AIR		
FOM	FACE OF MASONRY	SAM	SELF ADHERING MEMBRANE		
FOS	FACE OF STUD	SBS	STYRENE-		
FOC	FACE OF CONCRETE		BUTADIENE-STYRENE		
FRM'G	FRAMING	SCHED	SCHEDULE		
FRP	FIBERGLASS REINFORCED PLASTIC	SCD	SEAT COVER DISPENSER		
FRT	FIRE RETARDANT TREATED	SCP	SCUPPER		
FT	FOOTING	SD	SMOKE DETECTOR / SOAP DISPENSER		
FTG		SEBS	STYRENE-ETHYLENE- BUTADIENE-STYRENE		
GA	GAUGE	SECT	SECTION		
GALV	GALVANIZED	SF	SQUARE FEET		
GLB	GLUE LAMINATED BEAM	SHR	SHOWER		
GYP	GYPSUM WALL BOARD	SHT	SHEET		
GWB	GYPSUM BOARD	SIM	SIMILAR		
		SIP	STRUCTURAL INSULATED PANEL		
H	HIGH	SM	SHEET METAL		
HCP	HANDICAPPED	SND	SANITARY NAPKIN DISPENSER		
HDWR	HARDWARE	SNDU	SANITARY NAPKIN DISPOSAL UNIT		
HM	HOLLOW METAL	SPEC	SPECIFICATION		
HORIZ	HORIZONTAL	SPKLR	SPRINKLER		
HR	HOUR	SPKR	SPEAKER		
HT	HEIGHT	SPF	SPRAY POLYURETHANE FOAM		
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SQ	SQUARE		
		SS	STAINLESS STEEL		

REFERENCE SYMBOLS

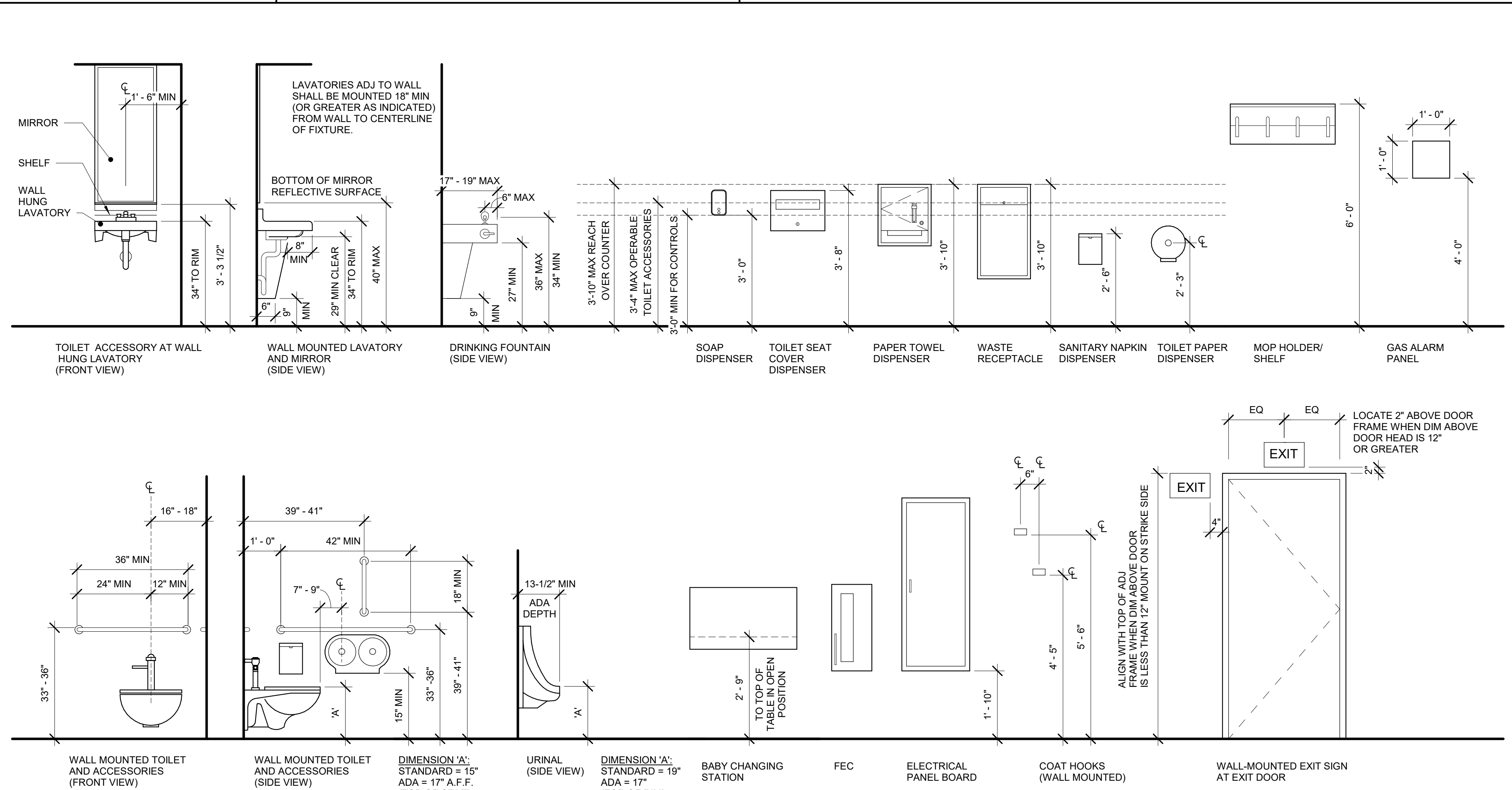
<p><u>ASSEMBLY TYPES</u></p> <p>V000.0 —————</p> <p>R00/H00 ●</p>	<p><u>EXTERIOR ELEVATION</u></p> 	<p><u>KEYNOTE</u></p> <p>XX DEMO</p> <p>XX NEW</p>
<p><u>DETAIL</u></p> 	<p><u>INTERIOR ELEVATIONS</u></p> 	<p><u>LEVEL LINE</u></p> <p>— — — — — LEVEL 0'-0"</p> 
<p><u>DETAIL</u></p> 	<p><u>GRID LINES</u></p> 	<p><u>TAGS</u></p> <p>A WINDOW</p> <p>101A DOOR</p> <p>A SIGN TYPE</p>
<p><u>SECTION</u></p> 		

MATERIAL SYMBOLS

	SHEET MEMBRANE (TYPE AS NOTED IN PLAN OR SECTION)
	STRUCTURAL STEEL (TYPE AS NOTED IN PLAN OR SECTION)
	GLASS (ELEVATION)
	CAST-IN-PLACE CONCRETE (PLAN OR SECTION)
	EARTH (SECTION)
	PLYWOOD (SECTION)
	BATT INSULATION: THERMAL OR ACOUSTIC, UON
	RIGID INSULATION: THERMAL, ACOUSTIC OR FIRESAFING
	SPRAY POLYURETHANE FOAM (SECTION)
	EIFS (SECTION)
	GYPSUM BOARD (SECTION)
	WOOD FRAMING, CONTINUOUS (SECTION)
	WOOD BLOCKING, CONTINUOUS (SECTION)
	FINISHED WOOD (SECTION OR ELEVATION)

REVISIONS

No	Description	Date
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BDS, Inc. Entity #25796D



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RESTROOM

RESTROOM RENOVATIONS

RENOVATIONS

VALDEZ ALASKA

VALDEZ, ALASKA
BDS Project No.: 621006.00

BDS Project No.: 621006.00
Client Project No.:

BID DOCUMENTS

AUGUST 25, 2021

REFERENCES

ABBREVIATIONS

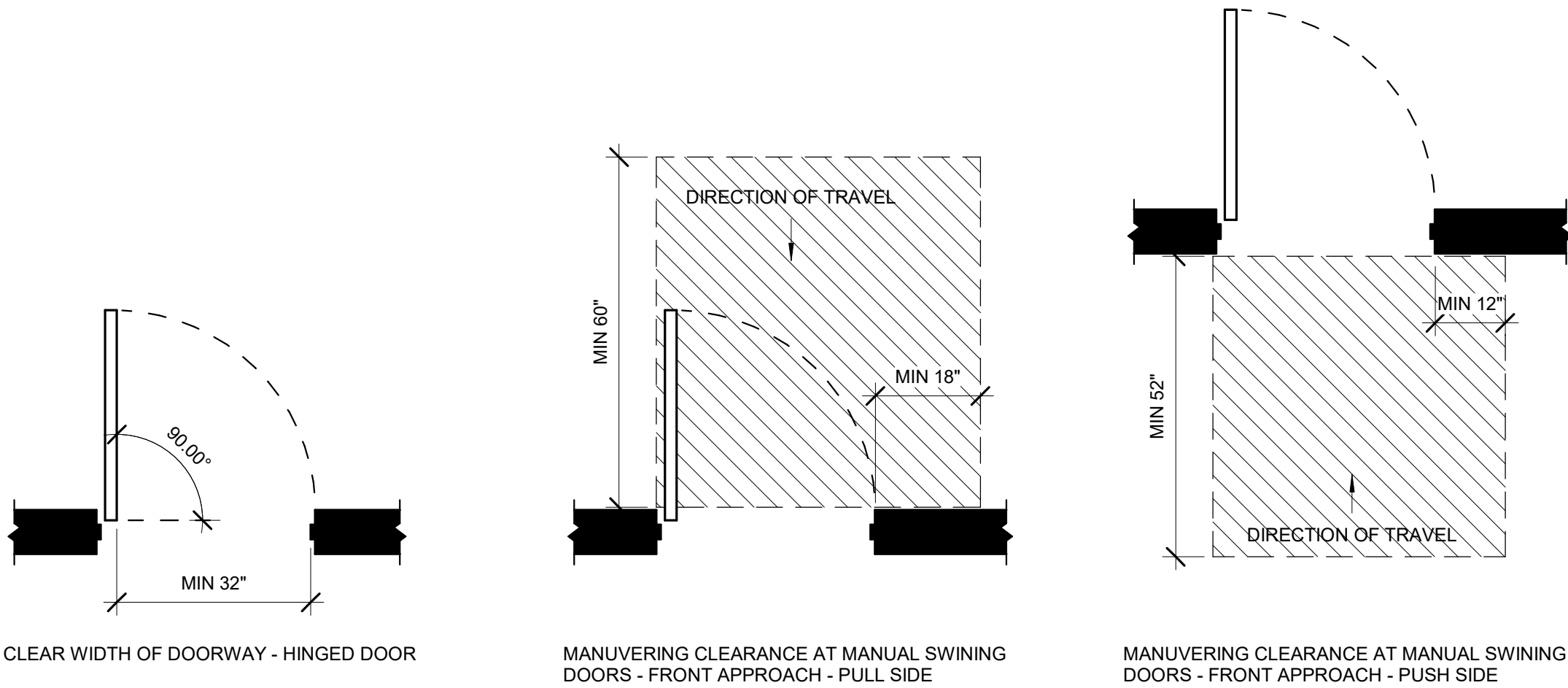
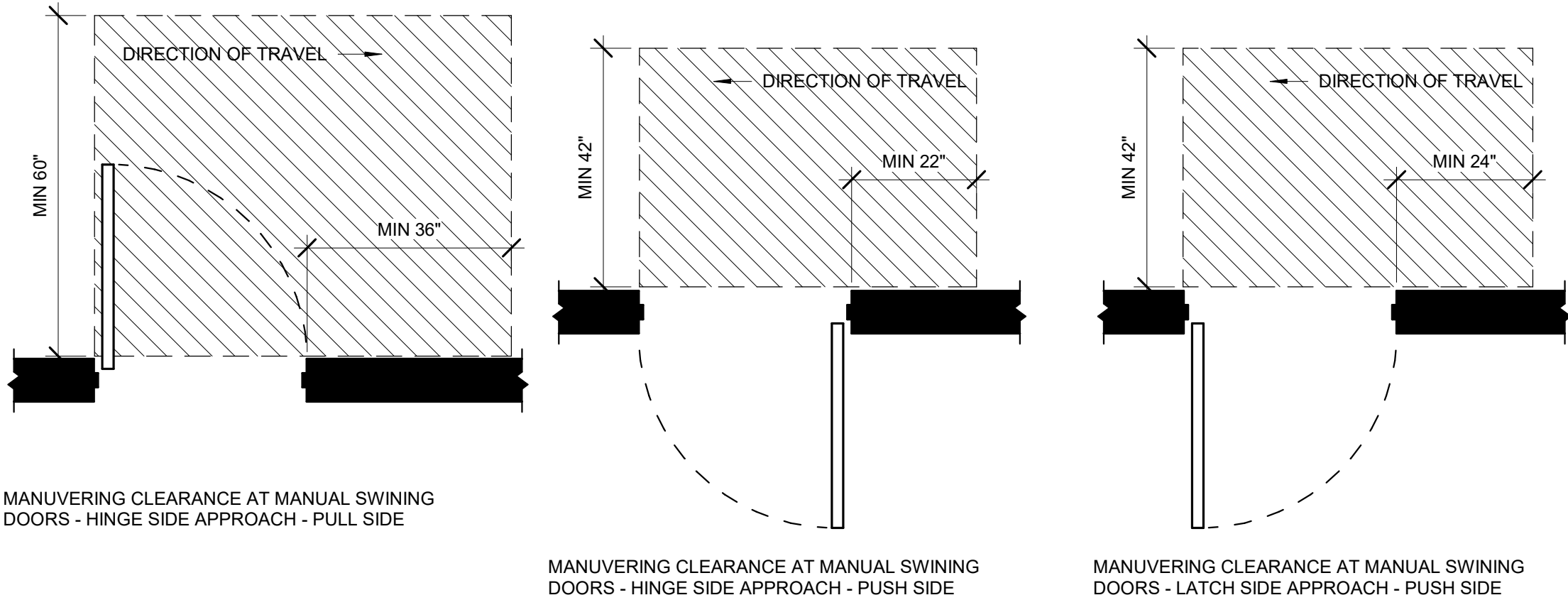
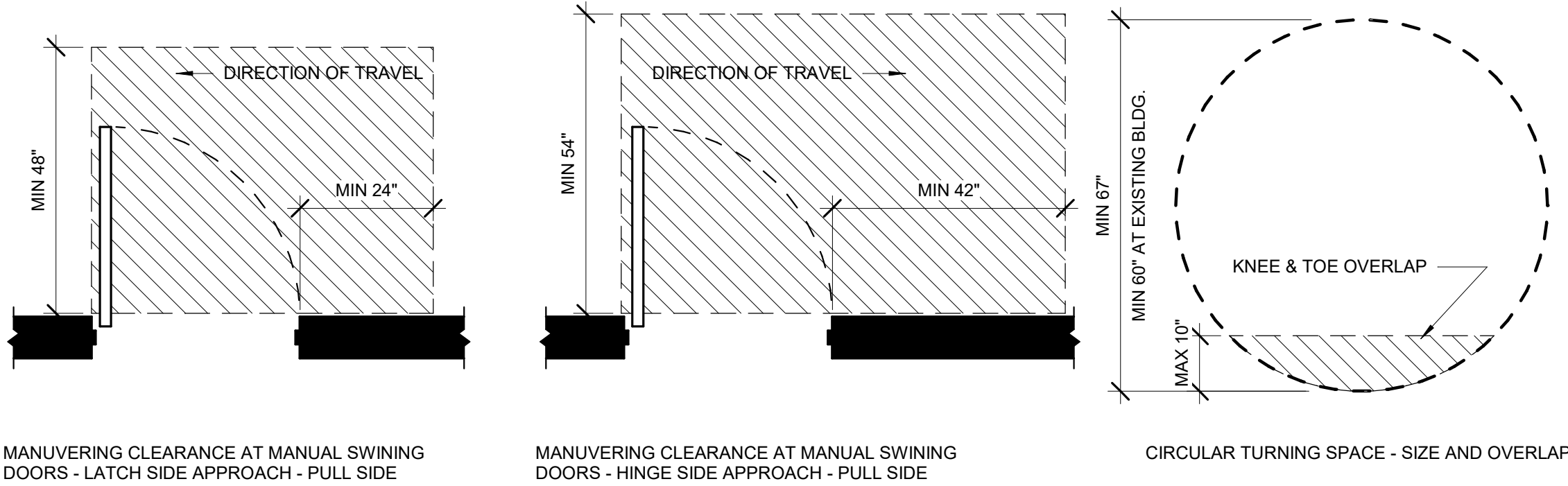
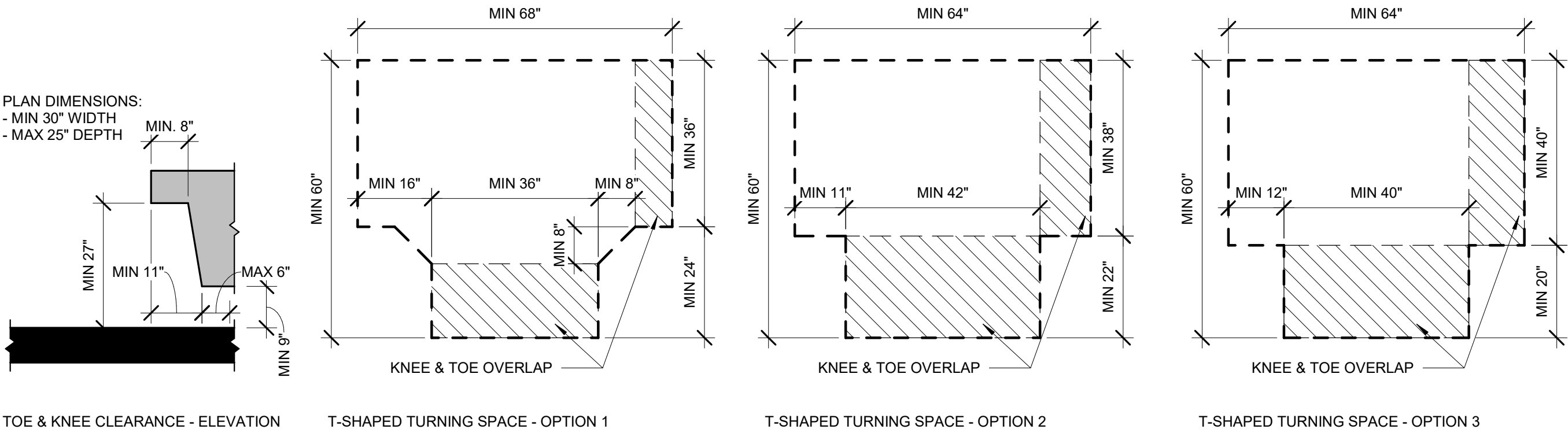
AND SYMBOLS

AND STRINGS
A001

A0 01

Activity

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1 STANDARD ACCESSIBLE DETAILS

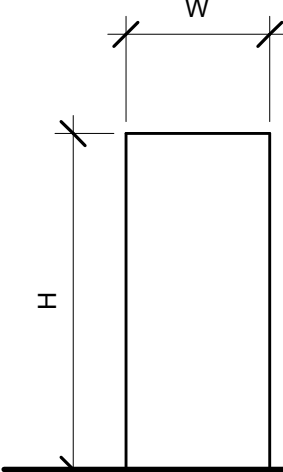
A0.02 SCALE: 1/2" = 1'-0"

ROOM FINISH SCHEDULE

Room Number	Room Name	Floor Finish	Base	WALLS				Ceiling	Remarks
				North	East	South	West		
001	MENS	RF-1	ICB	T-1/T-2	T-1/T-2	T-1/T-2	T-1/T-2/T-3	ACP-2	SEE INT ELEVS FOR TILE LOCATIONS AND PATTERN
002	WOMENS	RF-1	ICB	T-1/T-2	T-1/T-2/T-3	T-1/T-2	T-1/T-2	ACP-2	SEE INT ELEVS FOR TILE LOCATIONS AND PATTERN
003	HALLWAY	EXIST/CPT-1	EXIST/RB-1	--	P-4	P-1	P-4	EXIST/ACP-1	PAINT FULL EXTENTS OF HALLWAY AND WATER FOUNTAIN NICHE WALLS AND CEILING
004	STORAGE	EXIST/CPT-1	EXIST/RB-1	EXIST	EXIST	EXIST/P-1	EXIST/P-1	EXIST/ACP-1	
105	WORK ROOM	EXIST	EXIST	EXIST/P-1	EXIST	EXIST	EXIST	EXIST	SEE PLAN FOR EXTENT OF WALL PAINT
105A	STAFF RESTROOM	EMCF-1	ICB	T-1/T-2/T-3	T-1/T-2	T-1/T-2	T-1/T-2	ACP-2	SEE INT ELEVS FOR TILE LOCATIONS AND PATTERN
106	LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
116	JANITOR	RF-1	ICB	EXIST	EXIST	EXIST	EXIST	EXIST	
117	STORAGE	CPT-1	RB-1	P-1	P-1	P-1	P-1	GWB-1	
119	RESTROOM	EMCF-1	ICB	T-1/T-2	T-1/T-2	T-1/T-2/T-3	T-1/T-2	ACP-2	SEE INT ELEVS FOR TILE LOCATIONS AND PATTERN
119A	HALLWAY	CPT-1	RB-1	P-1	P-1	P-1	P-1	ACP-3	
120	RESTROOM	EMCF-1	ICB	T-1/T-2	T-1/T-2	T-1/T-2/T-3	T-1/T-2	ACP-2	SEE INT ELEVS FOR TILE LOCATIONS AND PATTERN

DOOR SCHEDULE

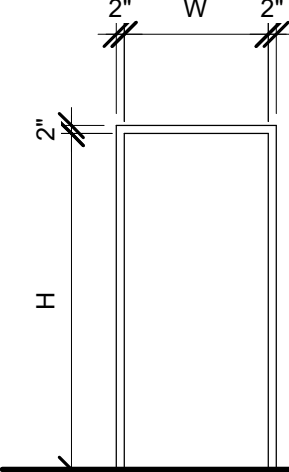
Door Number	Width	Height	Thickness	DOOR		FRAME		Fire Rating	Remarks	Hardware Group	DETAILS		
				Type	Material	Type	Material				Head	Jamb	Sill
001	3' - 0"	7' - 0"	1 3/4"	F	HM	1	HM			02	8/A3.01	8/A3.01	--
002	3' - 0"	7' - 0"	1 3/4"	F	HM	1	HM			02	8/A3.01	8/A3.01	--
105A	3' - 0"	7' - 0"	1 3/4"	F	HM	1	HM			01	8/A3.01 SIM	8/A3.01 SIM	--
117	2' - 8"	7' - 0"		--	--	--	HM		(E) DOOR DEMOLISHED, (E) FRAME TO REMAIN. PAINT EXISTING FRAME	--	--	--	--
119	3' - 0"	7' - 0"	1 3/4"	F	HM	1	HM			01	8/A3.01	8/A3.01	--
119A-1	3' - 0"	7' - 0"				1	HM		CASED OPENING	--	8/A3.01 SIM	8/A3.01 SIM	--
119A-2	3' - 0"	7' - 0"				1	HM		CASED OPENING	--	8/A3.01 SIM	8/A3.01 SIM	--
120	3' - 0"	7' - 0"	1 3/4"	F	HM	1	HM			01	8/A3.01	8/A3.01	--



F

DOOR TYPES

SCALE: 1/4" = 1'-0"



1

DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

COLOR AND MATERIAL LEGEND

		CODE	SPEC. NO.	MATERIAL	MANUFACTURER, BASIS OF DESIGN	COLOR / FINISH	REMARKS
INTERIOR	FLOOR	CPT-1	---	CARPET TILE	MANNINGTON COMMERCIAL; PORTLAND PROJECT, SUMMIT	ADLER 84905	3 STEP VERTICAL ASHLAR
		EMCF-1	---	EPOXY MOSAIC COMPOSITION FLOORING	DEX-O-TEX; TERRACOLOR	112 LIMESTONE	
		RF-1	---	RESILIENT FLOORING	ARMSTRONG FLOORING, MEDINTECH	84197 SILVER GRAY	
	BASE	ICB	---	INTERAL COVE BASE	---	---	
		RB-1	---	RESILIENT BASE	ROPPE; PINNACLE	197 ICEBERG	
	WALL	P-1	---	PAINT	SHERWIN WILLIAMS	PURE WHITE SW7005	WALL PAINT
		P-2	---	PAINT	SHERWIN WILLIAMS	PASSIVE SW7064	NEW DOORS AND FRAMES
		P-3	---	PAINT	SHERWIN WILLIAMS	BLACK MAGIC SW6991	
		P-4	---	PAINT	SHERWIN WILLIAMS	BYTE BLUE SW6489	
		T-1	---	WALL TILE	MOSA; CLASSIC TIDE	SERENE WHITE 0601	PROVIDE A RANDOMLY INSTALLED MIX OF APPROX 60% T-1 AND 40% T-2 IN A BRICK PATTERN AT EACH LOCATION
		T-2	---	WALL TILE	MOSA; CLASSIC TIDE	FOG GREY 0605	
		T-3	---	WALL TILE	MOSA; CORE COLLECTION TERRA	COOL BLACK 230 V 060120	24" x 48" TILE
	CEILING	ACP-1	---	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS; FISSURED	WHITE	
		ACP-2	---	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS; CLEAN ROOM VL UNPERFORATED	WHITE	
		ACP-3	---	ACOUSTICAL CEILING TILE	ARMSTRONG CEILINGS; OPTIMA	WHITE	
	MISC	PL-1	---	PLASTIC LAMINATE	FORMICA	PENCIL WOOD 7747-58	
		SSF-1	---	SOLID SURFACE	BRADLEY CORP; TERREON SOLID SURFACE	AVALANCHE	FOR PLUMBING FIXTURES P-4 AND P-5, REFER TO PLUMBING SCHEDULE ON SHEET M0.01
		TP-1	---	TOILET PARTITIONS	HINEY HIDERS	MOCHA	



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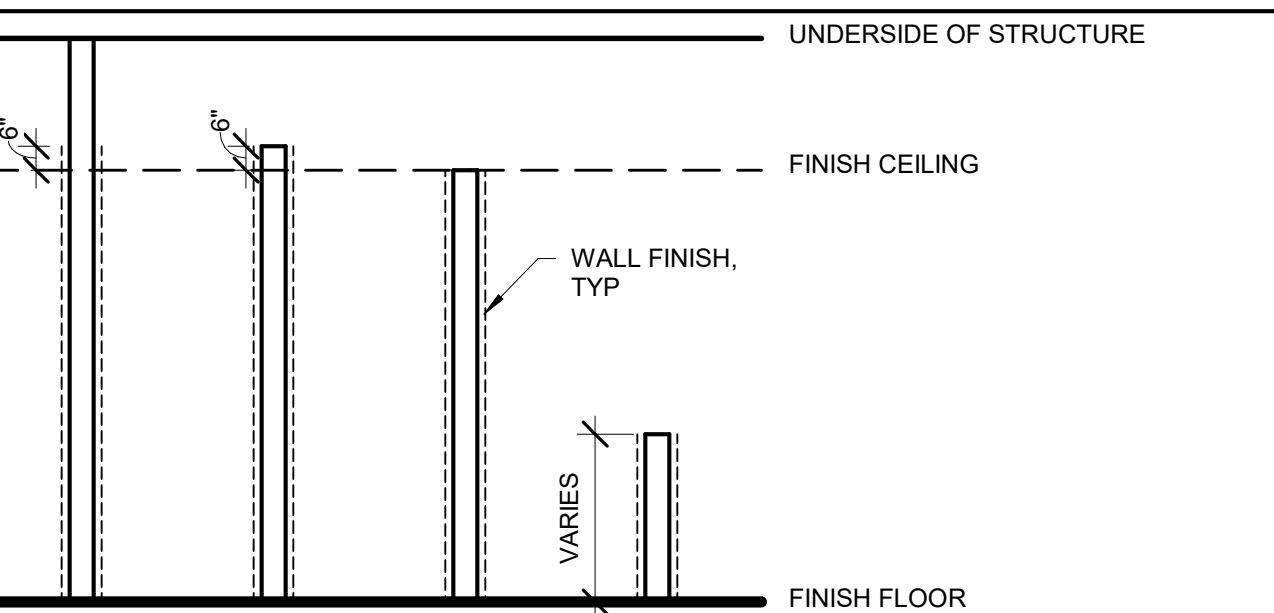
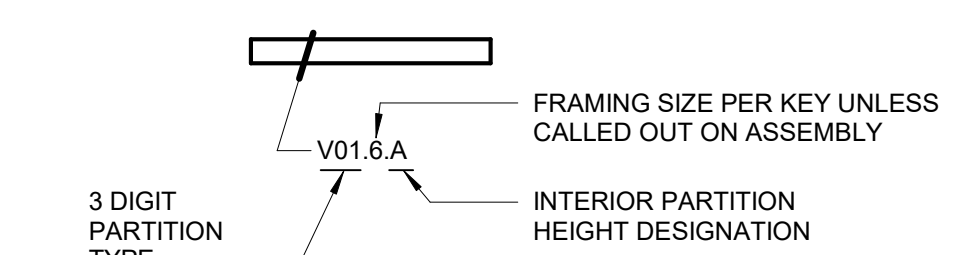
VALDEZ, ALASKA

BDS Project No.: 621006.00
Client Project No.:

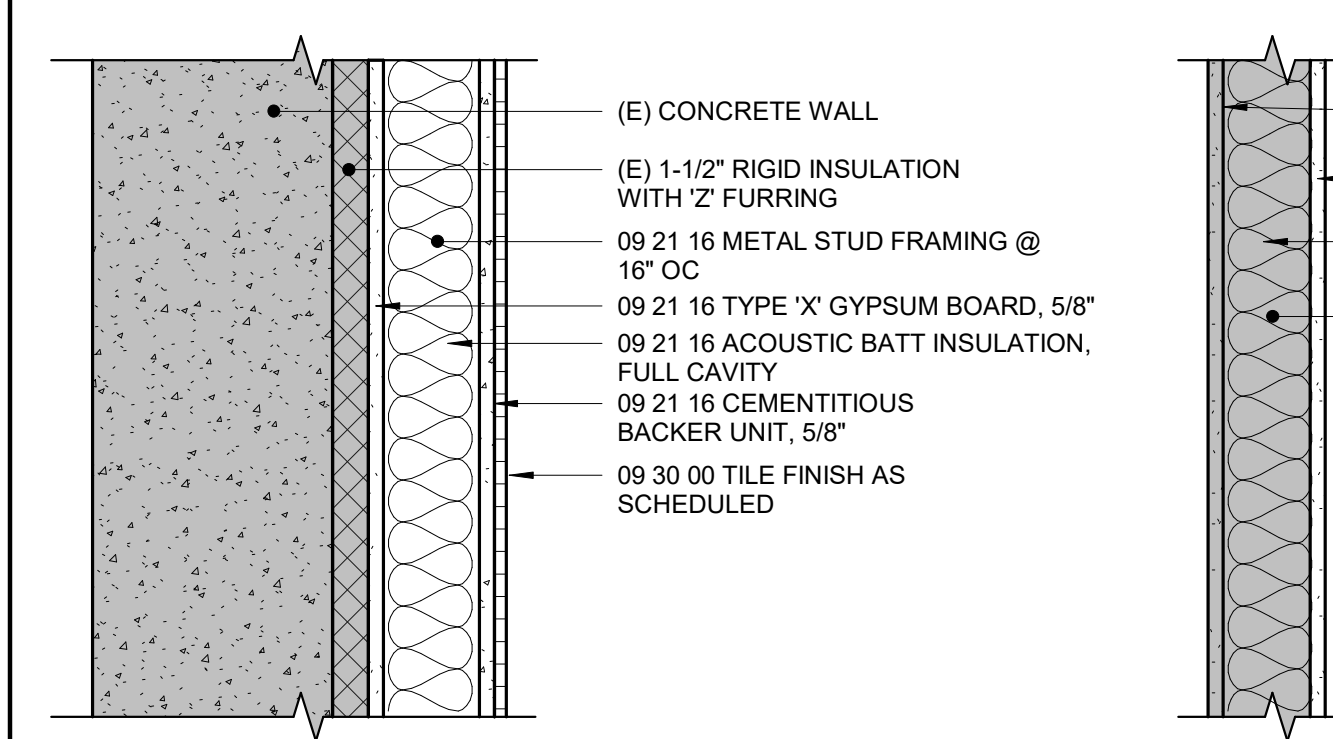
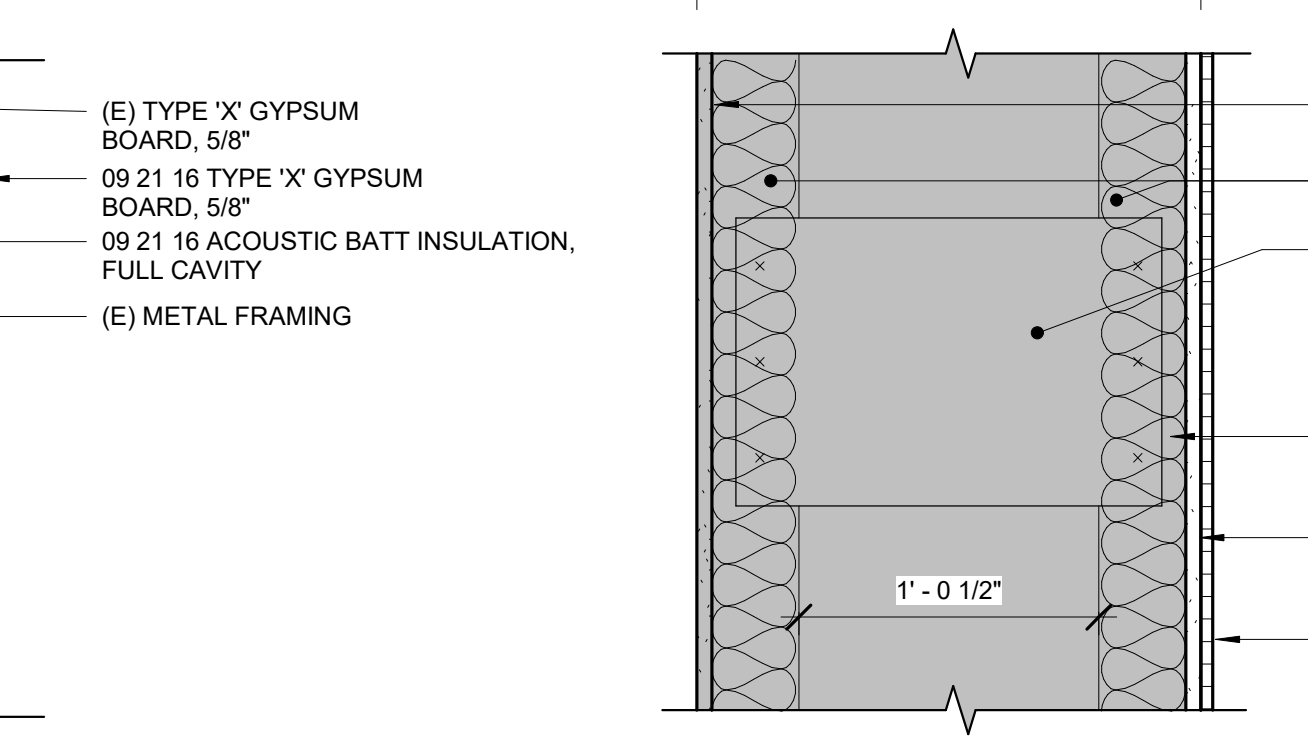
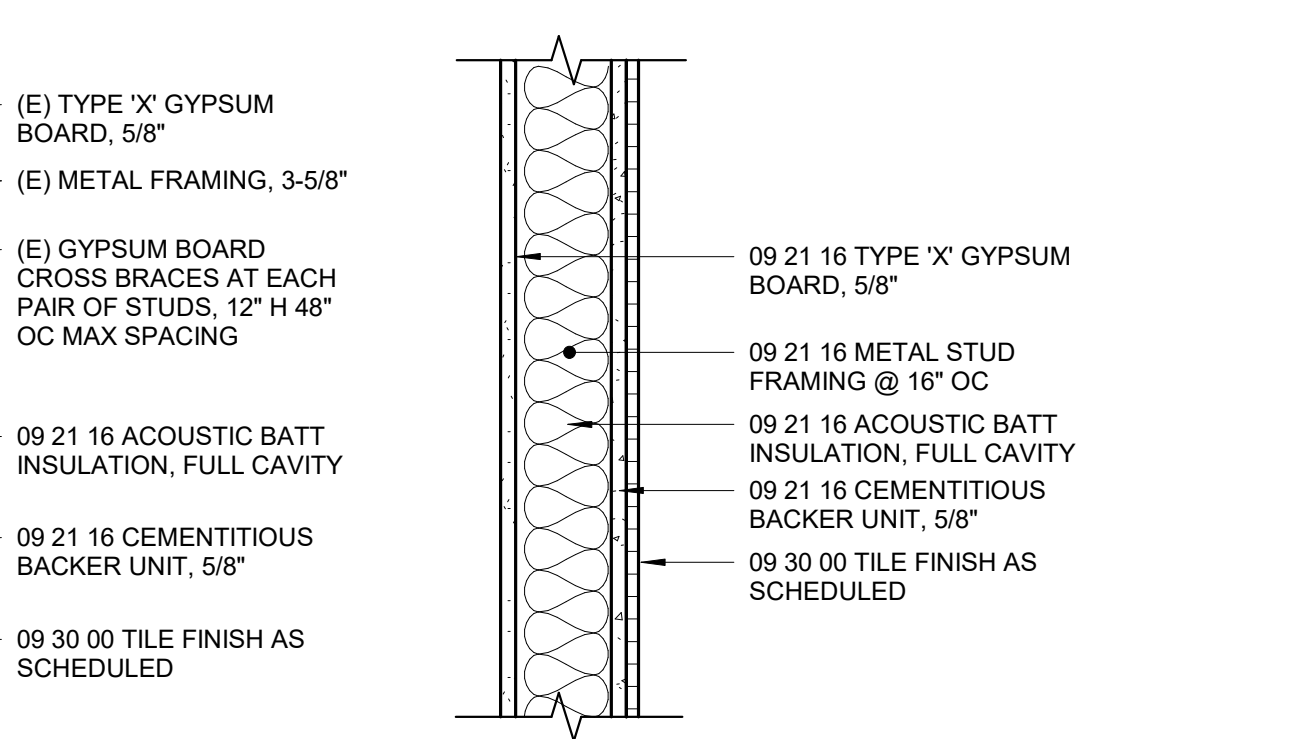
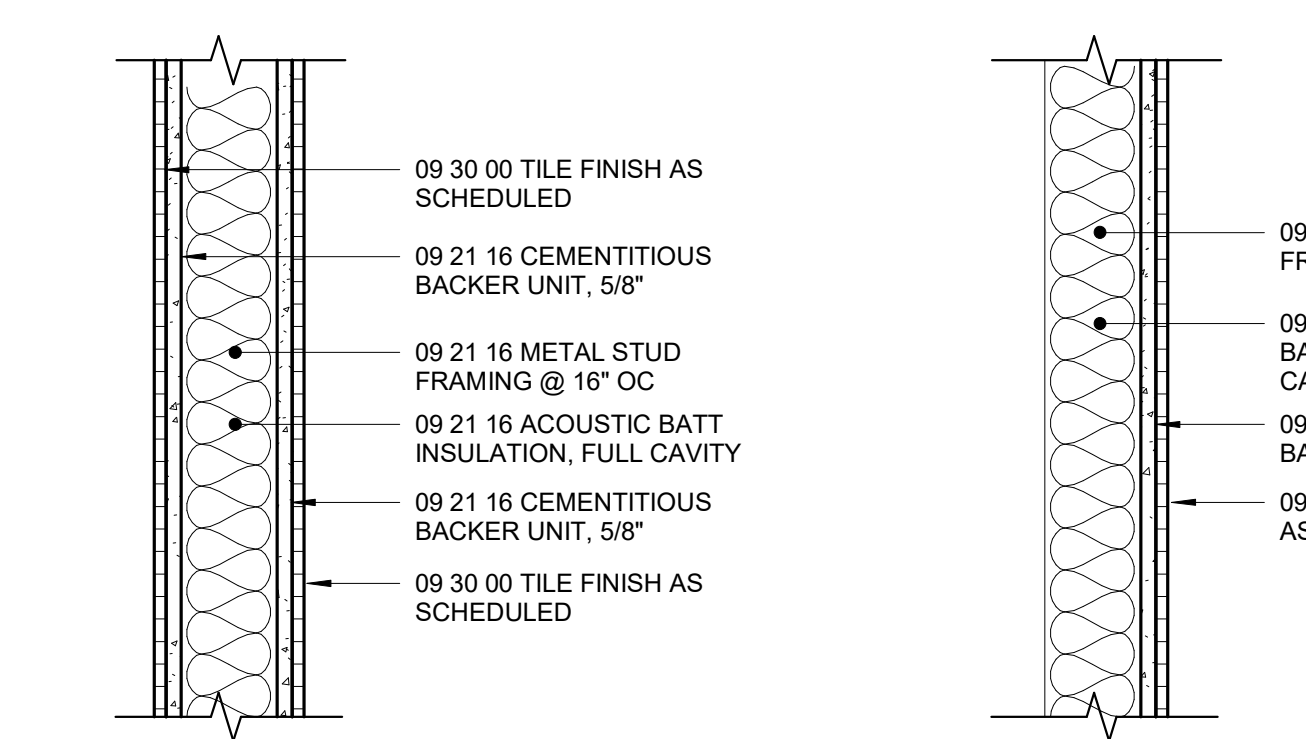
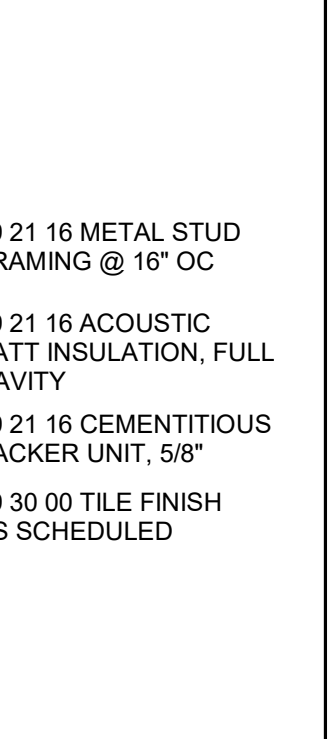
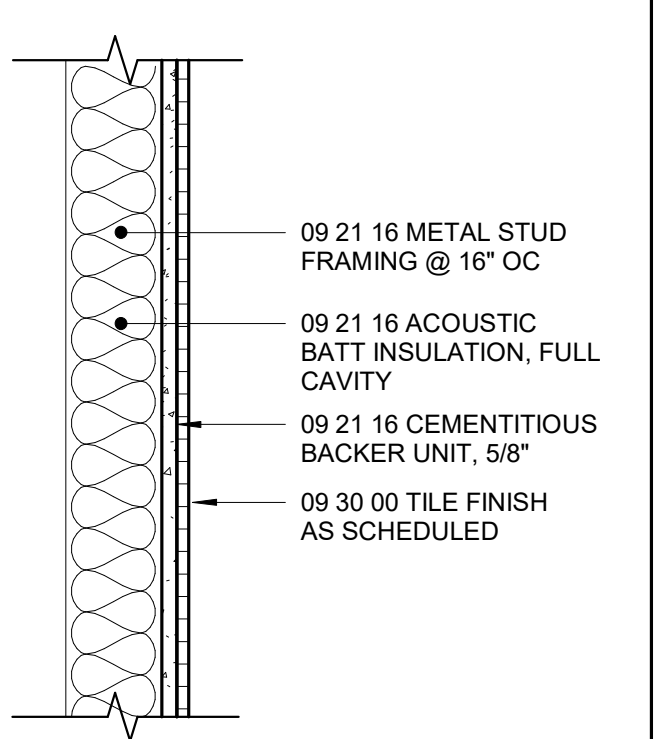
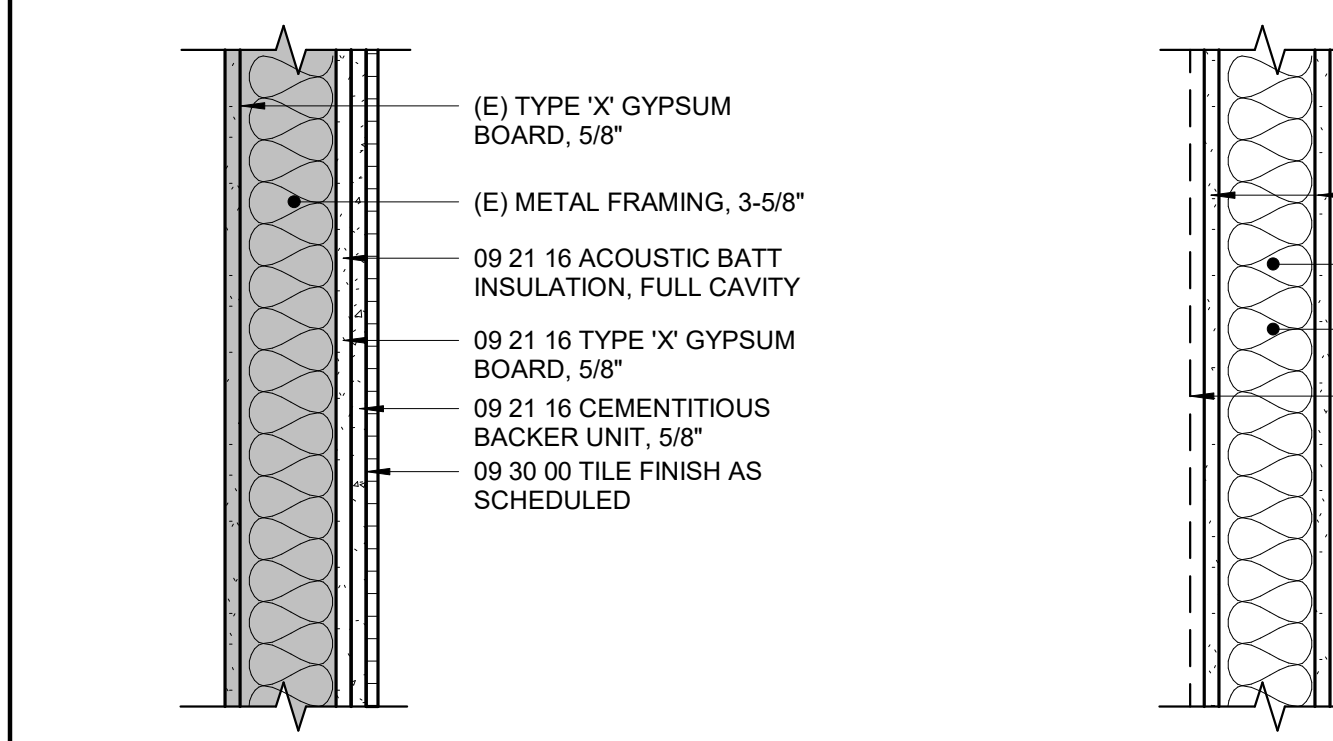
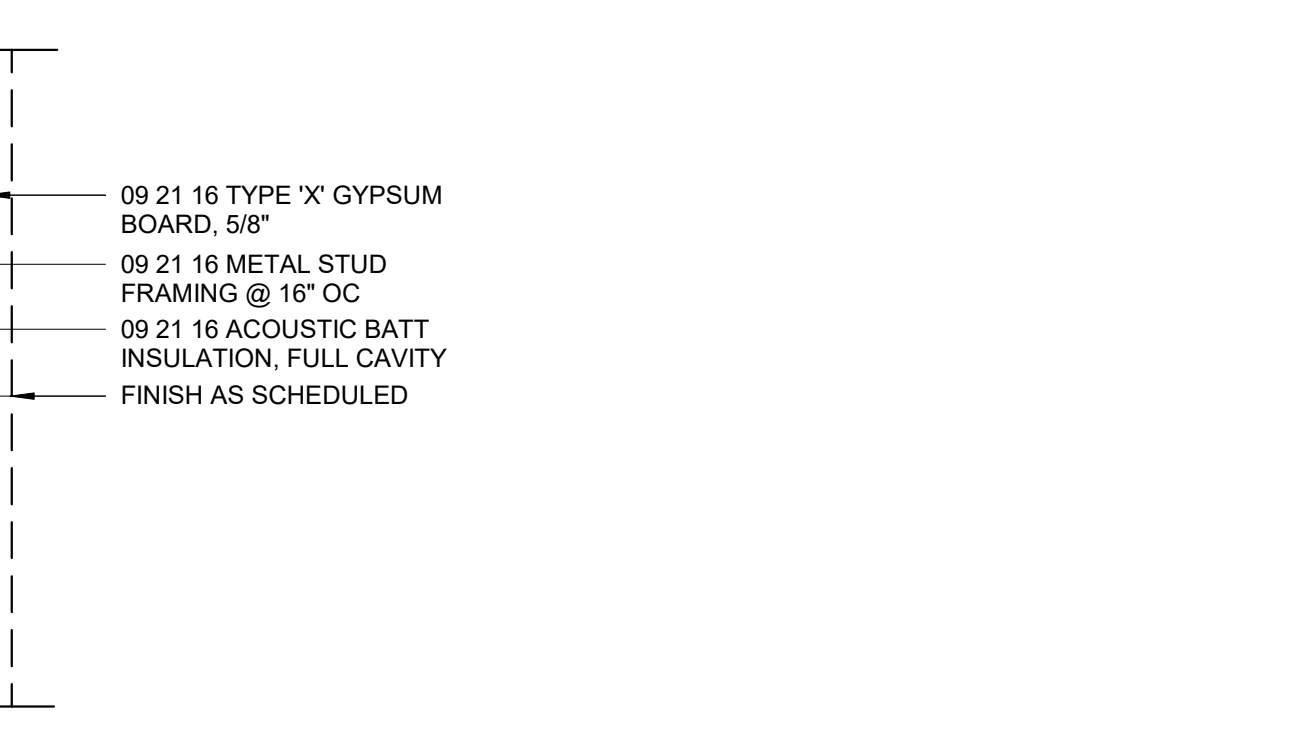
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AUGUST 25, 2021

SCHEDULES AND ADA CLEARANCES A0.02

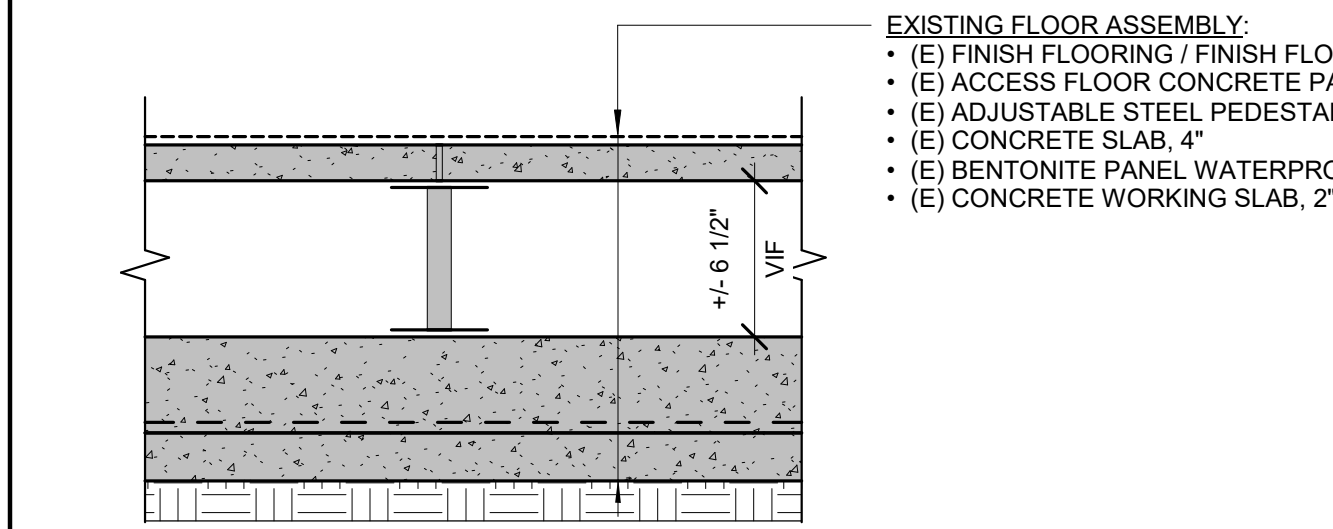
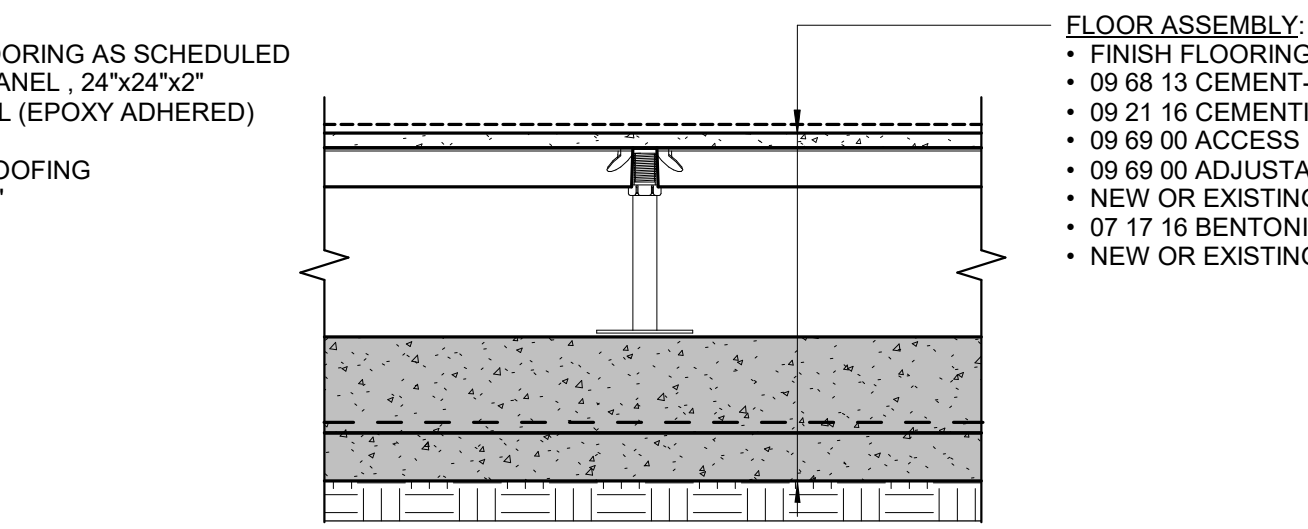
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HEIGHT DESIGNATION	PARTITION TYPE SYMBOL	FRAMING SIZE KEY	NOTES
<div><p>NOTE: 1. ALL SUBSTRATE TO BE FULL HEIGHT OF WALL 2. PROVIDE STUD BRACING BACK TO STRUCTURE AT WALL HEIGHTS B & C AT 48" OC, UON</p></div>	<div><p>1. THE PARTITION TYPE DESIGNATION IS A 3 PIECE CODE THAT INCLUDES THE PARTITION TYPE, STUD SIZE, AND INTERIOR PARTITION HEIGHT DESIGNATION.</p></div>	<div><div>METAL STUDS</div><div>WOOD STUDS</div><div>CMU DEPTH</div><div><div>1 = 1 5/8"</div><div>2 = 2 1/2"</div><div>3 = 3 5/8"</div><div>4 = 4"</div><div>6 = 6"</div><div>8 = 8"</div><div>10 = 10"</div><div>12 = 12"</div></div><div><div>2 = 2" NOMINAL</div><div>4 = 4" NOMINAL</div><div>6 = 6" NOMINAL</div><div>8 = 8" NOMINAL</div><div>10 = 10" NOMINAL</div><div>12 = 12" NOMINAL</div></div><div><div>4 = 4" NOMINAL</div><div>6 = 6" NOMINAL</div><div>8 = 8" NOMINAL</div><div>10 = 10" NOMINAL</div><div>12 = 12" NOMINAL</div></div></div>	<div><div>1. ALL PARTITIONS ARE FULL HEIGHT, UON.</div><div>2. ALL PARTITIONS ARE ASSEMBLY TYPE V054.A, UON</div><div>3. PARTITIONS AND FURRING ARE DIMENSIONED TO THE FACE OF THE STUD, UON</div><div>4. CONTRACTOR TO LABEL ALL NEW RATED CONSTRUCTION IN ACCORDANCE WITH IBC 2012 SECTION 703.7.</div><div>5. STUD FRAMING IN BASEMENT LEVEL IS ATTACHED ON TOP OF ACCESS FLOORING AND ATTACHED AS RECOMMENDED PER ACCESS FLOORING MANUFACTURER.</div></div>

VERTICAL ASSEMBLIES

 <p>V01</p>	 <p>V02</p>	 <p>V03</p>	 <p>V04</p>	 <p>V05</p>	 <p>V06</p>
 <p>V07</p>	 <p>V08</p>				

HORIZONTAL ASSEMBLIES

 <p>E01</p>	 <p>H01</p>				
--	---	--	--	--	--

REVISIONS		
No	Description	Date



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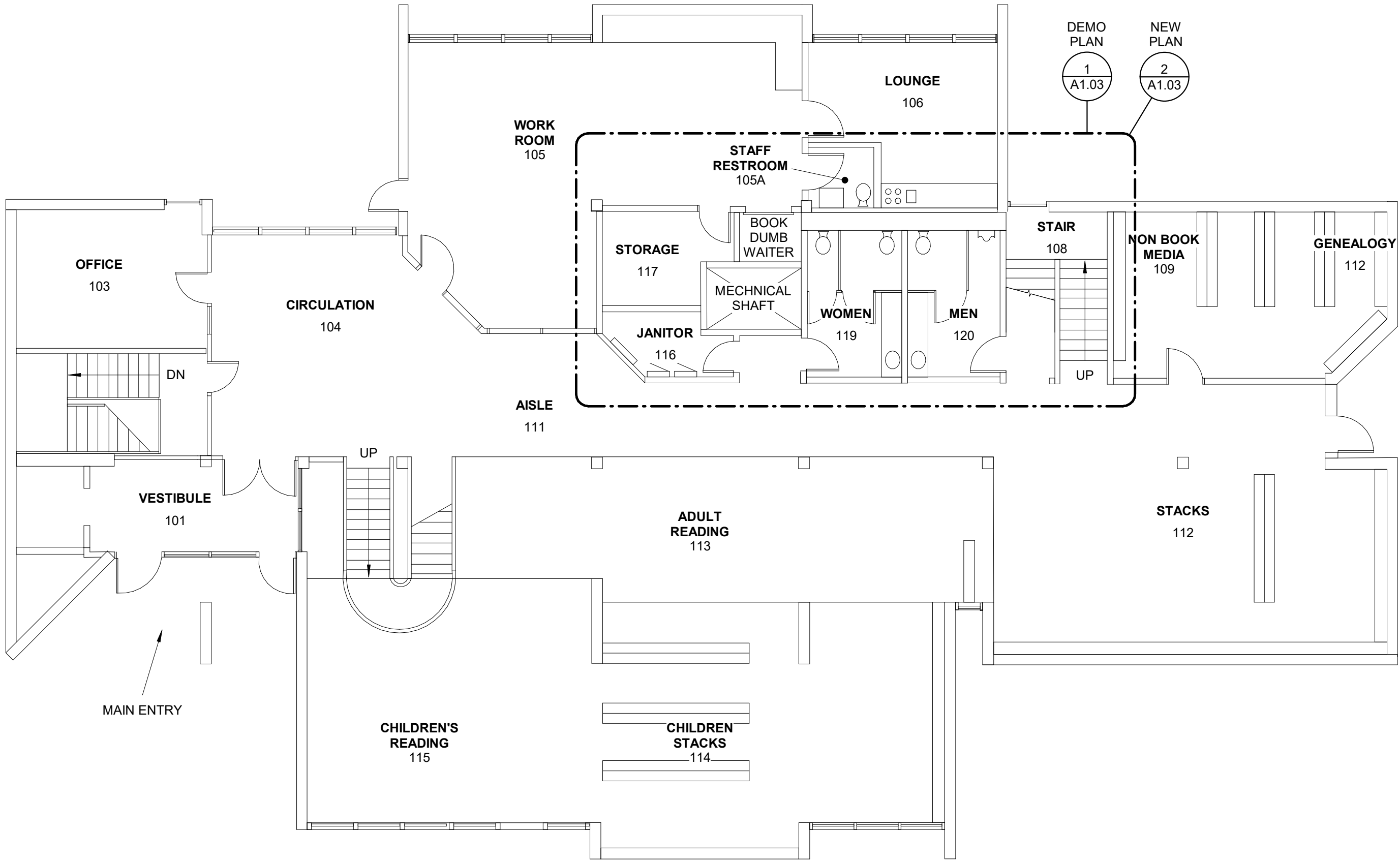


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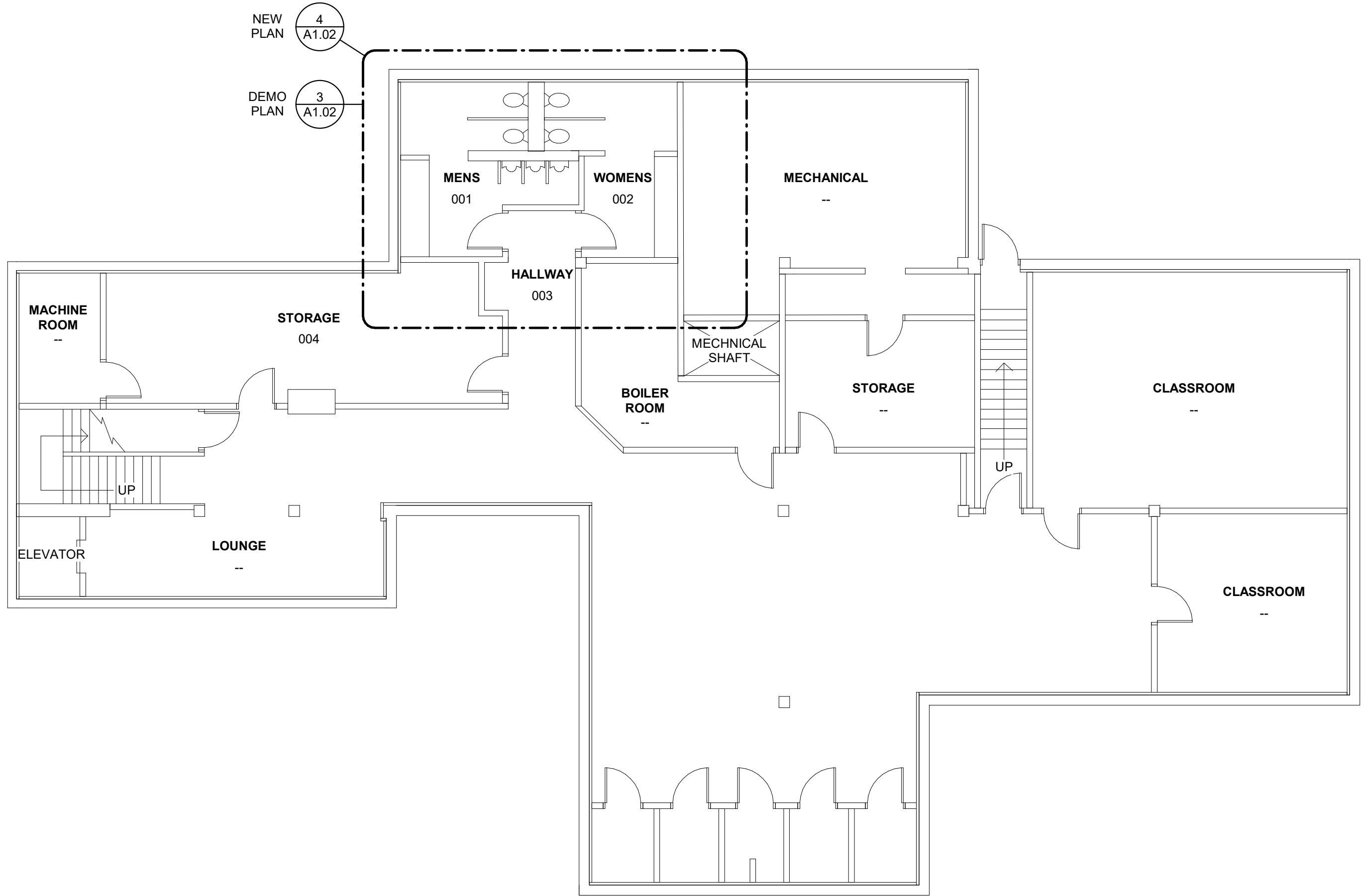
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BDS Project No.: 621006.00
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BID DOCUMENTS
AUGUST 25, 2021

ASSEMBLY
TYPES
A0.03

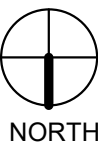
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2 OVERALL PLAN - FIRST FLOOR
A1.01 SCALE: 1/8" = 1'-0"



1 OVERALL PLAN - BASEMENT
A1.01 SCALE: 1/8" = 1'-0"



MASTER KEYNOTE LIST

- | NO | KEYNOTE |
|-----|--|
| 1 | DEMOLISH DOOR INCLUDING ASSOCIATED FRAME AND ANCHORS. SALVAGE ASSOCIATED DOOR HARDWARE AND RETURN TO OWNER. |
| 2 | DEMOLISH CARPET TILE AND RUBBER BASE INCLUDING ALL ADHESIVES DOWN TO SUBSTRATE IN HATCHED AREA. PATCH AND REPAIR SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 3 | DEMOLISH CERAMIC TILE AND RUBBER TRANSITION STRIPS INCLUDING ALL GROUT BEDS AND ADHESIVES DOWN TO SUBSTRATE THIS ROOM. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 4 | DEMOLISH SHEET VINYL FLOORING AND RUBBER / INTERGAL COVE BASE INCLUDING ADHESIVES DOWN TO SUBSTRATE. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 5 | EXISTING FIRE EXTINGUISHER CABINET TO REMAIN. |
| 6 | DEMOLISH MECHANICAL ITEM. SEE M SERIES DRAWINGS. |
| 7 | DEMOLISH ELECTRICAL ITEM. SEE E SERIES DRAWINGS. |
| 8 | DEMOLISH CASEWORK IN ENTIRETY. |
| 9 | SALVAGE ALL EXISTING WALL MOUNTED BATHROOM ACCESSORIES IN THIS ROOM INCLUDING BUT NOT LIMITED TO PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS, AND SANITARY NAPKIN RECEPACLES AND RETURN TO OWNER. |
| 10 | DEMOLISH PORTION OF WALL IN PREPERATION OF NEW OPENING. CONTRACTOR TO COORDINATE ROUGH OPENING SIZES WITH FINISH OPENING SIZES. REFER TO A0.02. |
| 11 | DEMOLISH WALL MOUNTED SIGNAGE |
| 12 | DEMOLISH SUSPENDED ACOUSTICAL CEILING TILE AND GRID INCLUDING ALL ABOVE CEILING HANGERS AND RESTRAINTS AS INDICATED. |
| 13 | DEMOLISH SUSPENDED GWB CEILING INCLUDING ALL SUPPORT FRAMING, HANGERS, AND RESTRAINTS. |
| 14 | EXISTING DRINKING FOUNTAIN TO REMAIN. PROTECTED DURING CONSTRUCTION. |
| 15 | EXISTING ELECTRICAL PANEL TO REMAIN. PROTECT DURING CONSTRUCTION. |
| 16 | DEMOLISH EXISTING FLOOR DRAIN IN ACCESS FLOORING AND ASSOCIATED PIPING TO TOP OF FINISH SLAB. PREPARE FLOOR DRAIN IN FINISH SLAB TO CONNECT THROUGH NEW ACCESS FLOORING. SEE MECHANICAL FOR MORE INFORMATION. |
| 17 | EXISTING CLEAN OUT FOR CITY OF VALDEZ DESIGNATED 4" SEWER LINE FOR POTENTIAL WATER MITIGATION , SEE MECHANICAL FOR MORE INFORMATION |
| 18 | DEMOLISH PORTION OF WALL FOR NEW WALL CONFIGURATION . CONTRACTOR TO VERIFY IN FIELD AND COORDINATE EXTENT WITH NEW WORK PLAN. |
| 19 | DEMOLISH TOILET PARTITIONS COMPLETELY INCLUDING ASSOCIATED DOORS, HINGES, ACCESSORIES, MOUNTES, ETC |
| 20 | DEMOLISH 4x4 CERAMIC TILE AND 5/8" GYPSUM BOARD SUBSTRATE THIS SIDE DOWN TO FRAMING |
| 21 | HATCHED AREA IS APPROXIMATE EXTENT OF SLAB DEMOLITION UNDER RAISED ACCESS FLOOR REQUIRED FOR PLUMBING WORK (UP TO 170 SF). SEE DETAIL 1/A3.01. REFER TO MECHANICAL AND STRUCTURAL. |
| 22 | DEMOLISH WALL AS NECESSARY FOR NEW ACCESS DOOR. REFERENCE NEW WORK PLAN FOR LOCATION AND SIZE. |
| 23 | ABATE ACM FLOORING AND MASTICS PER ALL APPLICABLE LAWS. SEE H SERIES DRAWINGS. |
| 24 | DEMOLISH DOOR AND HARDWARE; FRAME TO REMAIN |
| 25 | SALVAGE EXISTING 36" WALL SHELVING AND RETURN TO OWNER. PATCH AND REPAIR WALL IN PREPARATION FOR NEW PAINT. |
| 27 | DEMOLISH RAISED ACCESS FLOOR SYSTEM INCLUDING 24"x24"x2" CONCRETE PAVERS, EXPOXY ADHERED STEEL PEDESTALS, AND ALL ASSOCIATED APURTENANCES DOWN TO EXISTING CONCRETE SLAB AS INDICATED. |
| 28 | DEMOLISH ACCESS FLOOR SYSTEM TO NEAREST WHOLE ACCESS FLOOR PANEL JOINT. APPROXIMATELY AT FACE OF THIS EXISTING WALL. ALTER EXISTING PEDESTAL SYSTEM AT DEMOLITION LINE AS REQUIRED IN PREPARATION OF NEW ACCESS FLOOR SYSTEM INSTALLATION. |
| 29 | CITY OF VALDEZ DESIGNATED 4" SEWER LINE FOR POTENTIAL WATER MITIGATION ABOVE. |
| 30 | EXISTING RAISED ACCESS FLOOR SYSTEM TO REMAIN. |
| 31 | DEMOLISH 5/8" PLAM FACED PANELS AND 5/8" GYPSUM BOARD DOWN TO FACE OF FRAMING |
| 32 | DEMOLISH 5/8" GYPSUM BOARD SUBSTRATE THIS SIDE DOWN TO FRAMING |
| 34 | SALVAGE EXISTING ACCESS FLOOR VENT, STORE, AND REINSTALL AFTER COMPLETION OF WORK. |
| 35 | DEMOLISH GYPSUM BOARD DOWN TO FRAMING. |
| 101 | ADA TOILET/URINAL; SEE SHEET A0.02 FOR MOUNTING HEIGHTS |
| 102 | TOILET; SEE SHEET A0.01 FOR MOUNTING HEIGHTS |
| 103 | TOILET PARTITION TP-1 |
| 104 | 08 83 00 TEMPERED CLEAR GLASS MIRROR |
| 105 | 10 28 00 MIRROR (M-1) |
| 106 | 10 28 00 SOAP DISPENSER (SD-1) |
| 107 | 10 28 00 PAPER TOWEL DISPENSER (PTD-1) |
| 108 | 10 28 00 TOILET PAPER DISPENSER (TPD-1) |
| 109 | 10 28 00 COAT HOOK (CH-1) |
| 110 | 10 28 00 BABY CHANGING STATION (BCS-1) |
| 111 | 10 28 00 GRAB BARS (GB-1, 2, 3) |
| 112 | 10 28 00 SANITARY NAPKIN RECEPACLE (SND-1) |
| 113 | 08 31 00 18" X 18" ACCESS PANEL |
| 114 | 09 68 13 WALL BASE AS SCHEDULED |
| 115 | CONCRETE SLAB REPAIR (UP TO 170 SF). SEE DETAIL 2/A3.01 FOR WATERPROOFING AND STRUCTURAL DRAWINGS |
| 116 | 10 28 00 SEAT COVER DISPENSER (SCD-1) |
| 117 | 10 28 00 SHARPS DISPOSAL CONTAINER (SDC-1) |
| 118 | 10 28 00 WASTE RECEPICLE (WR-1) |
| 120 | 09 90 00 PAINT (P-2) AT EXTERIOR OF EXISTING ELECTRICAL PANEL |
| 121 | SINK PER MECHANICAL |
| 122 | FIELD VERIFY STUD SIZE TO MATCH EXISTING JOINING WALL. |
| 123 | EXTEND CLEAN OUT AS REQUIRED AND PROVIDE NEW STAINLESS STEEL COVER |
| 124 | 06 41 00 CASEWORK; SEE DETAIL 6/A3.01 |
| 125 | WALL TILE TW-1 AND TW-2; SEE COLOR AND MATERIAL LEGEND FOR MIX PERCENTAGES |
| 126 | WALL TILE TW-3 |
| 127 | INSTALL 09 68 13 CARPET (CPT-1) AND 09 68 13 WALL BASE (RB-1) IN HATCHED AREA |
| 128 | 09 69 00 24" x 24" x 1-5/8" ACCESS FLOORING |
| 129 | 10 14 20 INTERIOR SIGNAGE TYPE "A", CORRIDOR WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORAMTION |
| 130 | 10 14 20 INTERIOR SIGNAGE TYPE "B", MOUNTED ON DOOR; SEE SHEET 2.02 FOR MORE INFORAMTION |
| 131 | 10 14 20 INTERIOR SIGNAGE TYPE "C", MOUNTED ON DOOR; SEE SHEET 2.02 FOR MORE INFORAMTION |
| 132 | 10 14 20 INTERIOR SIGNAGE TYPE "D", WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORAMTION |
| 133 | SEE DETAIL 9/A3.01 FOR TYPICAL SLAB WATERPROOFING DETAIL AT ALL SLAB PENETRATIONS. COORDINATE ALL ACCESS FLOOR PENETRATIONS WITH MANUFACTURER TO PROVIDE FACTORY CUT PENETRATIONS. |

REVISIONS

No	Description	Date
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BDS, Inc. Entity #25796D



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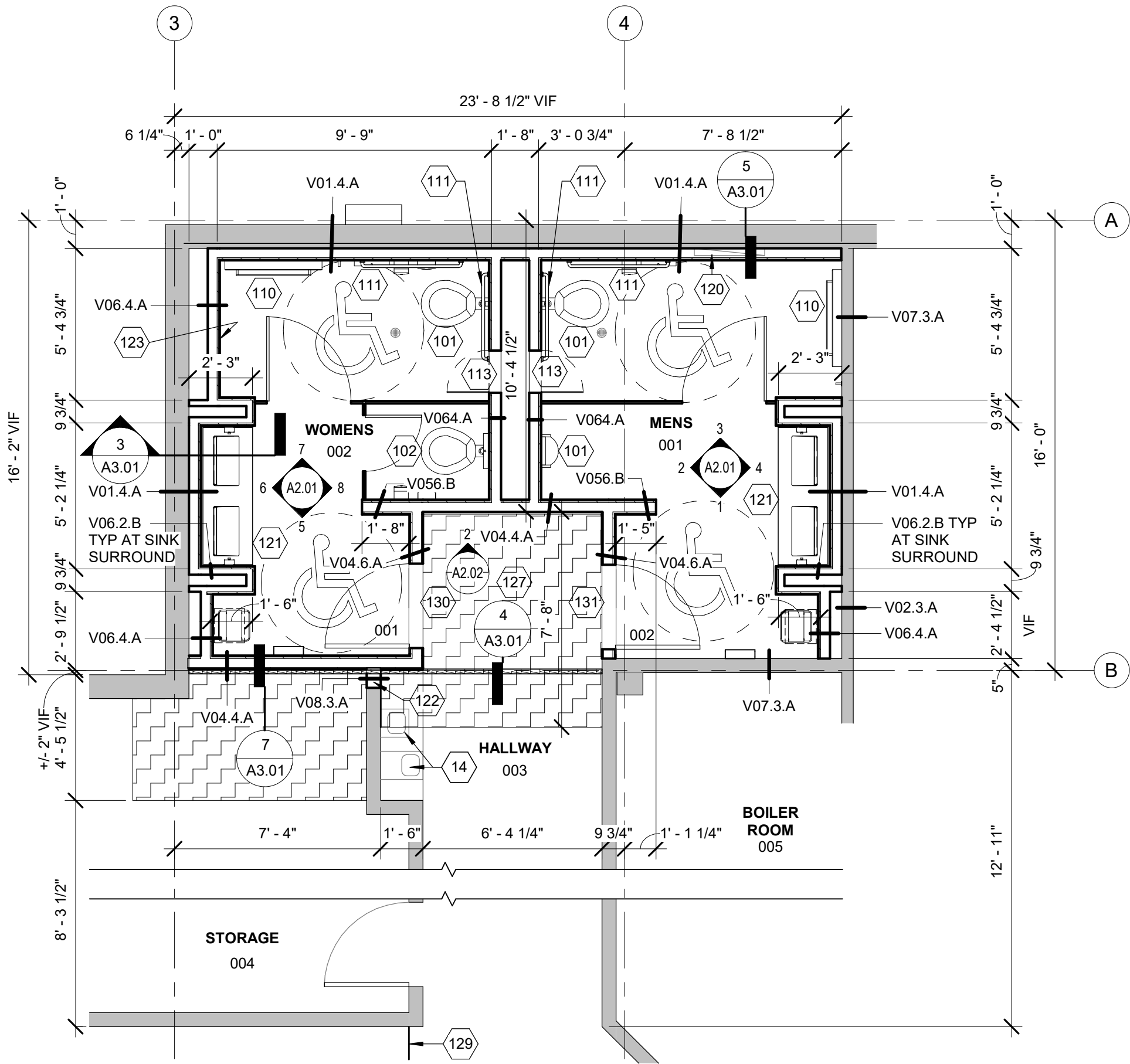
COV LIBRARY RESTROOM RENOVATIONS

VALDEZ, ALASKA
BDS Project No.: 621006.00
Client Project No.:

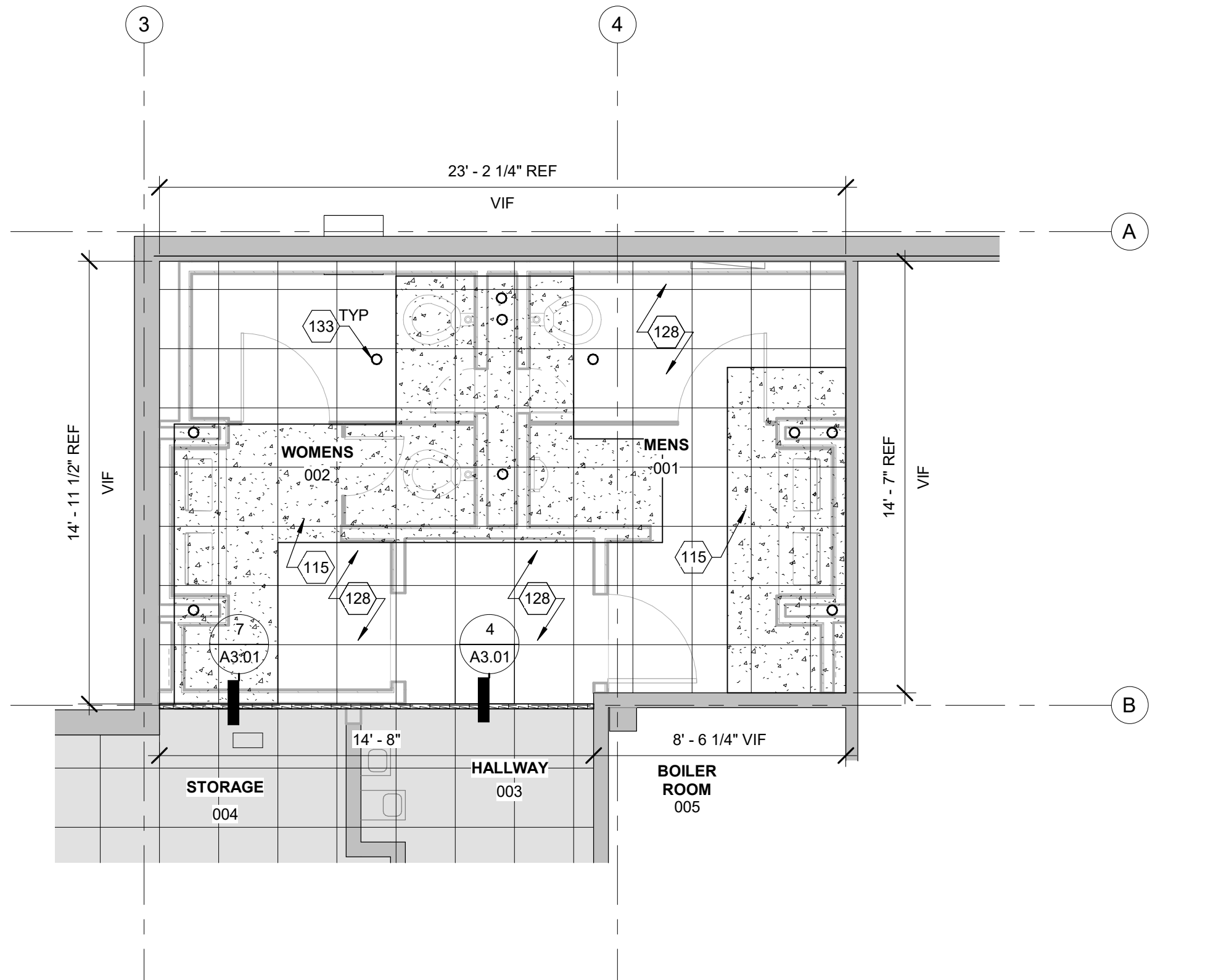
BID DOCUMENTS
AUGUST 25, 2021

OVERALL FLOOR PLANS A1.01

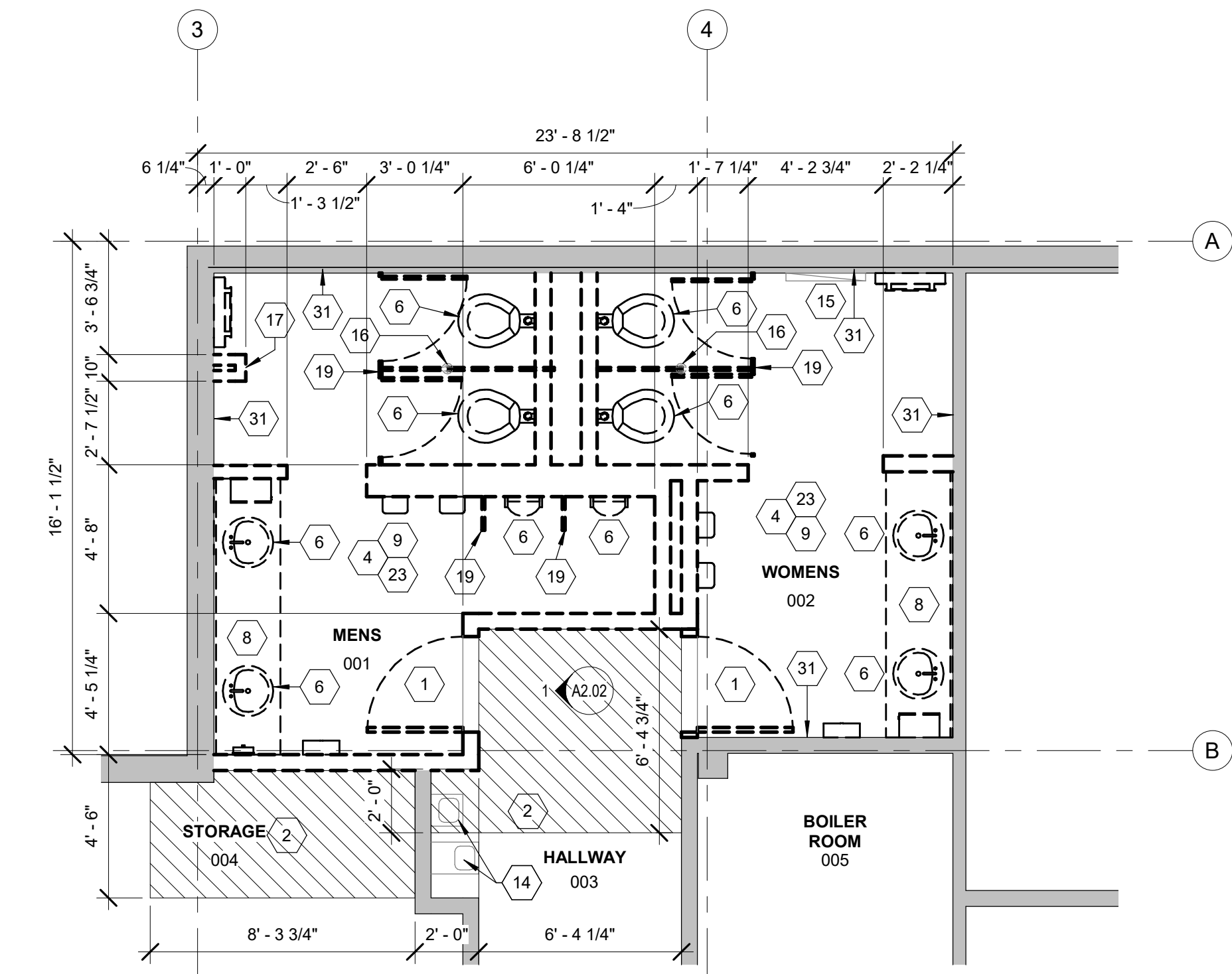
NOTIFICATION OF POTENTIAL HAZARDS: Asbestos, lead, and other hazardous materials are present in the building and may impact the work of all trades. Regulated air contaminants, including asbestos and lead, are also present in settled and concealed dust in and on Architectural, Structural, Mechanical, and Electrical components or systems throughout the building. All trades shall coordinate with other trades and conduct their work to prevent worker exposure or site contamination. Refer to Specification Divisions 0, 1, and 2 for specific information concerning disturbing, removing, and disposing of these materials and the installation of new materials or components. This notification is provided in accordance with EPA and OSHA requirements.



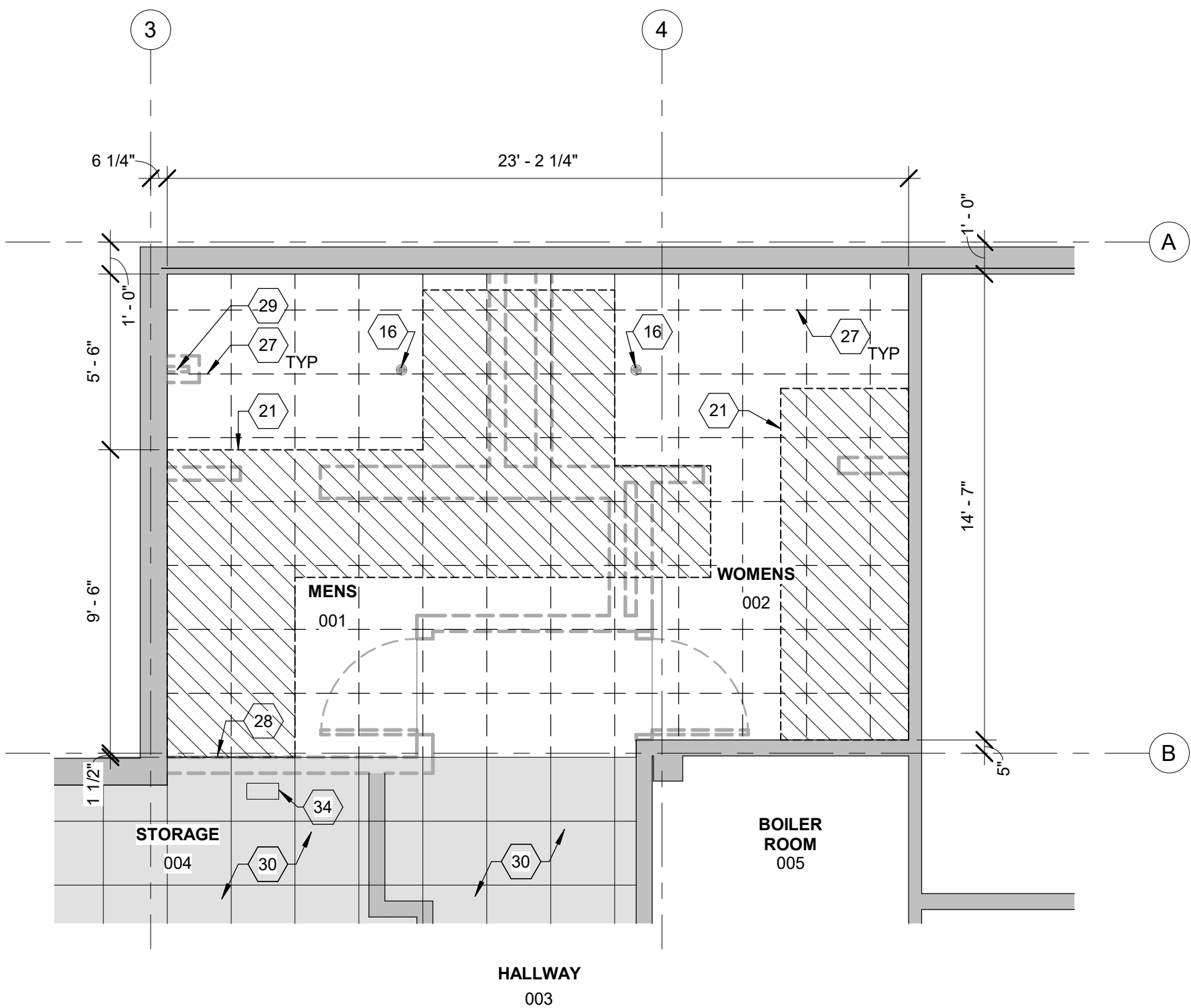
4 ENLARGED PLAN - BASEMENT
A1.02 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - BASEMENT - RAISED FLOOR
A1.02 SCALE: 1/4" = 1'-0"



3 ENLARGED PLAN - BASEMENT - DEMO
A1.02 SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - BASEMENT - RAISED FLOOR DEMO
A1.02 SCALE: 1/4" = 1'-0"



PLAN LEGEND

- EXISTING DOOR
- NEW DOOR
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION

DEMO PLAN LEGEND

- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING WALL CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL CONSTRUCTION TO REMAIN
- EXTENT OF FLOOR TO BE DEMOLISHED

NOTES

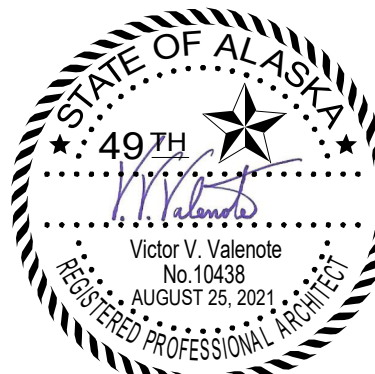
- REFER TO SHEET A0.03 FOR WALL ASSEMBLY TYPES.
- REFER TO SHEET A0.02 FOR ROOM FINISH, DOOR AND COLOR AND MATERIAL SCHEDULES.
- PROVIDE CODE MINIMUM LENGTHS OF 18", 36", AND 42" GRAB BARS AT ALL ADA ACCESSIBLE TOILET STALLS.
- SEE 10 28 00 FOR SCHEDULE OF RESTROOM ACCESSORIES.

KEYNOTES

- | NUMBER | KEYNOTE |
|--------|--|
| 1 | DEMOLISH DOOR INCLUDING ASSOCIATED FRAME AND ANCHORS. SALVAGE ASSOCIATED DOOR HARDWARE AND RETURN TO OWNER. |
| 2 | DEMOLISH CARPET TILE AND RUBBER BASE INCLUDING ALL ADHESIVES DOWN TO SUBSTRATE IN HATCHED AREA. PATCH AND REPAIR SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 4 | DEMOLISH SHEET VINYL FLOORING AND RUBBER / INTERGAL COVE BASE INCLUDING ADHESIVES DOWN TO SUBSTRATE. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 6 | DEMOLISH MECHANICAL ITEM. SEE M SERIES DRAWINGS. |
| 8 | DEMOLISH CASEWORK IN ENTIRETY. |
| 9 | SALVAGE ALL EXISTING WALL MOUNTED BATHROOM ACCESSORIES IN THIS ROOM INCLUDING BUT NOT LIMITED TO PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS, AND SANITARY NAPKIN RECEPTACLES AND RETURN TO OWNER. |
| 14 | EXISTING DRINKING FOUNTAIN TO REMAIN. PROTECTED DURING CONSTRUCTION. |
| 15 | EXISTING ELECTRICAL PANEL TO REMAIN. PROTECT DURING CONSTRUCTION. |
| 16 | DEMOLISH EXISTING FLOOR DRAIN IN ACCESS FLOORING AND ASSOCIATED PIPING TO TOP OF FINISH SLAB. PREPARE FLOOR DRAIN IN FINISH SLAB TO CONNECT THROUGH NEW ACCESS FLOORING. SEE MECHANICAL FOR MORE INFORMATION. |
| 17 | EXISTING CLEAN OUT FOR CITY OF VALDEZ DESIGNATED 4" SEWER LINE FOR POTENTIAL WATER MITIGATION. SEE MECHANICAL FOR MORE INFORMATION. |
| 19 | DEMOLISH TOILET PARTITIONS COMPLETELY INCLUDING ASSOCIATED DOORS, HINGES, ACCESSORIES, MOUNTS, ETC. |
| 21 | HATCHED AREA IS APPROXIMATE EXTENT OF SLAB DEMOLITION UNDER RAISED ACCESS FLOOR REQUIRED FOR PLUMBING WORK (UP TO 170 SF). SEE DETAIL 1/A3.01. REFER TO MECHANICAL AND STRUCTURAL. |
| 23 | STATE ACM FLOORING AND MASTICS PER ALL APPLICABLE LAWS. SEE H SERIES DRAWINGS. |
| 27 | DEMOLISH RAISED ACCESS FLOOR SYSTEM INCLUDING 24"x24"x2" CONCRETE PAVERS, EPOXY ADHERED STEEL PEDESTALS, AND ALL ASSOCIATED APURTENANCES DOWN TO EXISTING CONCRETE SLAB AS INDICATED. |
| 28 | DEMOLISH ACCESS FLOOR SYSTEM TO NEAREST WHOLE ACCESS FLOOR PANEL JOINT. APPROXIMATELY AT FACE OF THIS EXISTING WALL. ALTER EXISTING PEDESTAL SYSTEM AT DEMOLITION LINE AS REQUIRED IN PREPARATION OF NEW ACCESS FLOOR SYSTEM INSTALLATION. |
| 29 | CITY OF VALDEZ DESIGNATED 4" SEWER LINE FOR POTENTIAL WATER MITIGATION ABOVE. |
| 30 | EXISTING RAISED ACCESS FLOOR SYSTEM TO REMAIN. |
| 31 | DEMOLISH 5/8" PLAM FACED PANELS AND 5/8" GYPSUM BOARD DOWN TO FACE OF FRAMING. |
| 34 | SALVAGE EXISTING ACCESS FLOOR VENT, STORE, AND REINSTALL AFTER COMPLETION OF WORK. |
| 101 | ADA TOILET/URINAL: SEE SHEET A0.02 FOR MOUNTING HEIGHTS |
| 102 | TOILET: SEE SHEET A0.01 FOR MOUNTING HEIGHTS |
| 110 | 10 28 00 BABY CHANGING STATION (BCS-1) |
| 111 | 10 28 00 GRAB BARS (GB-1, 2, 3) |
| 113 | 08 31 00 18" X 18" ACCESS PANEL |
| 115 | CONCRETE SLAB REPAIR (UP TO 170 SF). SEE DETAIL 2/A3.01 FOR WATERPROOFING AND STRUCTURAL DRAWINGS |
| 120 | 09 90 00 PAINT (P-2) AT EXTERIOR OF EXISTING ELECTRICAL PANEL SINK PER MECHANICAL |
| 122 | FIELD VERIFY STUD SIZE TO MATCH EXISTING JOINING WALL. |
| 123 | EXTEND CLEAN OUT AS REQUIRED AND PROVIDE NEW STAINLESS STEEL COVER |
| 127 | INSTALL 09 68 13 CARPET (CPT-1) AND 09 68 13 WALL BASE (RB-1) IN HATCHED AREA |
| 128 | 09 69 00 24" x 24" x 1-5/8" ACCESS FLOORING |
| 129 | 10 14 20 INTERIOR SIGNAGE TYPE "A", CORRIDOR WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORMATION |
| 130 | 10 14 20 INTERIOR SIGNAGE TYPE "B", MOUNTED ON DOOR; SEE SHEET 2.02 FOR MORE INFORMATION |
| 131 | 10 14 20 INTERIOR SIGNAGE TYPE "C", MOUNTED ON DOOR; SEE SHEET 2.02 FOR MORE INFORMATION |
| 133 | SEE DETAIL 9/A3.01 FOR TYPICAL SLAB WATERPROOFING DETAIL AT ALL SLAB PENETRATIONS. COORDINATE ALL ACCESS FLOOR PENETRATIONS WITH MANUFACTURER TO PROVIDE FACTORY CUT PENETRATIONS. |

REVISIONS

No Description Date



BDS, Inc. Entity #25796D

BDS
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Architecture | Planning | Roof Technology

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COV LIBRARY

RESTROOM

RENOVATIONS

VALDEZ, ALASKA

BDS Project No.: 621006.00

Client Project No.:

BID DOCUMENTS

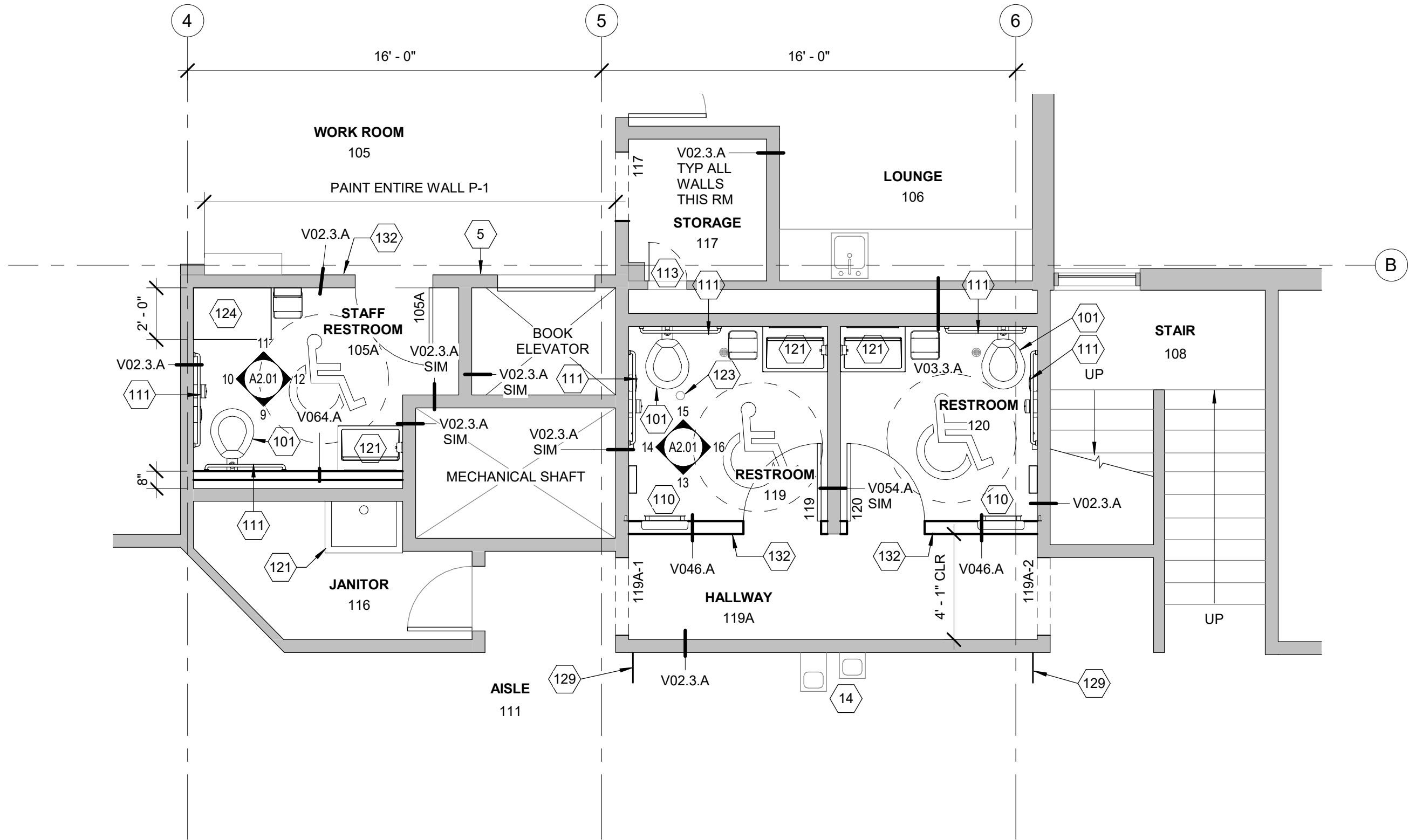
AUGUST 25, 2021

NEW AND DEMO

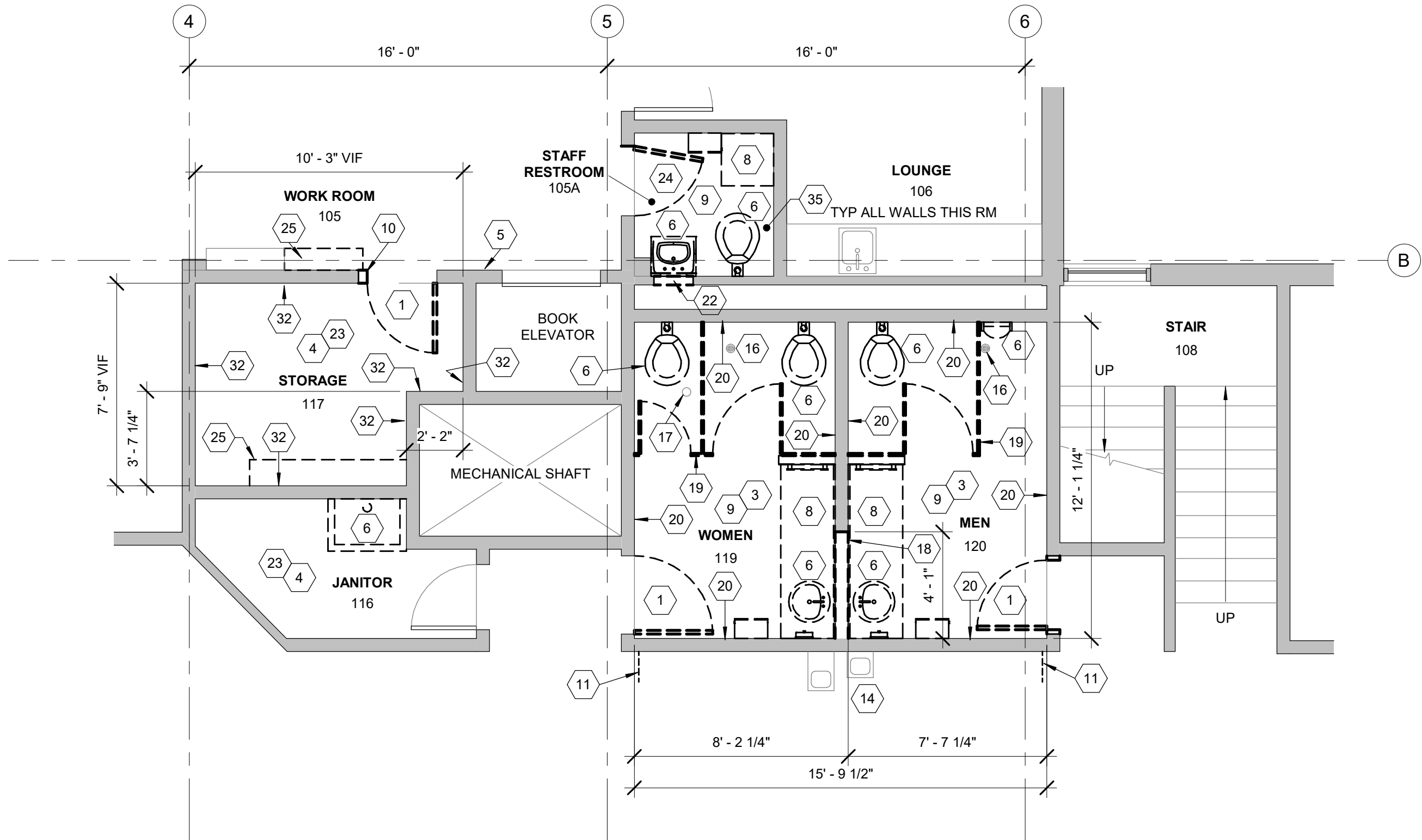
FLOOR PLANS

A1.02

NOTIFICATION OF POTENTIAL HAZARDS: Asbestos, lead, and other hazardous materials are present in the building and may impact the work of all trades. Regulated air contaminants, including asbestos and lead, are also present in settled and concealed dust in and on Architectural, Structural, Mechanical, and Electrical components or systems throughout the building. All trades shall coordinate with other trades and conduct their work to prevent worker exposure or site contamination. Refer to Specification Divisions 0, 1, and 2 for specific information concerning disturbing, removing, and disposing of these materials and the installation of new materials or components. This notification is provided in accordance with EPA and OSHA requirements.



2 ENLARGED PLAN - FIRST FLOOR
A1.03 SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - FIRST FLOOR - DEMO
A1.03 SCALE: 1/4" = 1'-0"

PLAN LEGEND

- EXISTING DOOR
- NEW DOOR
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION

DEMO PLAN LEGEND

- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING WALL CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL CONSTRUCTION TO REMAIN
- EXTENT OF FLOOR TO BE DEMOLISHED

NOTES

- REFER TO SHEET A0.03 FOR WALL ASSEMBLY TYPES.
- REFER TO SHEET A0.02 FOR ROOM FINISH, DOOR AND COLOR AND MATERIAL SCHEDULES.
- PROVIDE CODE MINIMUM LENGTHS OF 18", 36", AND 42" GRAB BARS AT ALL ADA ACCESSIBLE TOILET STALLS.
- SEE 10 28 00 FOR SCHEDULE OF RESTROOM ACCESSORIES.

KEYNOTES

- | NUMBER | KEYNOTE |
|--------|--|
| 1 | DEMOLISH DOOR INCLUDING ASSOCIATED FRAME AND ANCHORS. SALVAGE ASSOCIATED DOOR HARDWARE AND RETURN TO OWNER. |
| 3 | DEMOLISH CERAMIC TILE AND RUBBER TRANSITION STRIPS INCLUDING ALL GROUT BEDS AND ADHESIVES DOWN TO SUBSTRATE THIS ROOM. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 4 | DEMOLISH SHEET VINYL FLOORING AND RUBBER / INTERGAL COVE BASE INCLUDING ADHESIVES DOWN TO SUBSTRATE. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
| 5 | EXISTING FIRE EXTINGUISHER CABINET TO REMAIN. |
| 6 | DEMOLISH MECHANICAL ITEM. SEE M SERIES DRAWINGS. |
| 8 | DEMOLISH CASEWORK IN ENTIRETY. |
| 9 | SALVAGE ALL EXISTING WALL MOUNTED BATHROOM ACCESSORIES IN THIS ROOM INCLUDING BUT NOT LIMITED TO PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS, AND SANITARY NAPKIN RECEPTACLES AND RETURN TO OWNER. |
| 10 | DEMOLISH PORTION OF WALL IN PREPARATION OF NEW OPENING. CONTRACTOR TO COORDINATE ROUGH OPENING SIZES WITH FINISH OPENING SIZES. REFER TO A0.02. |
| 11 | DEMOLISH WALL MOUNTED SIGNAGE |
| 14 | EXISTING DRINKING FOUNTAIN TO REMAIN. PROTECTED DURING CONSTRUCTION. |
| 16 | DEMOLISH EXISTING FLOOR DRAIN IN ACCESS FLOORING AND ASSOCIATED PIPING TO TOP OF FINISH SLAB. PREPARE FLOOR DRAIN IN FINISH SLAB TO CONNECT THROUGH NEW ACCESS FLOORING. SEE MECHANICAL FOR MORE INFORMATION. |
| 17 | EXISTING CLEAN OUT FOR CITY OF VALDEZ DESIGNATED 4" SEWER LINE FOR POTENTIAL WATER MITIGATION . SEE MECHANICAL FOR MORE INFORMATION |
| 18 | DEMOLISH PORTION OF WALL FOR NEW WALL CONFIGURATION. CONTRACTOR TO VERIFY IN FIELD AND COORDINATE EXTENT WITH NEW WORK PLAN. |
| 19 | DEMOLISH TOILET PARTITIONS COMPLETELY INCLUDING ASSOCIATED DOORS, HINGES, ACCESSORIES, MOUNTES, ETC |
| 20 | DEMOLISH 4X4 CERAMIC TILE AND 5/8" GYPSUM BOARD SUBSTRATE THIS SIDE DOWN TO FRAMING |
| 22 | DEMOLISH WALL AS NECESSARY FOR NEW ACCESS DOOR. REFERENCE NEW WORK PLAN FOR LOCATION AND SIZE. |
| 23 | ABATE ACM FLOORING AND MASTICS PER ALL APPLICABLE LAWS. SEE H SERIES DRAWINGS. |
| 24 | DEMOLISH DOOR AND HARDWARE; FRAME TO REMAIN |
| 25 | SALVAGE EXISTING 36" WALL SHELVING AND RETURN TO OWNER. PATCH AND REPAIR WALL IN PREPARATION FOR NEW PAINT. |
| 32 | DEMOLISH 5/8" GYPSUM BOARD SUBSTRATE THIS SIDE DOWN TO FRAMING |
| 35 | DEMOLISH GYPSUM BOARD DOWN TO FRAMING. |
| 101 | ADA TOILET/URINAL; SEE SHEET A0.02 FOR MOUNTING HEIGHTS |
| 110 | 10 28 00 BABY CHANGING STATION (BCS-1) |
| 111 | 10 28 00 GRAB BARS (GB-1, 2, 3) |
| 113 | 08 31 00 18" X 18" ACCESS PANEL |
| 121 | SINK PER MECHANICAL |
| 123 | EXTEND CLEAN OUT AS REQUIRED AND PROVIDE NEW STAINLESS STEEL COVER |
| 124 | 06 41 00 CASEWORK; SEE DETAIL 6/A3.01 |
| 129 | 10 14 20 INTERIOR SIGNAGE TYPE "A", CORRIDOR WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORMATION |
| 132 | 10 14 20 INTERIOR SIGNAGE TYPE "D", WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORMATION |

REVISIONS

No	Description	Date
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DEMO PLAN LEGEND

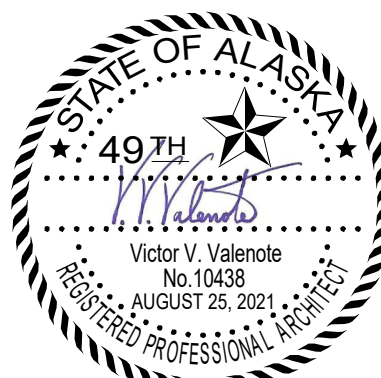
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING WALL CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL CONSTRUCTION TO REMAIN
- EXTENT OF FLOOR TO BE DEMOLISHED

NOTES

- REFER TO SHEET A0.03 FOR WALL ASSEMBLY TYPES.
- REFER TO SHEET A0.02 FOR ROOM FINISH, DOOR AND COLOR AND MATERIAL SCHEDULES.
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KEYNOTES

- | NUMBER | KEYNOTE |
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| 1 | DEMOLISH DOOR INCLUDING ASSOCIATED FRAME AND ANCHORS. SALVAGE ASSOCIATED DOOR HARDWARE AND RETURN TO OWNER. |
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| 4 | DEMOLISH SHEET VINYL FLOORING AND RUBBER / INTERGAL COVE BASE INCLUDING ADHESIVES DOWN TO SUBSTRATE. PATCH AND REPAIR EXISTING SUBSTRATE IN PREPARATION FOR NEW FLOORING. |
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| 23 | ABATE ACM FLOORING AND MASTICS PER ALL APPLICABLE LAWS. SEE H SERIES DRAWINGS. |
| 24 | DEMOLISH DOOR AND HARDWARE; FRAME TO REMAIN |
| 25 | SALVAGE EXISTING 36" WALL SHELVING AND RETURN TO OWNER. PATCH AND REPAIR WALL IN PREPARATION FOR NEW PAINT. |
| 32 | DEMOLISH 5/8" GYPSUM BOARD SUBSTRATE THIS SIDE DOWN TO FRAMING |
| 35 | DEMOLISH GYPSUM BOARD DOWN TO FRAMING. |
| 101 | ADA TOILET/URINAL; SEE SHEET A0.02 FOR MOUNTING HEIGHTS |
| 110 | 10 28 00 BABY CHANGING STATION (BCS-1) |
| 111 | 10 28 00 GRAB BARS (GB-1, 2, 3) |
| 113 | 08 31 00 18" X 18" ACCESS PANEL |
| 121 | SINK PER MECHANICAL |
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| 124 | 06 41 00 CASEWORK; SEE DETAIL 6/A3.01 |
| 129 | 10 14 20 INTERIOR SIGNAGE TYPE "A", CORRIDOR WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORMATION |
| 132 | 10 14 20 INTERIOR SIGNAGE TYPE "D", WALL MOUNTED; SEE SHEET 2.02 FOR MORE INFORMATION |



BDS, Inc. Entity #25796D



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W: www.bdsak.com

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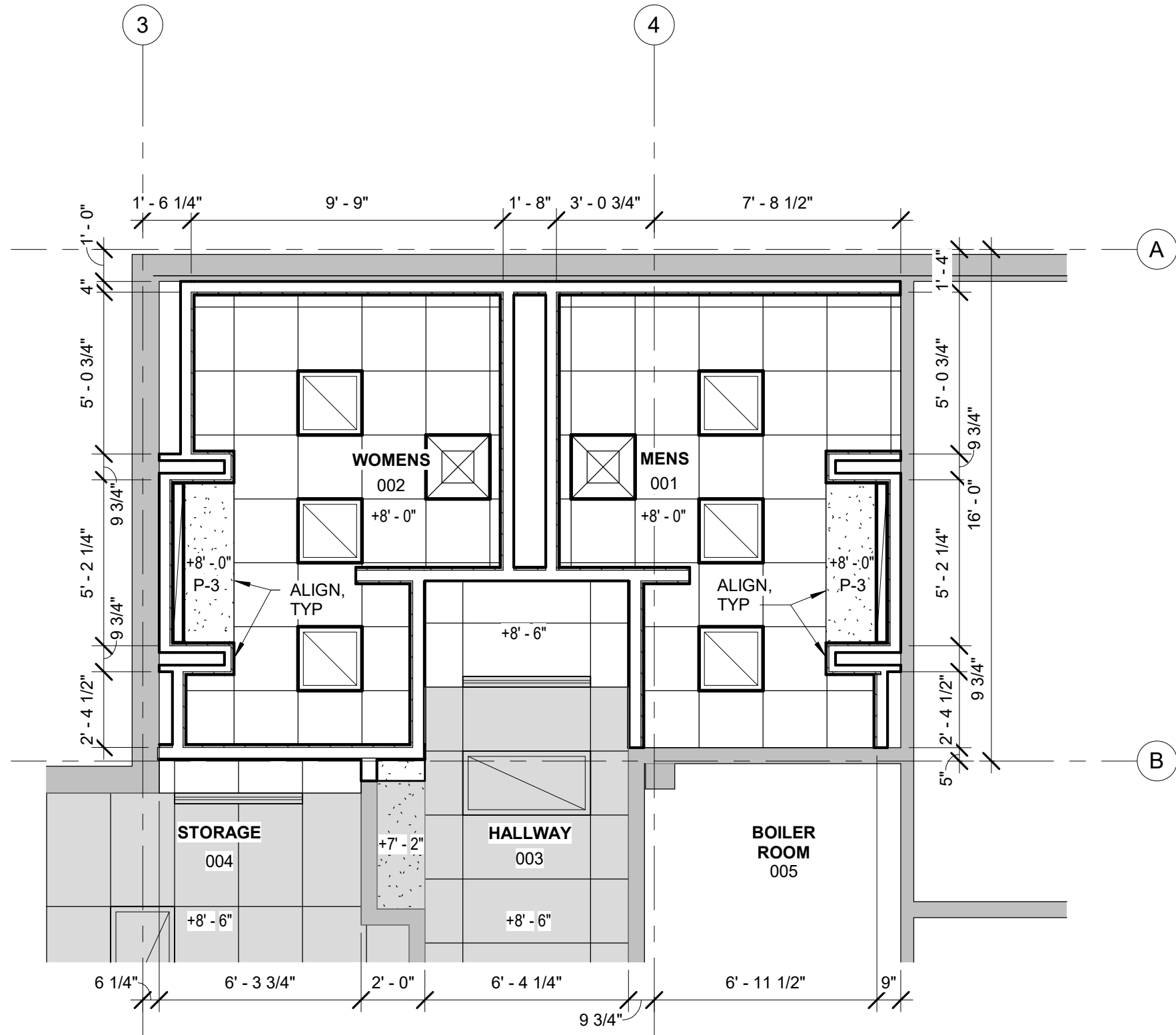
VALDEZ, ALASKA

BDS Project No.: 621006.00
Client Project No.:

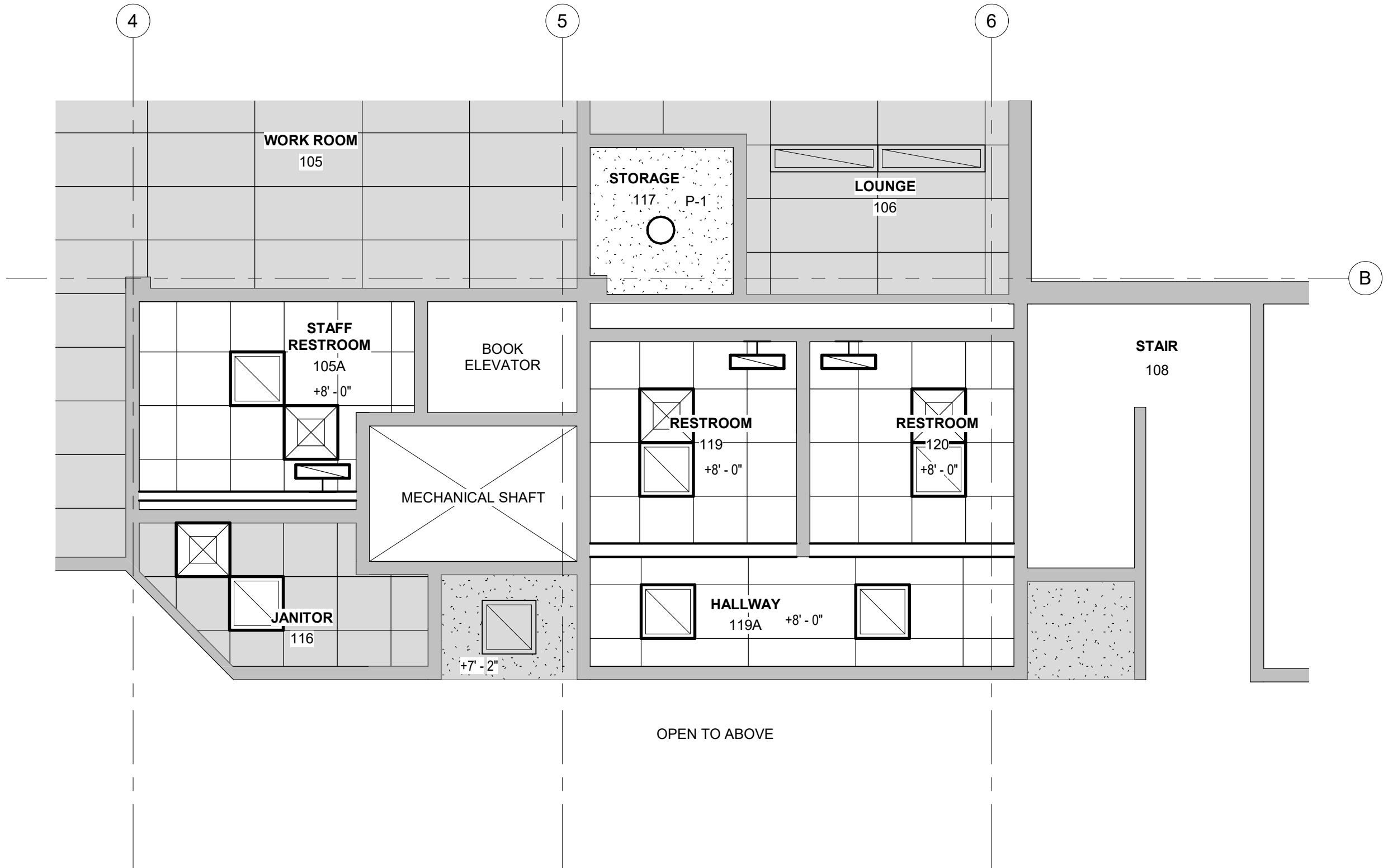
BID DOCUMENTS
AUGUST 25, 2021

NEW AND DEMO ENLARGED FLOOR PLANS A1.03

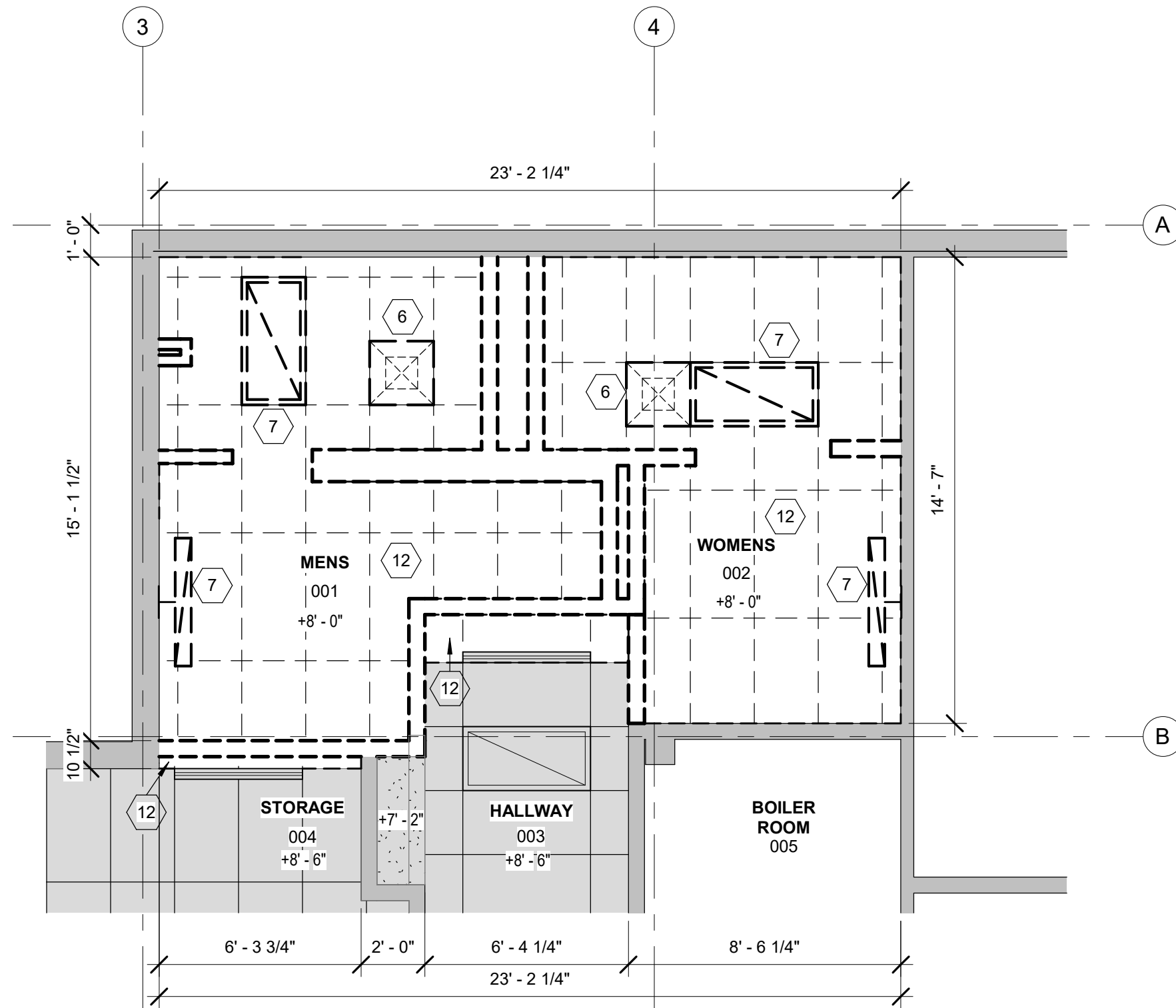
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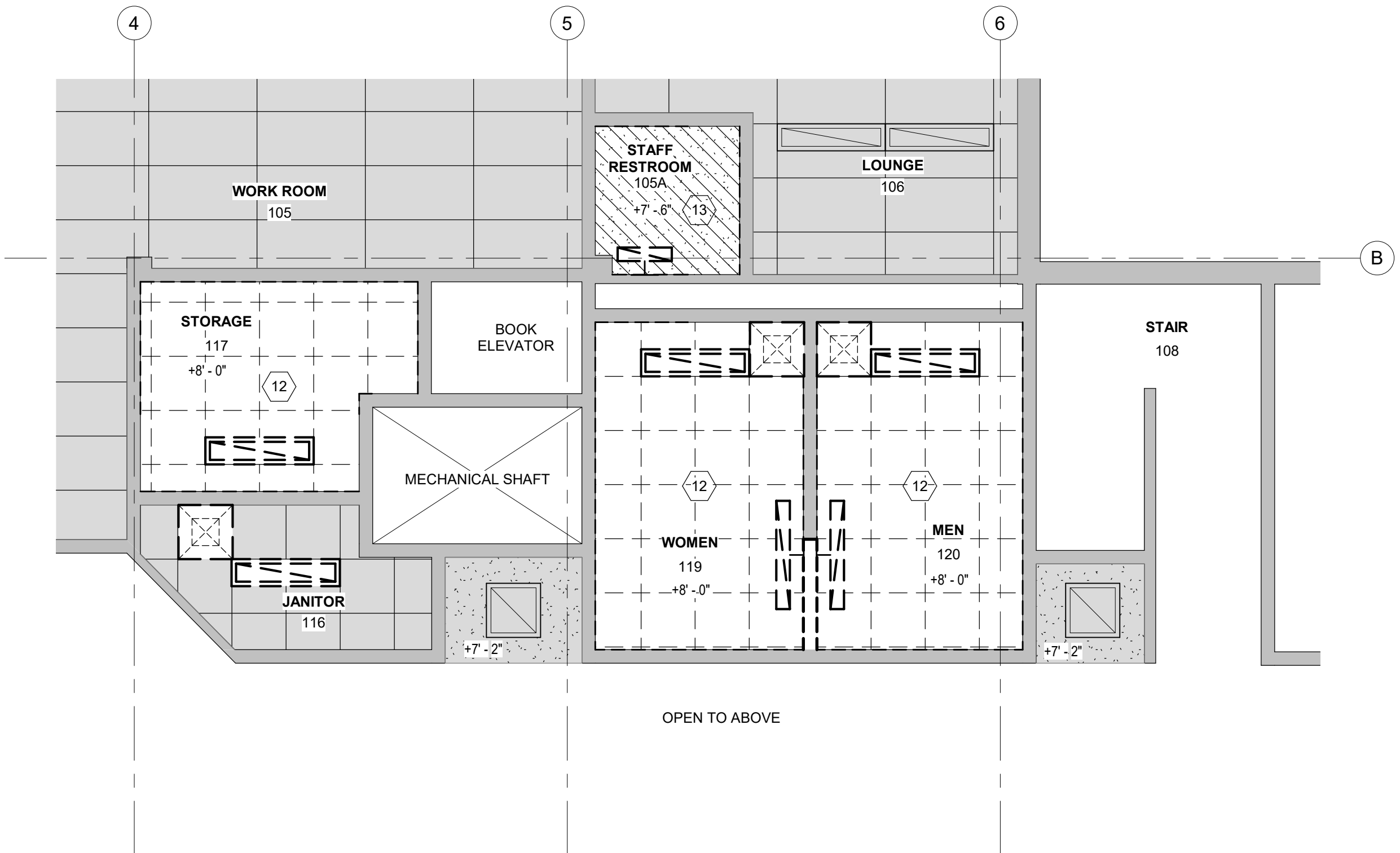
4 ENLARGED RCP - BASEMENT
A1.04 SCALE: 1/4" = 1'-0"



2 ENLARGED RCP - FIRST FLOOR
A1.04 SCALE: 1/4" = 1'-0"



3 ENLARGED RCP - BASEMENT - DEMO
A1.04 SCALE: 1/4" = 1'-0"



1 ENLARGED RCP - FIRST FLOOR - DEMO
A1.04 SCALE: 1/4" = 1'-0"



RCP LEGEND

	SUSPENDED GYPSUM CEILING
	ACOUSTICAL CEILING
	CEILING HEIGHT
	LIGHTING, REFER TO ELECTRICAL
	RADIANT CEILING PANEL, REFER MECHANICAL
	DIFFUSERS, REFER MECHANICAL
	EXHAUST FAN, REFER MECHANICAL
	CEILING MOUNTED CLOSED CIRCUIT TELEVISION CAMERA, REFER ELECTRICAL
	CEILING MOUNTED CABINET UNIT HEATER, REFER MECHANICAL
	CEILING MOUNTED UNIT HEATER, REFER MECHANICAL
	ACCESS PANEL

NOTES

- REFER TO SHEET A0.02 FOR ROOM FINISH, DOOR AND COLOR AND MATERIAL SCHEDULES.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

KEYNOTES

NUMBER	KEYNOTE
6	DEMOLISH MECHANICAL ITEM. SEE M SERIES DRAWINGS.
7	DEMOLISH ELECTRICAL ITEM. SEE E SERIES DRAWINGS.
12	DEMOLISH SUSPENDED ACOUSTICAL CEILING TILE AND GRID INCLUDING ALL ABOVE CEILING HANGERS AND RESTRAINTS AS INDICATED.
13	DEMOLISH SUSPENDED GWB CEILING INCLUDING ALL SUPPORT FRAMING, HANGERS, AND RESTRAINTS.

DEMO RCP LEGEND

	NO WORK TO EXISTING CEILING
	REMOVE SUSPENDED GYPSUM CEILING
	REMOVE SUSPENDED ACT & GRID
	CEILING HEIGHT
	REMOVE LIGHTING FIXTURES, REFER TO ELEC

REVISIONS

No	Description	Date
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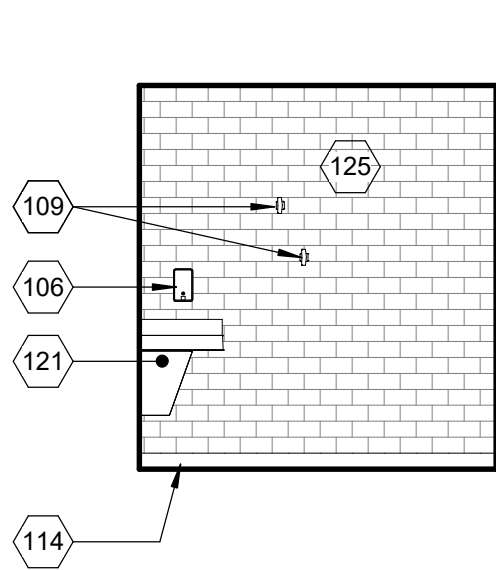
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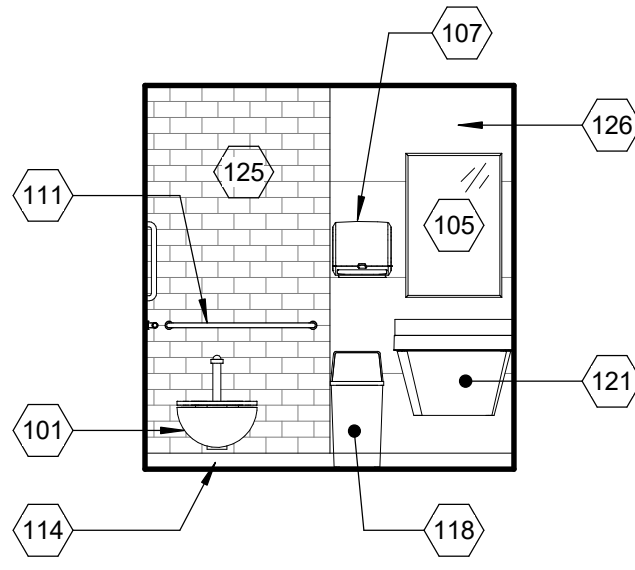
BID DOCUMENTS
AUGUST 25, 2021

**NEW AND DEMO
ENLARGED
RCPS
A1.04**

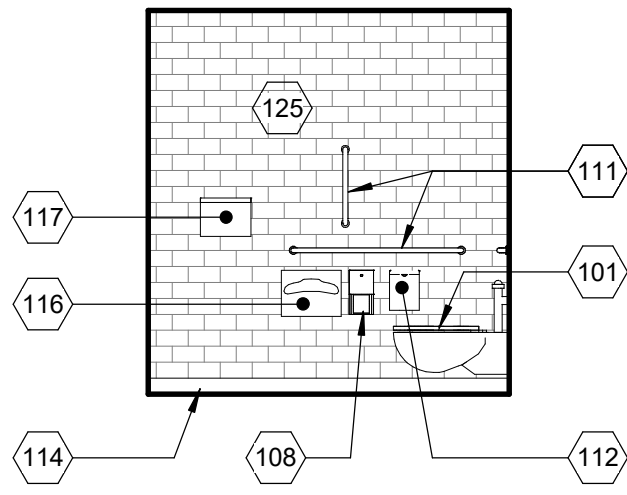
NOTIFICATION OF POTENTIAL HAZARDS: Asbestos, lead, and other hazardous materials are present in the building and may impact the work of all trades. Regulated air contaminants, including asbestos and lead, are also present in settled and concealed dust in and on Architectural, Structural, Mechanical, and Electrical components or systems throughout the building. All trades shall coordinate with other trades and conduct their work to prevent worker exposure or site contamination. Refer to Specification Divisions 0, 1, and 2 for specific information concerning disturbing, removing, and disposing of these materials and the installation of new materials or components. This notification is provided in accordance with EPA and OSHA requirements.



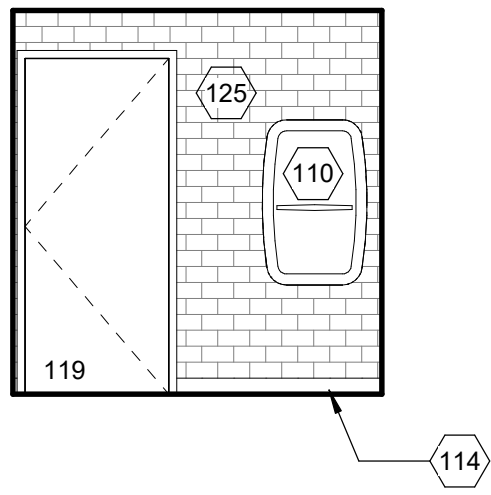
16 119 RESTROOM - WEST
A2.01 SCALE: 1/4" = 1'-0"



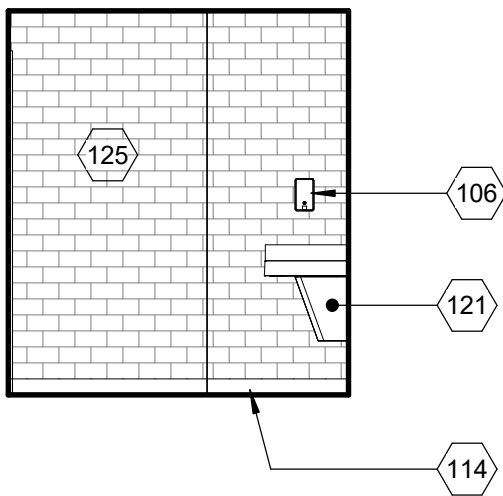
15 119 RESTROOM - SOUTH
A2.01 SCALE: 1/4" = 1'-0"



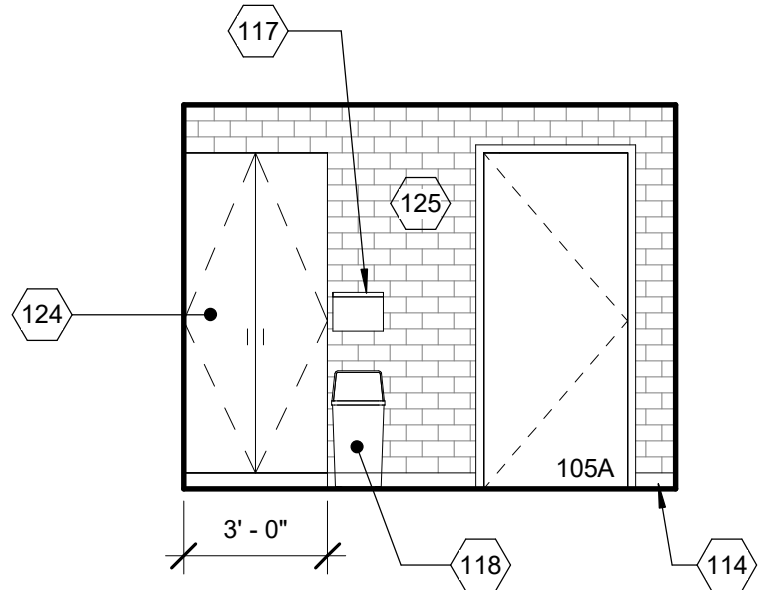
14 119 RESTROOM - EAST
A2.01 SCALE: 1/4" = 1'-0"



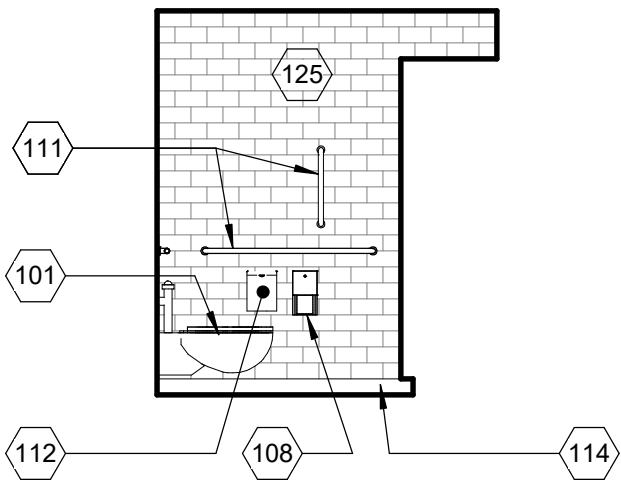
13 119 RESTROOM - NORTH
A2.01 SCALE: 1/4" = 1'-0"



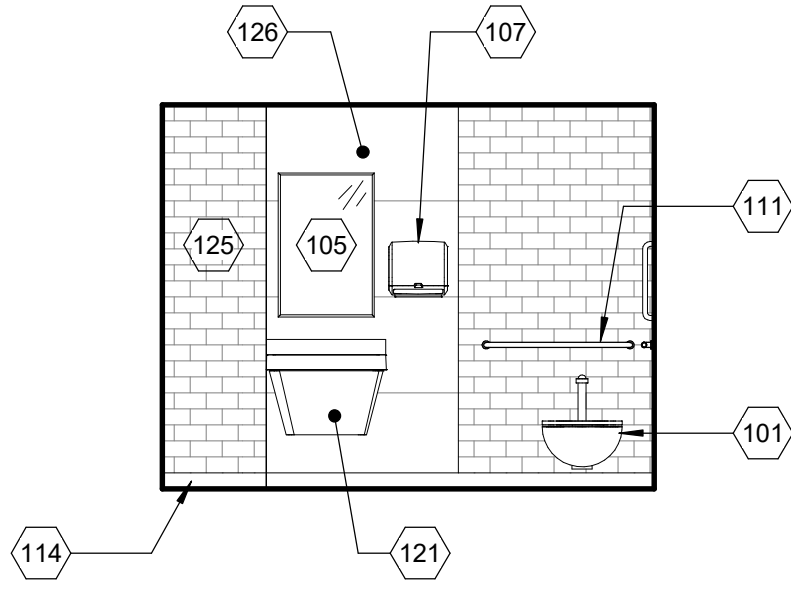
12 105A STAFF RESTROOM - WEST
A2.01 SCALE: 1/4" = 1'-0"



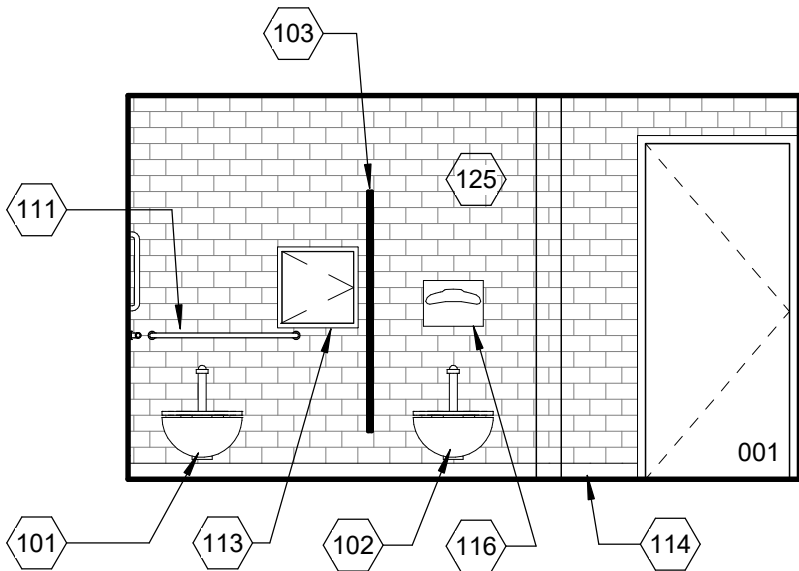
11 105A STAFF RESTROOM - SOUTH
A2.01 SCALE: 1/4" = 1'-0"



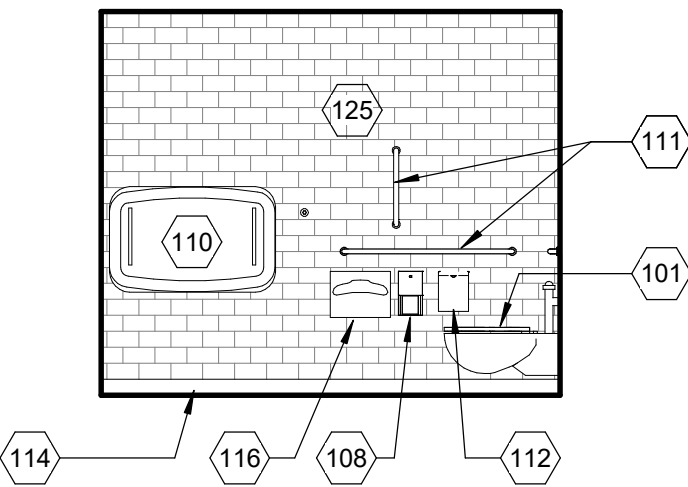
10 105A STAFF RESTROOM - EAST
A2.01 SCALE: 1/4" = 1'-0"



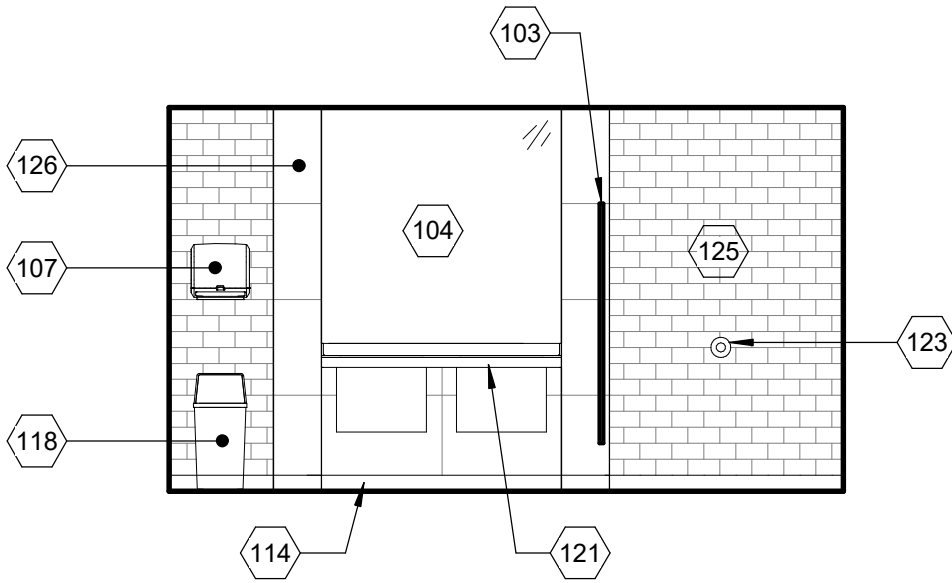
9 105A STAFF RESTROOM - NORTH
A2.01 SCALE: 1/4" = 1'-0"



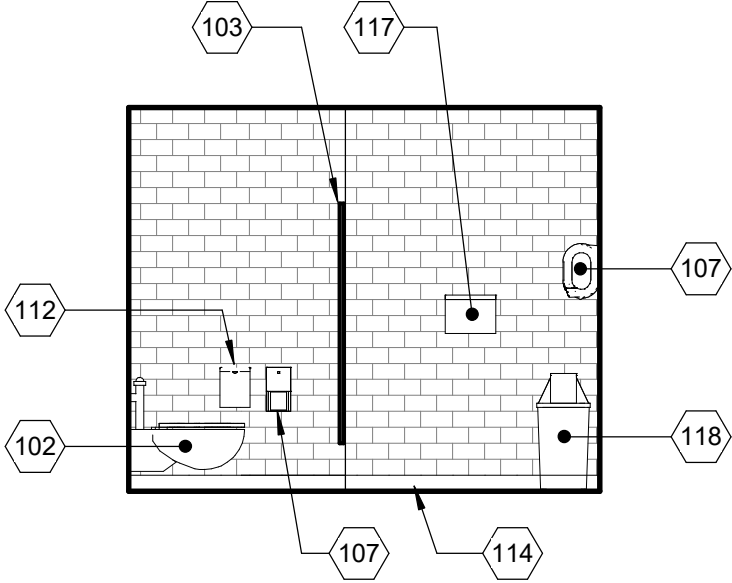
8 002 WOMENS - WEST
A2.01 SCALE: 1/4" = 1'-0"



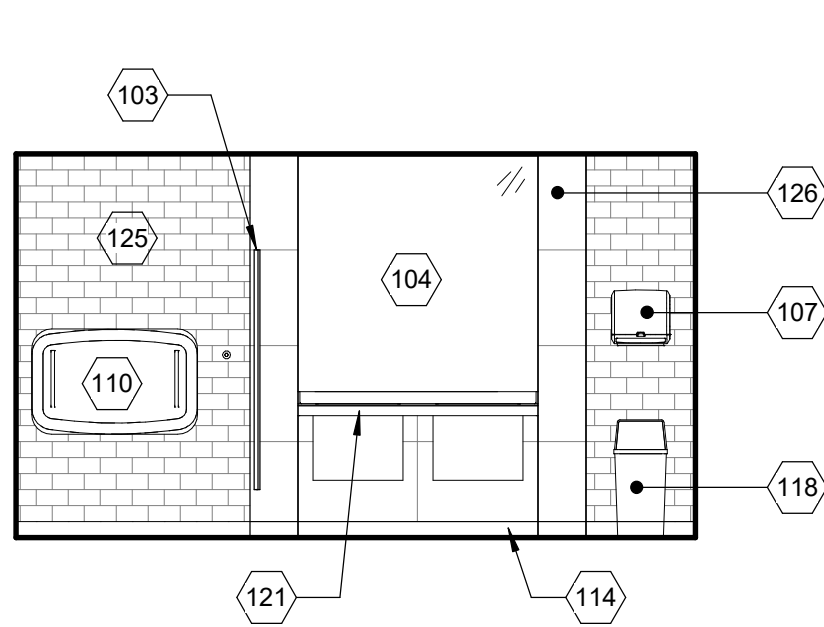
7 002 WOMENS - SOUTH
A2.01 SCALE: 1/4" = 1'-0"



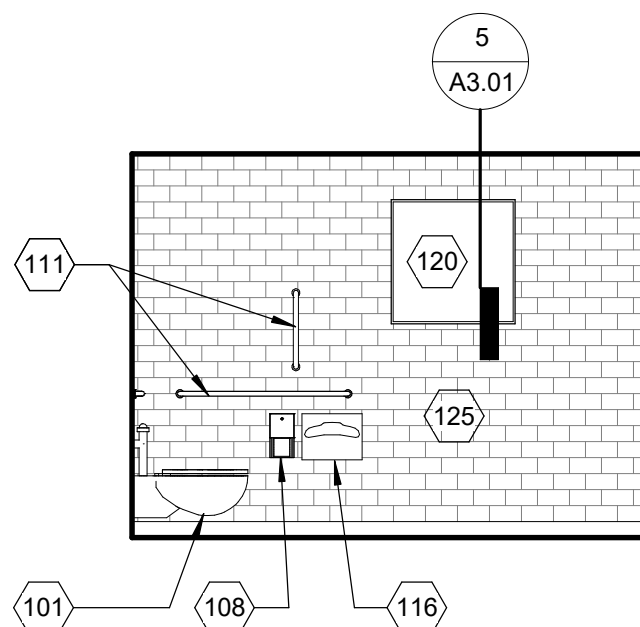
6 002 WOMENS - EAST
A2.01 SCALE: 1/4" = 1'-0"



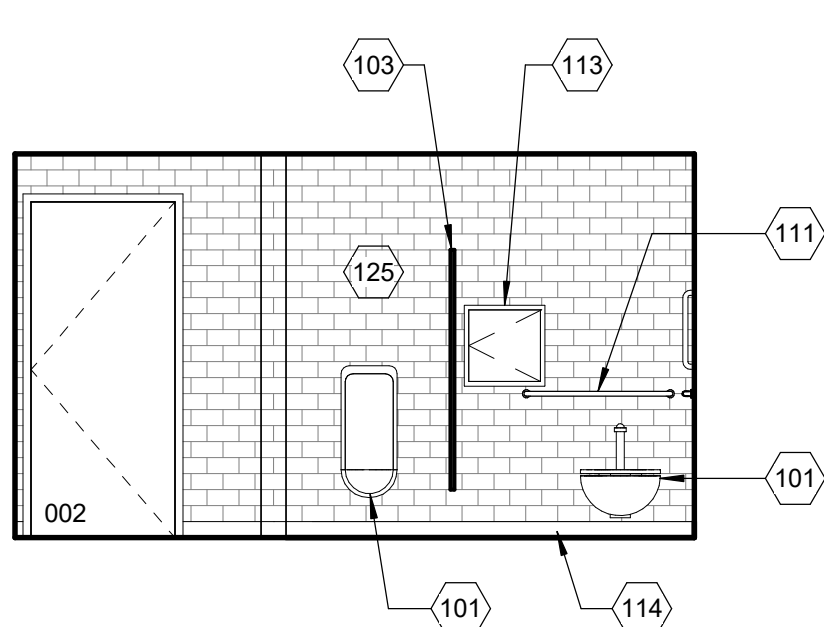
5 002 WOMENS - NORTH
A2.01 SCALE: 1/4" = 1'-0"



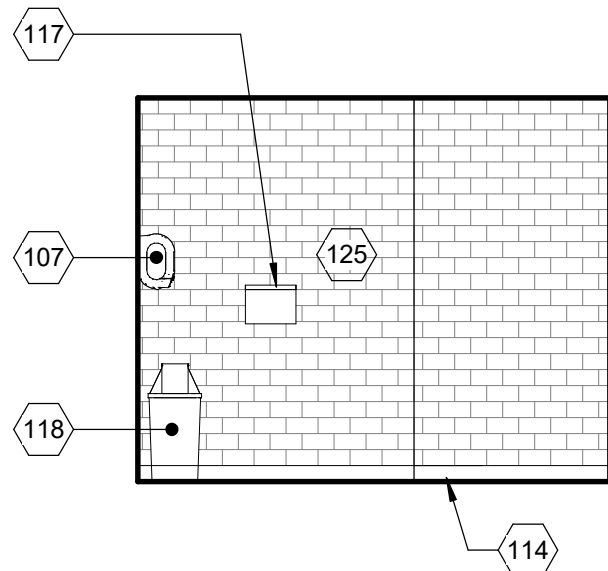
4 001 MENS - WEST
A2.01 SCALE: 1/4" = 1'-0"



3 001 MENS - SOUTH
A2.01 SCALE: 1/4" = 1'-0"



2 001 MENS - EAST
A2.01 SCALE: 1/4" = 1'-0"



1 001 MENS - NORTH
A2.01 SCALE: 1/4" = 1'-0"

NOTES

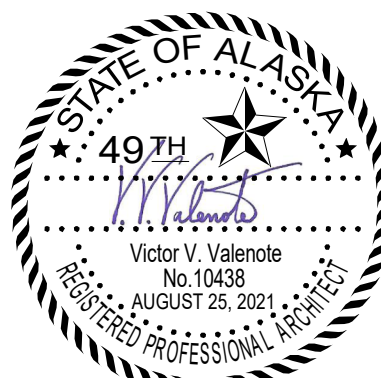
1. REFER TO SHEET A0.01 FOR TYPICAL MOUNTING HEIGHTS.
2. REFER TO SHEET A0.02 FOR COLOR AND MATERIAL LEGEND.

KEYNOTES

NUMBER	KEYNOTE
101	ADA TOILET/URINAL; SEE SHEET A0.02 FOR MOUNTING HEIGHTS
102	TOILET; SEE SHEET A0.01 FOR MOUNTING HEIGHTS
103	TOILET PARTITION TP-1
104	08 83 00 TEMPERED CLEAR GLASS MIRROR
105	10 28 00 MIRROR (M-1)
106	10 28 00 SOAP DISPENSER (SD-1)
107	10 28 00 PAPER TOWEL DISPENSER (PTD-1)
108	10 28 00 TOILET PAPER DISPENSER (TPD-1)
109	10 28 00 COAT HOOK (CH-1)
110	10 28 00 BABY CHANGING STATION (BCS-1)
111	10 28 00 GRAB BARS (GB-1, 2, 3)
112	10 28 00 SANITARY NAPKIN RECEPTACLE (SND-1)
113	08 31 00 18" X 18" ACCESS PANEL
114	09 68 13 WALL BASE AS SCHEDULED
116	10 28 00 SEAT COVER DISPENSER (SCD-1)
117	10 28 00 SHARPS DISPOSAL CONTAINER (SDC-1)
118	10 28 00 WASTE RECEPTACLE (WR-1)
120	09 90 00 PAINT (P-2) AT EXTERIOR OF EXISTING ELECTRICAL PANEL
121	SINK PER MECHANICAL
123	EXTEND CLEAN OUT AS REQUIRED AND PROVIDE NEW STAINLESS STEEL COVER
124	06 41 00 CASEWORK; SEE DETAIL 6/A3.01
125	WALL TILE TW-1 AND TW-2; SEE COLOR AND MATERIAL LEGEND FOR MIX PERCENTAGES
126	WALL TILE TW-3

REVISIONS

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AUGUST 25, 2021

**INTERIOR
ELEVATIONS
A2.01**

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NOTES

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2. REFER TO SHEET A0.02 FOR COLOR AND MATERIAL LEGEND.

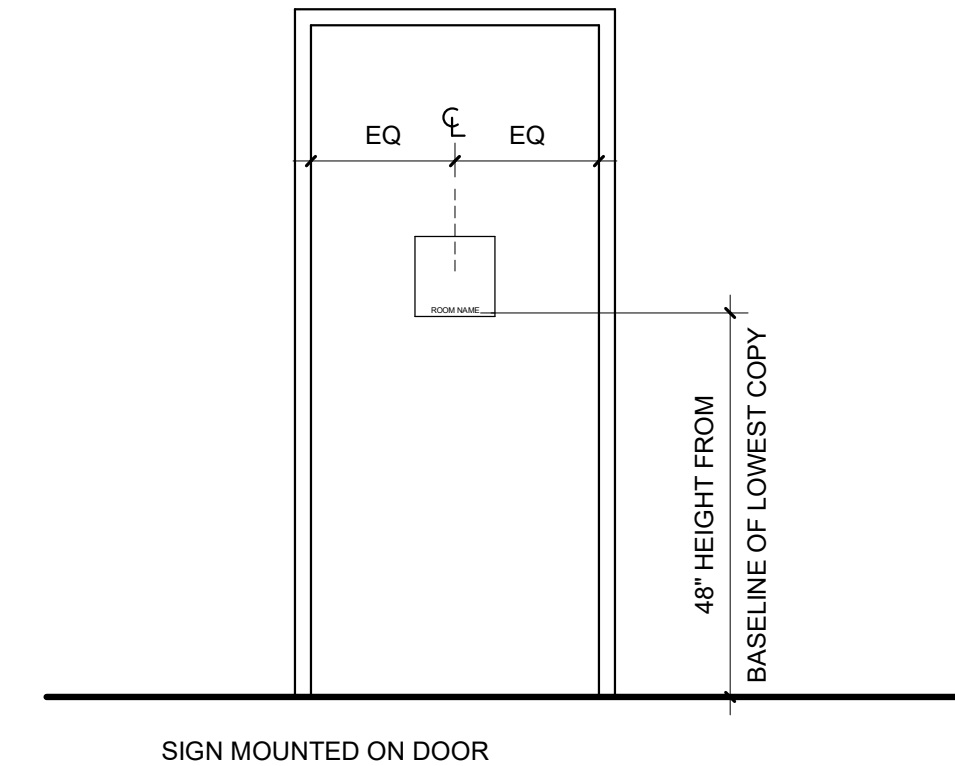
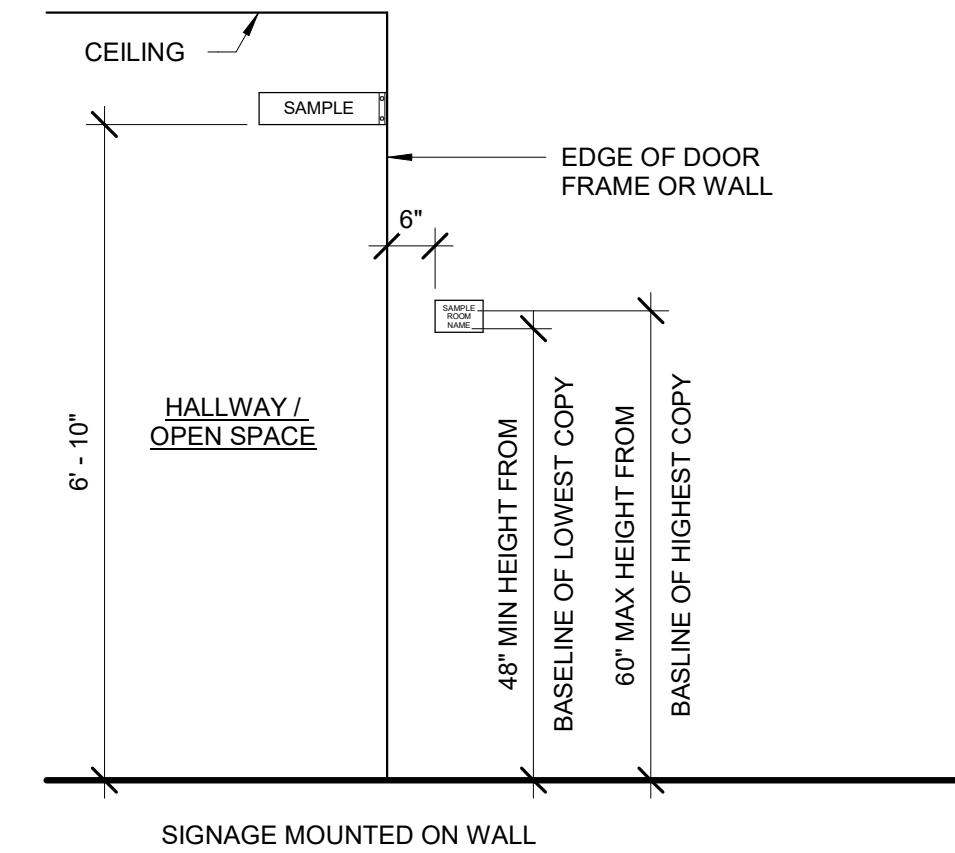
KEYNOTES

NUMBER KEYNOTE

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No	Description	Date
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INTERIOR SIGNAGE MOUNTING



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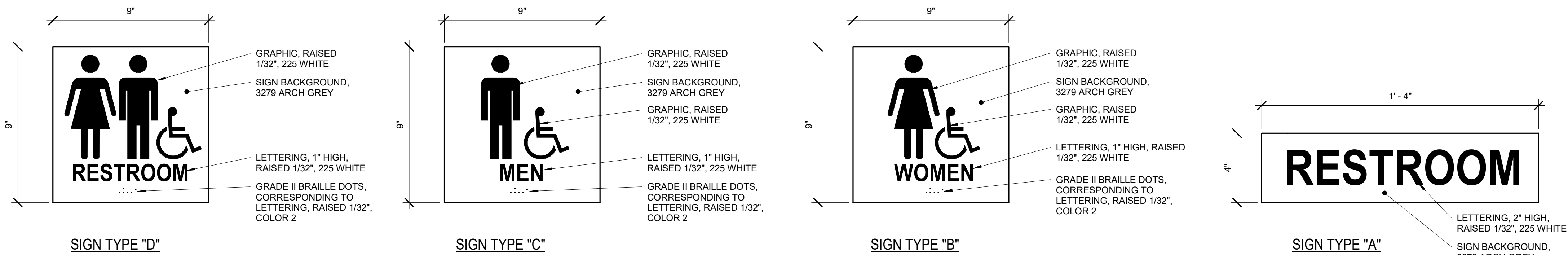


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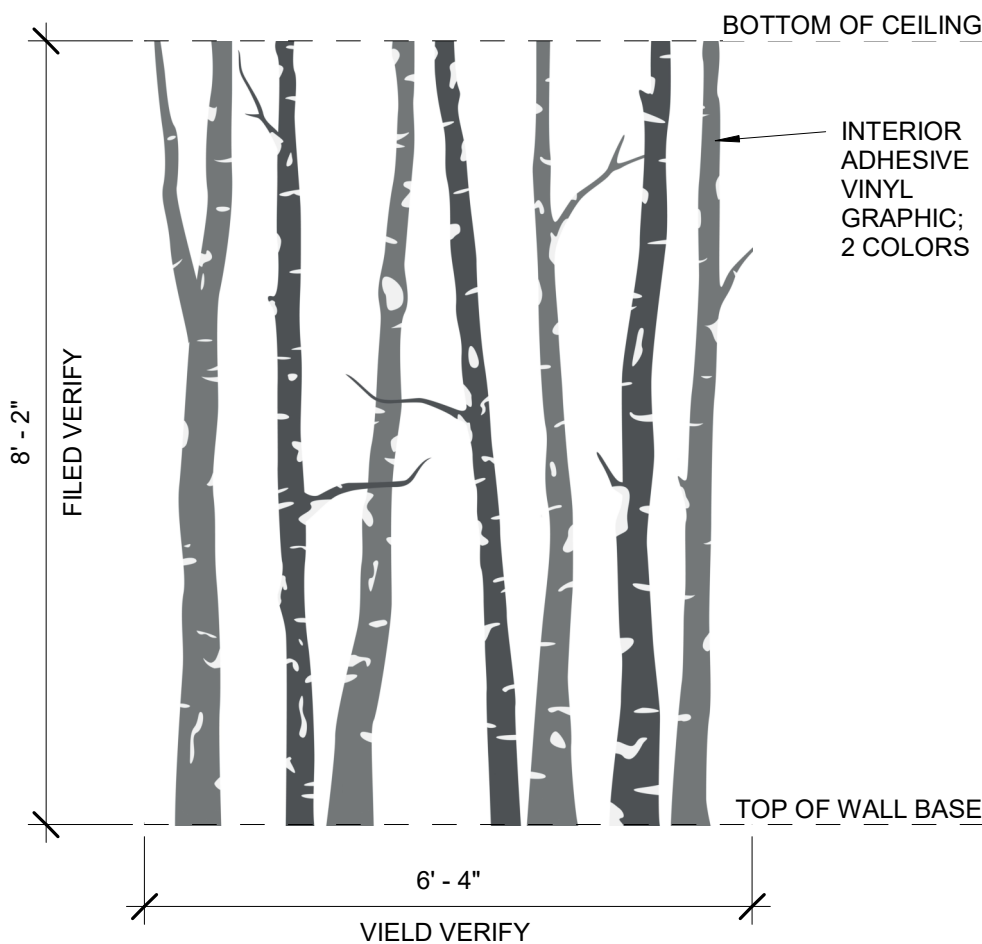
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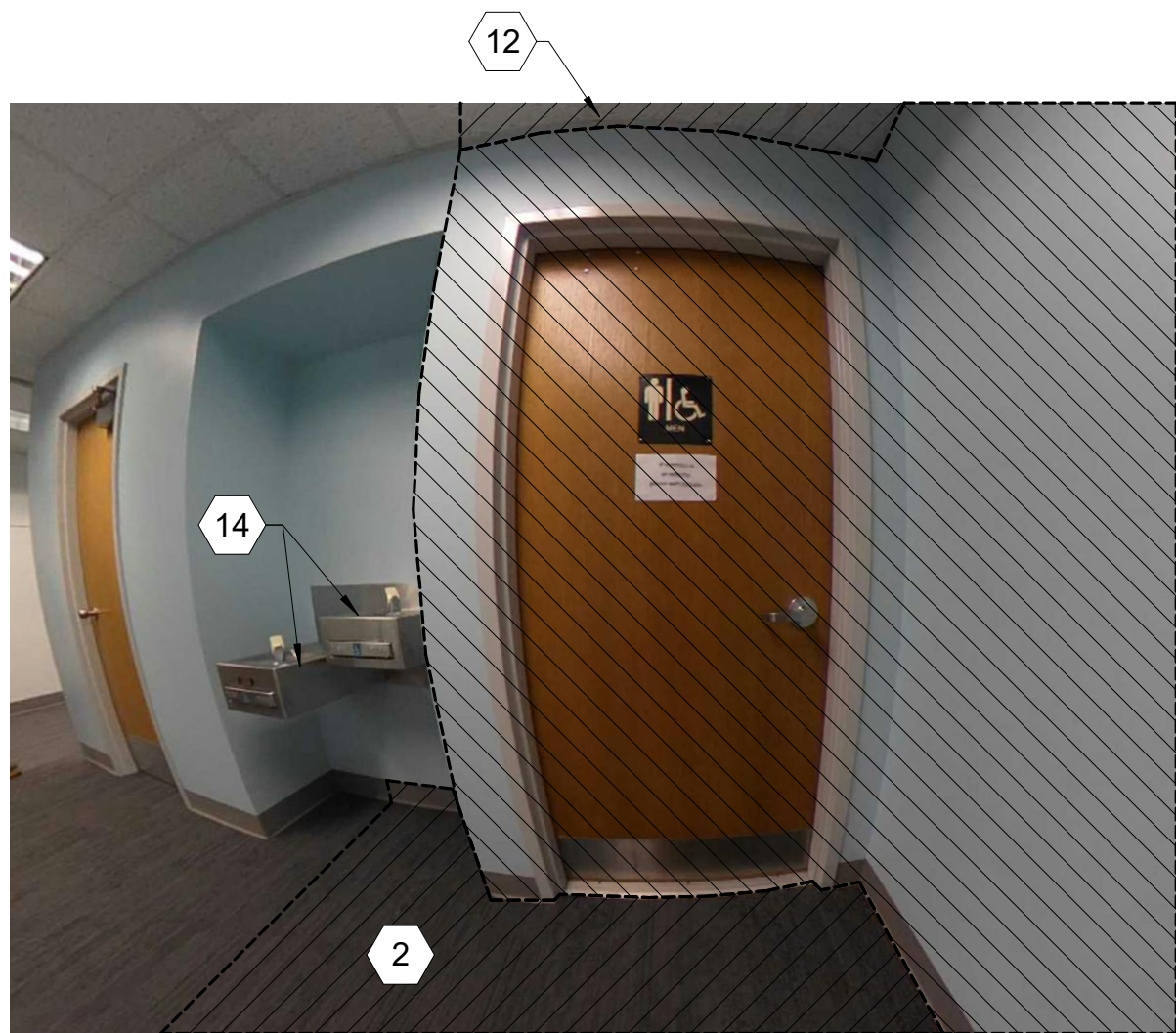
INTERIOR
ELEVATIONS /
SIGNAGE
A2.02



3 INTERIOR SIGNAGE TYPES
A2.02 SCALE: 3" = 1'-0"

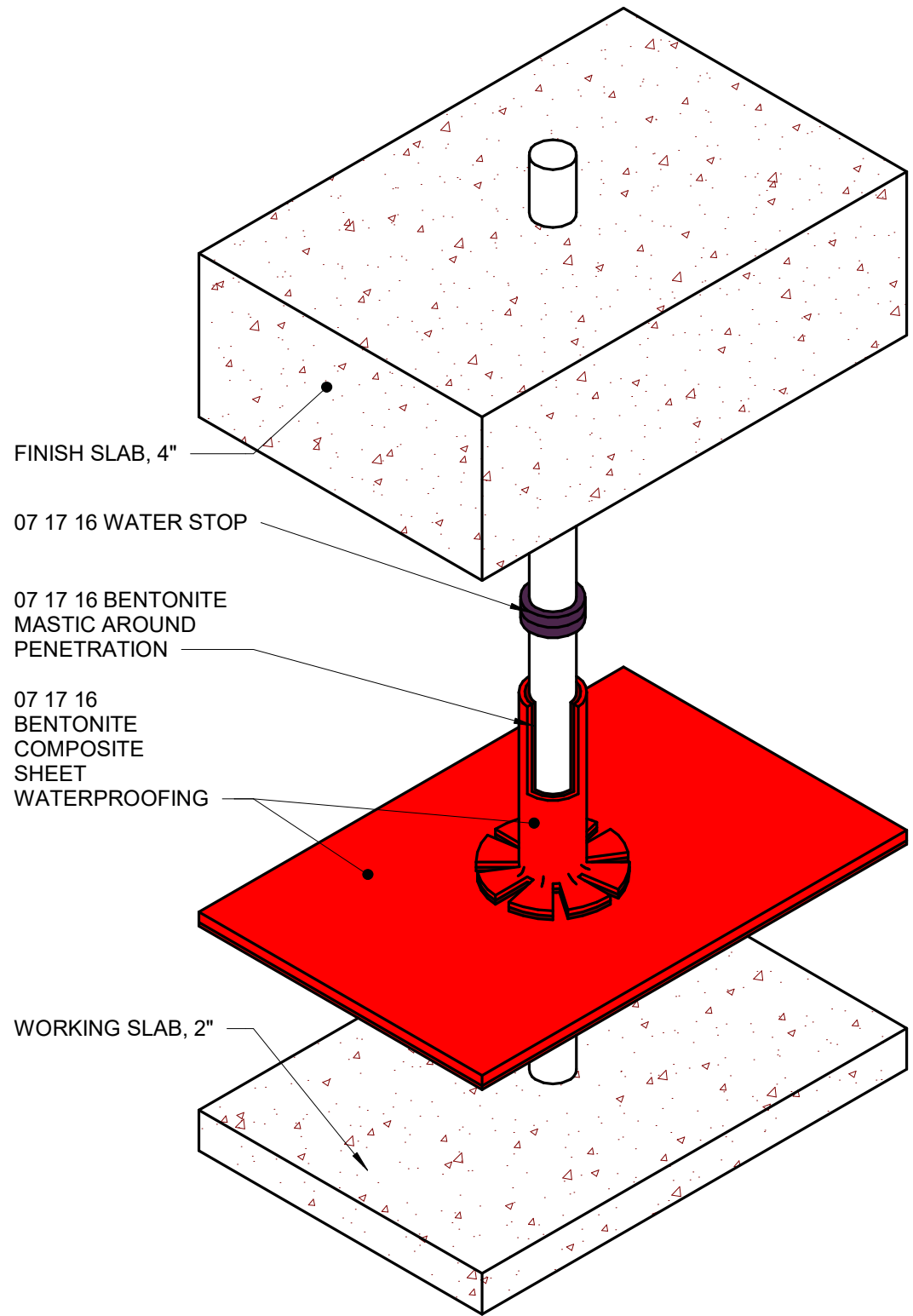


2 WALL GRAPHIC AT HALLWAY 003
A2.02 SCALE: 1/2" = 1'-0"

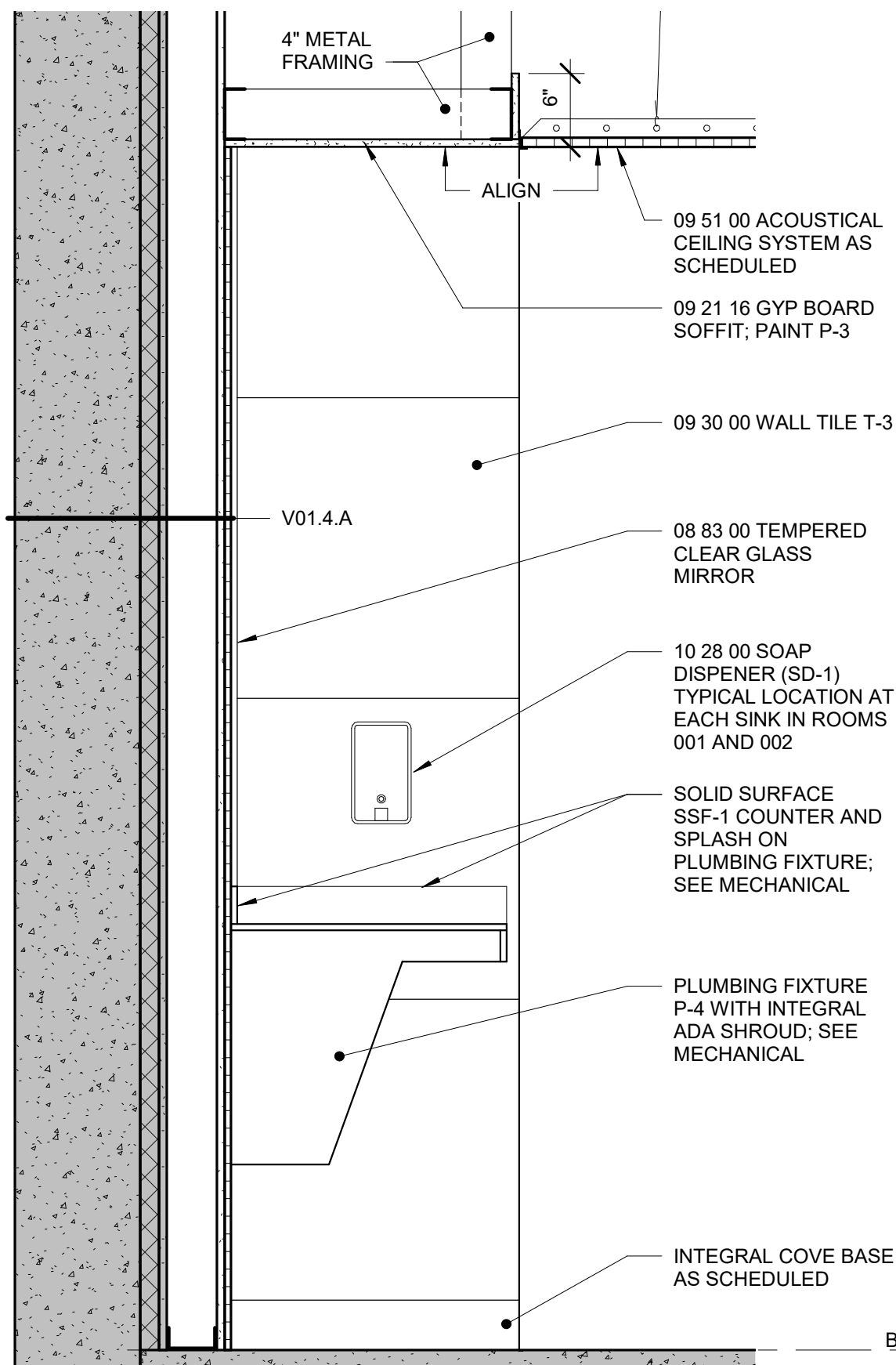


1 DEMO ELEVATION - HALLWAY 003
A2.02 SCALE: 12" = 1'-0"

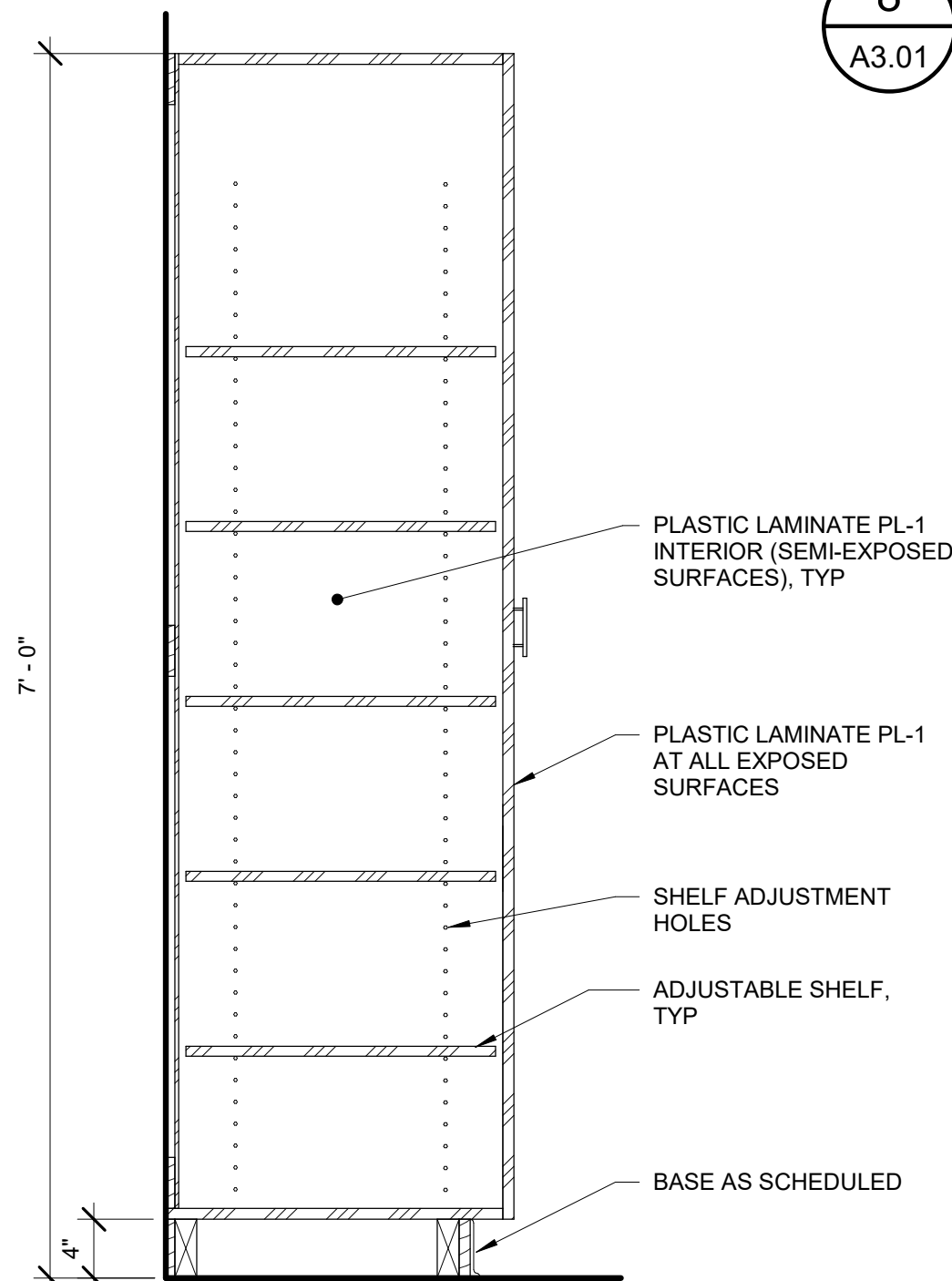
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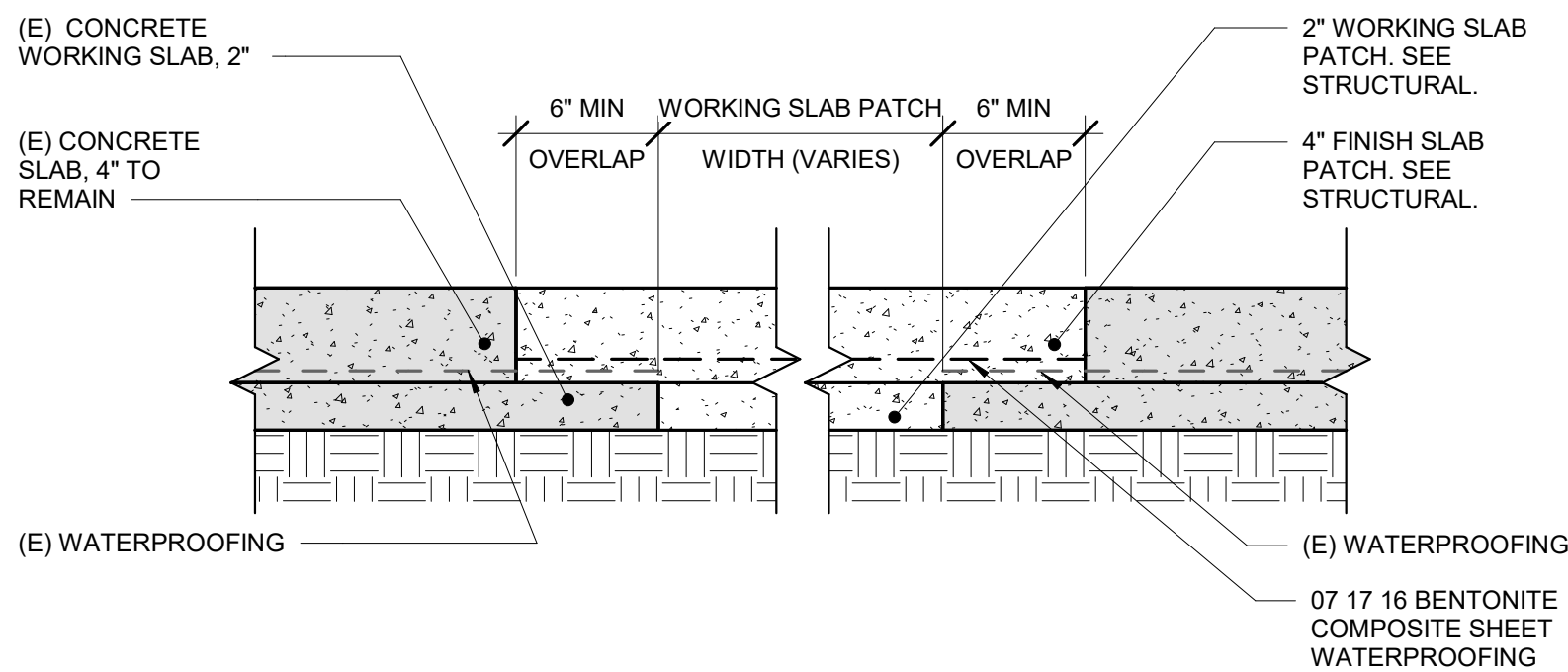
9 TYPICAL SLAB PENETRATION WATERPROOFING
A3.01 SCALE: 3" = 1'-0"



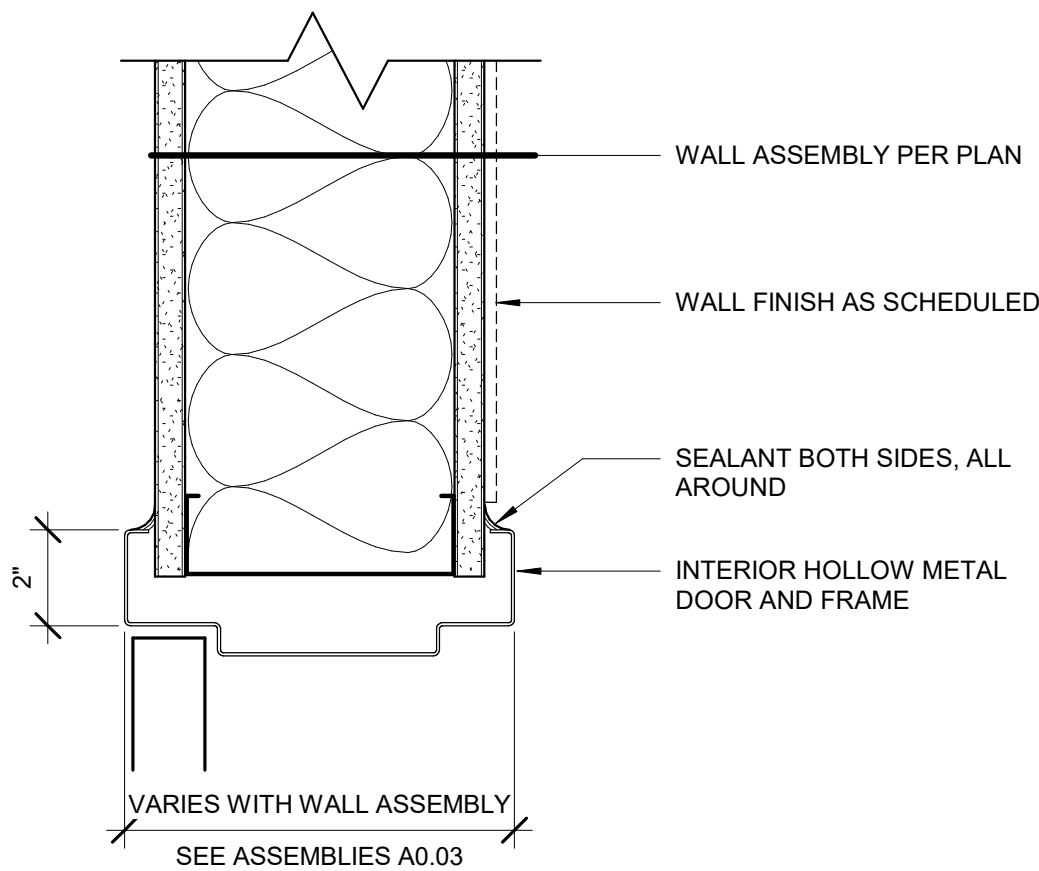
3 SECTION AT BASEMENT RESTROOM SINK
A3.01 SCALE: 1" = 1'-0"



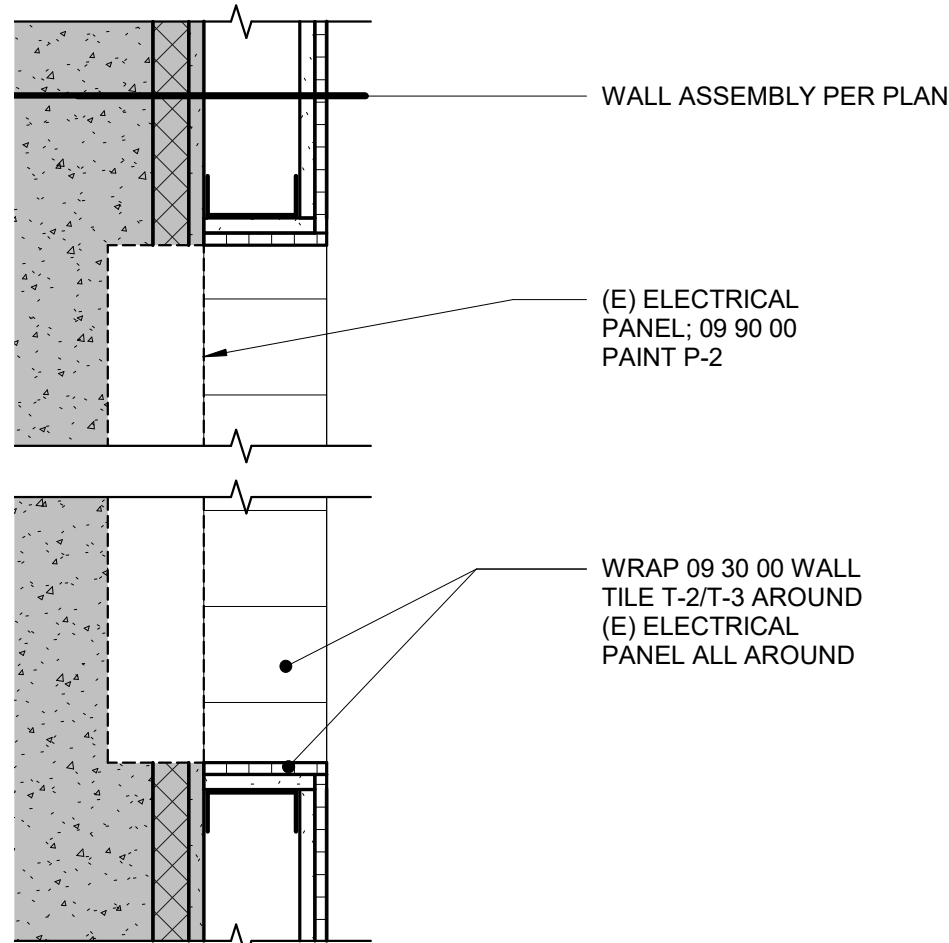
6 CABINET - FULL HEIGHT ADJUSTABLE
A3.01 SCALE: 1" = 1'-0"



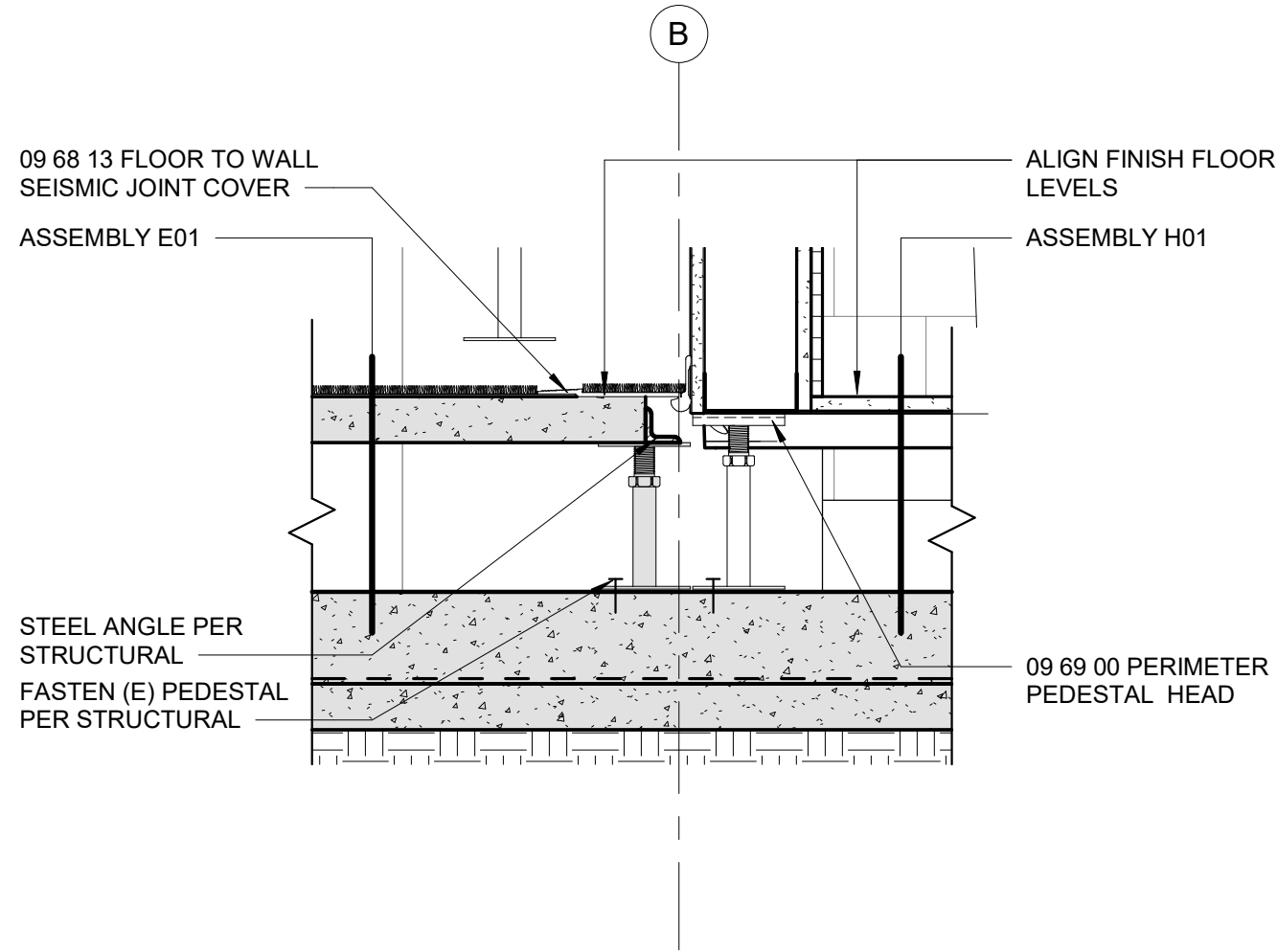
2 SLAB WATERPROOFING DETAIL
A3.01 SCALE: 1 1/2" = 1'-0"



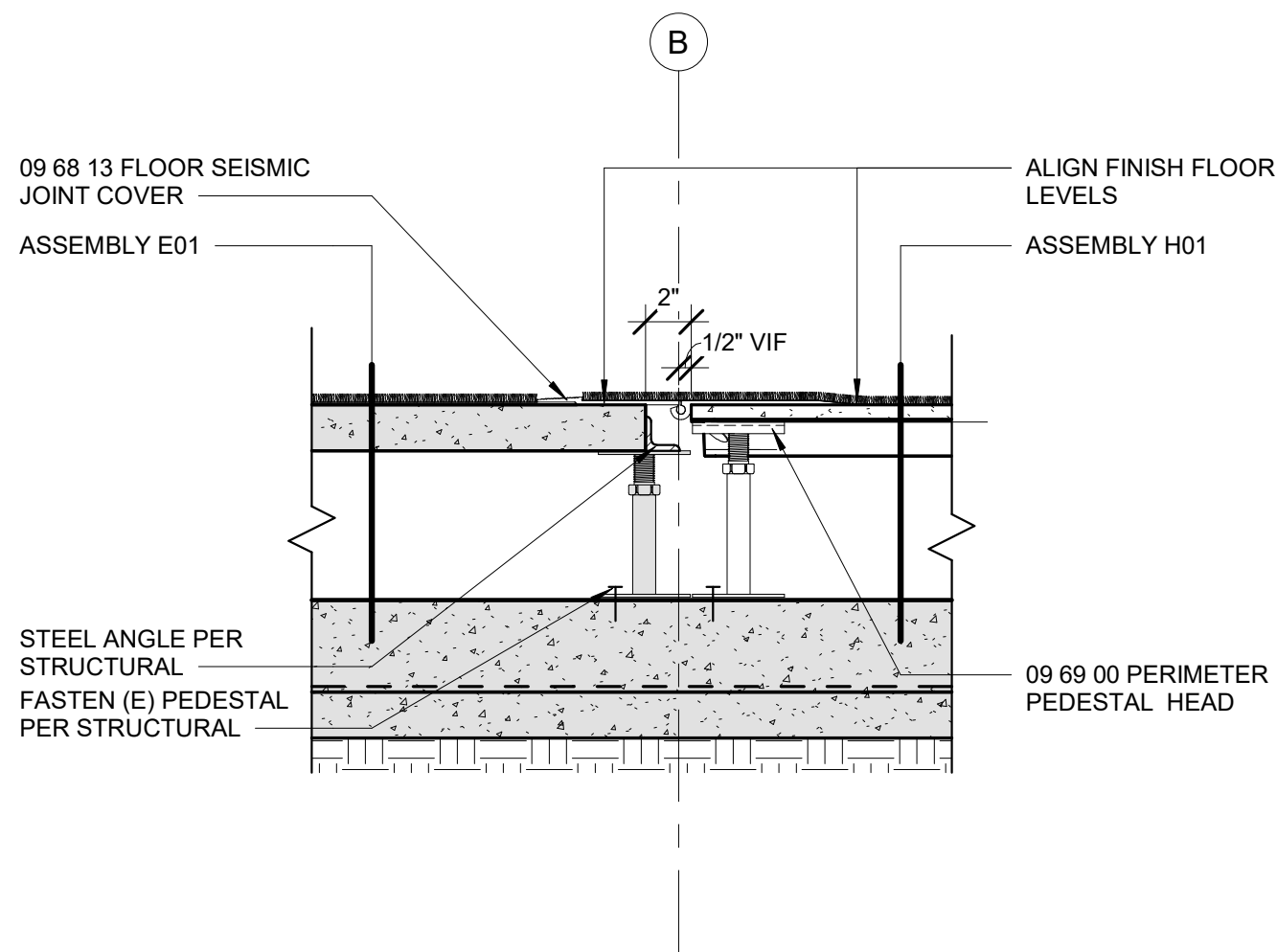
8 INTERIOR DOOR HEAD/JAMB
A3.01 SCALE: 3" = 1'-0"



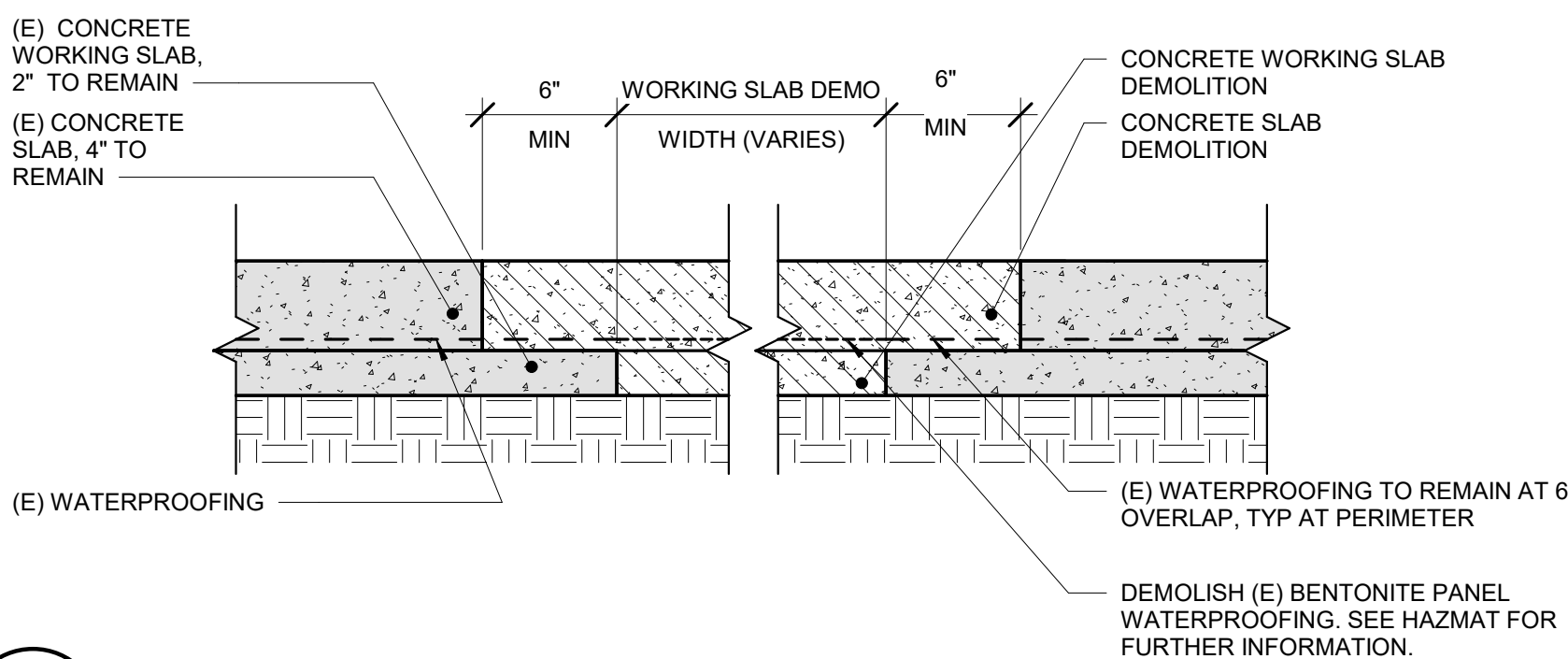
5 ELECTRICAL PANEL AT NEW WALL
A3.01 SCALE: 1 1/2" = 1'-0"



7 SEISMIC JOINT FLOOR TO WALL AT HALL 003
A3.01 SCALE: 1 1/2" = 1'-0"

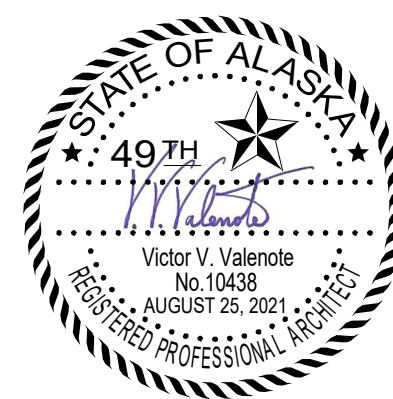


4 SEISMIC JOINT FLOOR TO FLOOR AT HALL 003
A3.01 SCALE: 1 1/2" = 1'-0"



1 SLAB DEMO DETAIL
A3.01 SCALE: 1 1/2" = 1'-0"

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**DETAILS
A3.01**



10 REFERENCE PHOTO - WOMENS 119
A4.01 SCALE: 12" = 1'-0"



9 REFERENCE PHOTO - STORAGE 117
A4.01 SCALE: 12" = 1'-0"



8 REFERENCE PHOTO - AISLE 111
A4.01 SCALE: 12" = 1'-0"



7 REFERENCE PHOTO - STAFF RESTROOM 105A
A4.01 SCALE: 12" = 1'-0"



6 REFERENCE PHOTO - WORKROOM 105
A4.01 SCALE: 12" = 1'-0"



5 REFERENCE PHOTO - HALLWAY 003
A4.01 SCALE: 12" = 1'-0"



4 REFERENCE PHOTO - WOMENS 002
A4.01 SCALE: 12" = 1'-0"



3 REFERENCE PHOTO - MENS 001
A4.01 SCALE: 12" = 1'-0"



2 REFERENCE PHOTO - MENS 001
A4.01 SCALE: 12" = 1'-0"



1 REFERENCE PHOTO - MENS 001
A4.01 SCALE: 12" = 1'-0"



11 REFERENCE PHOTO - MENS 120
A4.01 SCALE: 12" = 1'-0"

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REFERENCE
PHOTOS
A4.01

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LEGEND

	DENOTES DEMOLITION
	HEAVY LINE DENOTES NEW WORK
	HOT WATER
	COLD WATER
	WASTE
	HEATING WATER SUPPLY
	HEATING WATER RETURN
	PIPE UP
	PIPE DOWN
	TEE UP
	TEE DOWN
	CAP
	ISOLATION VALVE
	CHECK VALVE
	2-WAY CONTROL VALVE
	BALANCE/SHUT-OFF VALVE
	ROUND DUCT UP & DOWN
	ROUND DUCT UP & DOWN
	SUPPLY AIR UP & DOWN
	EXHAUST AIR UP & DOWN
	FLEXIBLE DUCT CONNECTION
	TURNING VANES
	DUCT SIZE (FIRST FIGURE – SIDE SHOWN) (SECOND FIGURE – SIDE NOT SHOWN)
	VOLUME DAMPER
	FLEX DUCT
	THERMOSTAT OR SENSOR
	POINT OF CONNECTION (NEW TO EXISTING)
	DETAIL NUMBER
	SHEET LOCATED ON
	SHEET NOTES
	RADIATION DESIGNATOR
	LENGTH
	GPM
	NECK SIZE
	CFM
	DIFFUSER OR GRILLE TYPE

ABBREVIATIONS

A	COMPRESSED AIR	DDC	DIRECT DIGITAL CONTROL	IECC	INTERNATIONAL ENERGY CONSERVATION CODE	PSIG	POUNDS PER SQUARE INCH GAUGE
AABC	AMERICAN AIR BALANCE COUNCIL	DEG	DEGREE	IFC	INTERNATIONAL FIRE CODE	PVC	POLYVINYL CHLORIDE
AAV	AUTOMATIC AIR VENT	DIA	DIAMETER	IFGC	INTERNATIONAL FUEL GAS CODE	S/A	SUPPLY AIR
ADA	AMERICAN WITH DISABILITIES ACT GUIDELINES	DIM	DIMENSION	IMC	INTERNATIONAL MECHANICAL CODE	SCFM	STANDARD CUBIC FEET PER MINUTE
AD	ACCESS DOOR	DN	DOWN	IN	INCHES	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
AFF	ABOVE FINISHED FLOOR	DWG	DRAWING	IN. WC.	INCHES WATER COLUMN	SP	STATIC PRESSURE
AFG	ABOVE FINISHED GRADE	E/A	EXHAUST AIR	KPA	KILOPASCALS	SQ	SQUARE
AMPS	AMPERES	EFF	EFFICIENCY	LAV	LAVATORY	T/A	TRANSFER AIR
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	EF-X	EXHAUST FAN DESIGNATOR	LB/LBS	POUND(S)	TEMP	TEMPERATURE
APD	AIR PRESSURE DROP	ENT	ENTERING	LF	LINEAL FEET	TOD	TOP OF DUCT
ARCH	ARCHITECTURAL	ESP	EXTERNAL STATIC PRESSURE	LWT	LEAVING WATER TEMPERATURE	TSP	TOTAL STATIC PRESSURE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	EWT	ENTERING WATER TEMPERATURE	MAX	MAXIMUM	T'STAT	THERMOSTAT
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	EXIST, (E)	EXISTING	MBH	THOUSAND BTUH	TTL	TOTAL
ASTM	AMERICAN STANDARD FOR TESTING AND MATERIALS	EXH	EXHAUST	MFGR	MANUFACTURER	TYP	TYPICAL
AWS	AMERICAN WELDING SOCIETY	F	FAHRENHEIT	MIN	MINIMUM	UBC	UNIFORM BUILDING CODE
AWWA	AMERICAN WATER WORKS ASSOCIATION	FT	FEET	MOA	MUNICIPALITY OF ANCHORAGE	UL	UNDERWRITERS LABORATORY
BAS	BUILDING AUTOMATION SYSTEM	FCO	FLOOR CLEAN OUT	MTD	MOUNTED	UPC	UNIFORM PLUMBING CODE
BB-X	BASEBOARD RADIATION DESIGNATOR	FD-X	FLOOR DRAIN DESIGNATOR	NC	NOISE CRITERIA	V	VENT
BDD	BACKDRAFT DAMPER	FLA	FULL LOAD AMPS	N.C.	NORMALLY CLOSED	VAC	VOLT-AC
BLDG	BUILDING	FPF	FINS PER FOOT	NEBB	NATIONAL ENVIRONMENTAL BALANCING BUREAU	VDC	VOLT-DC
BOD	BOTTOM OF DUCT	FPM	FEET PER MINUTE	NEC	NATIONAL ELECTRICAL CODE	VEL	VELOCITY
BTUH	BRITISH THERMAL UNIT/HOUR	FT	FEET	NFPA	NATIONAL FIRE PROTECTION AGENCY	VTR	VENT THRU ROOF
CAP	CAPACITY	GA	GAUGE	NO.	NUMBER	W	WASTE
C/A	COMBUSTION AIR	GAL	GALLONS	N.O.	NORMALLY OPEN	W/O	WITHOUT
CFM	CUBIC FEET PER MINUTE	GPM	GALLONS PER MINUTE	NSF	NATIONAL SANITATION FOUNDATION	WC	WATER COLUMN
CLG	CEILING	HD	HEAD	NTS	NOT TO SCALE	WCO	WALL CLEAN OUT
CONT	CONTINUED	HP	HORSEPOWER	O/A	OUTSIDE AIR	WG	WATER GAUGE
C.O. /CO	CLEANOUT	HW	HOT WATER	P-X	PLUMBING FIXTURE DESIGNATOR	WHA	WATER HAMMER ARRESTOR
CONN	CONNECTION	HWC	HOT WATER CIRCULATED	PD	PRESSURE DROP	WPD	WATER PRESSURE DROP
CU. FT.	CUBIC FEET	IAPMO	INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS	PDI	PLUMBING AND DRAINAGE INSTITUTE		
CW	COLD WATER	IBC	INTERNATIONAL BUILDING CODE	PH	PHASE		
dB	DECIBLES			PSI	POUND PER SQUARE INCH		

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	MANUFACTURER	MODEL	CW	HW/TW	WASTE	VENT	TRAP	COLOR/FINISH	TRIM/REMARKS
P-1	WATER CLOSET – ADA	AMERICAN STANDARD	AFWALL – 2257.101	1	--	4	2	--	WHITE	PROVIDE W/WALL CARRIER, ELONGATED SEAT, AND SLOAN SOLAR/BATTERY POWERED SOLIS MODEL 8111-1.6 FLUSH VALVE. MOUNT AT ADA HEIGHT
P-2	WATER CLOSET	AMERICAN STANDARD	AFWALL – 2257.101	1	--	4	2	--	WHITE	PROVIDE W/WALL CARRIER, ELONGATED SEAT, AND SLOAN SOLAR/BATTERY POWERED SOLIS MODEL 8111-1.6 FLUSH VALVE
P-3	URINAL	AMERICAN STANDARD	WASHBROOK – 6590.001	3/4	--	2	1-1/2	--	WHITE	PROVIDE W/WALL CARRIER AND SLOAN SOLAR/BATTERY POWERED SOLIS MODEL 8186-1 FLUSH VALVE
P-4	LAVATORY – DOUBLE	BRADLEY	OMNIDECK – LD-3010	1/2	1/2	1-1/2	1-1/4	1-1/4	PER ARCH.	DOUBLE SL-TR1 RECTANGULAR UNDERMOUNT BASIN CONFIGURATION, WITH EASE EDGE, PROVIDE W/ WALL CARRIER, AND BRADLEY ZEN SERIES S53-3700 VERGE AC ADAPTER FAUCET WITH BATTERY BACKUP(120V), GRID DRAIN, ASSE 1070 TEMPERING VALVE FOR HOT WATER SUPPLY, PROTECTIVE COVER FOR CW/HW/W PIPING AND ANGLE STOPS
P-5	LAVATORY – SINGLE	BRADLEY	OMNIDECK – LD-3010	1/2	1/2	1-1/2	1-1/4	1-1/4	PER ARCH.	SINGLE SL-TR1 RECTANGULAR UNDERMOUNT BASIN CONFIGURATION, WITH EASE EDGE, PROVIDE W/ WALL CARRIER, AND BRADLEY ZEN SERIES S53-3700 VERGE AC ADAPTER FAUCET WITH BATTERY BACKUP(120V), GRID DRAIN, ASSE 1070 TEMPERING VALVE FOR HOT WATER SUPPLY, PROTECTIVE COVER FOR CW/HW/W PIPING AND ANGLE STOPS
P-6	FLOOR SINK – JANITOR	FIAT	MSB 3624	1/2	1/2	3	2	3	WHITE	FLOOR MOUNTED, PROVIDE WITH SERVICE FAUCET 830-AA, HOSE AND HOSE BRACKET 832-AA, VINYL BUMPERGUARD E-77-AA, AND MOP HANGER 889-CC

RADIANT PANEL SCHEDULE

SYMBOL	MANUFACTURER	MODEL	EWT	LWT	GPM	BTU/FT	PANEL SIZE	REMARKS
RP-1	ENGINEERED AIR	AIRTEX HEF-2	180°F	160°F	PER PLANS	389	24IN WIDE	4 TUBE ARRANGEMENT

FAN SCHEDULE

						TSP	MOTOR DATA				
SYMBOL	MANUFACTURER	MODEL	TYPE	SERVICE	CFM	IN W.C.	HP	VOLTAGE	DRIVE	SONES	REMARKS
EF-1	GREENHECK	SQ-80-VG	CENTRIFUGAL	BATHROOM EXHAUST	240	0.5	1/4	120V/1PH	DIRECT	<9	EC MOTOR, UL LISTED, SPEED CONTROLLER DIAL ON MOTOR
EF-2	GREENHECK	SQ-80-VG	CENTRIFUGAL	BATHROOM EXHAUST	240	0.5	1/4	120V/1PH	DIRECT	<9	EC MOTOR, UL LISTED, SPEED CONTROLLER DIAL ON MOTOR

AIR INLET/OUTLET SCHEDULE

SYMBOL	MANUFACTURER	MODEL	TYPE	USE	MATERIAL	FINISH	CFM	FACE SIZE (IN.)	NC	REMARKS
	TITUS	50F	CEILING	EXHAUST	ALUMINUM	PER ARCH	PER PLANS	12"x12"	<10	FRAME FOR CEILING AS APPLICABLE, PROVIDE TRANSITION FROM FACE SIZE TO OUTLET SIZE INDICATED ON PLANS

SEQUENCE

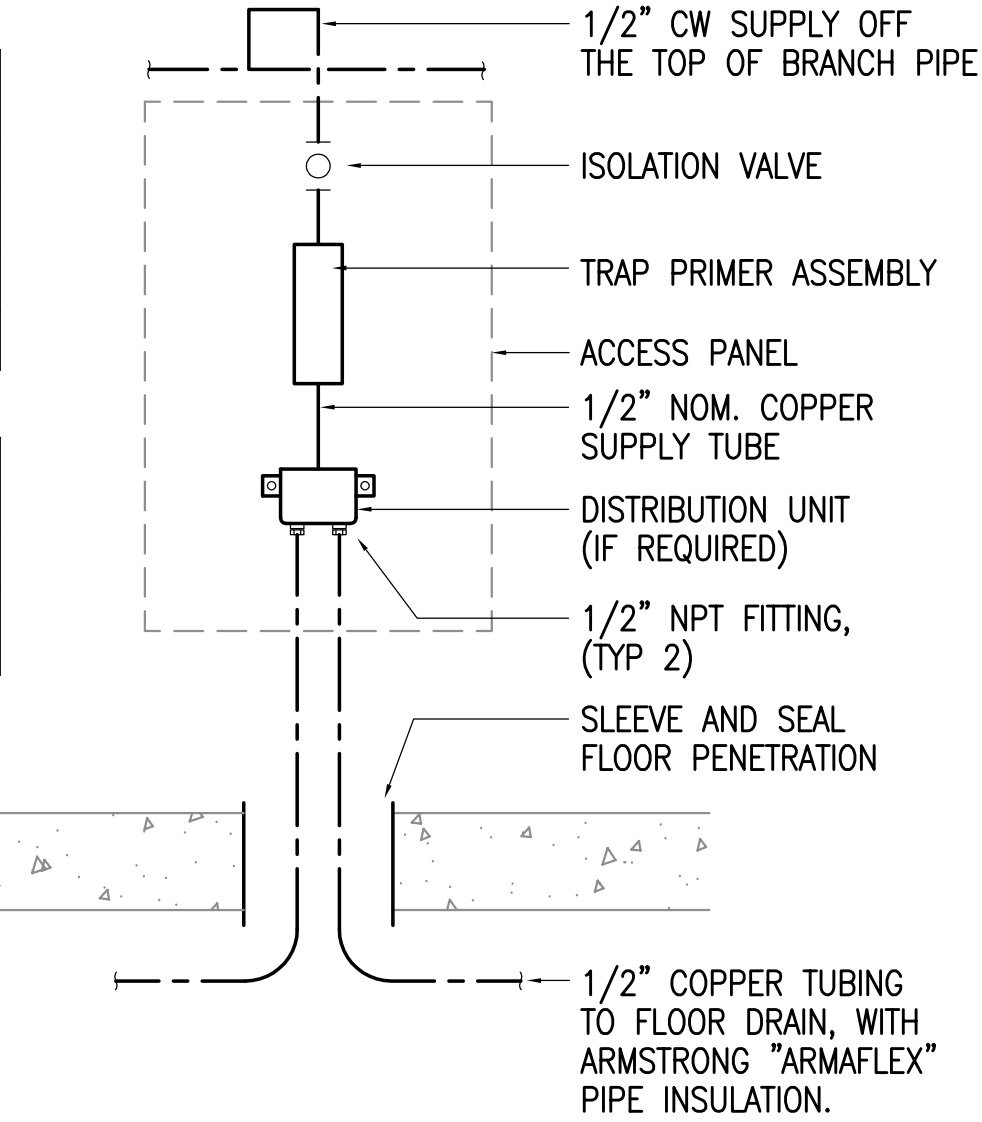
RADIANT PANEL (RP-1)
UPON CALL FOR HEAT FROM ZONE THERMOSTAT CYCLE 2-WAY CONTROL VALVE TO MAINTAIN SPACE TEMPERATURE.

EXHAUST FAN (EF-1 AND EF-2)
FAN SHALL RUN CONTINUOUSLY, SPEED CONTROLLER TO BE USED FOR BALANCING.

PROJECT NOTES

FIRE SPRINKLER
CONTRACTOR SHALL MODIFY EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED FOR NEW CONFIGURATION. SYSTEM TO BE DESIGNED BY A REGISTERED FIRE PROTECTION ENGINEER OR CERTIFIED NICET LEVEL III OR IV.

REMODEL AREA SHALL BE HAZARD LEVEL 1.



1 TRAP PRIMER DETAIL

NO SCALE

RSA

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VALDEZ, ALASKA

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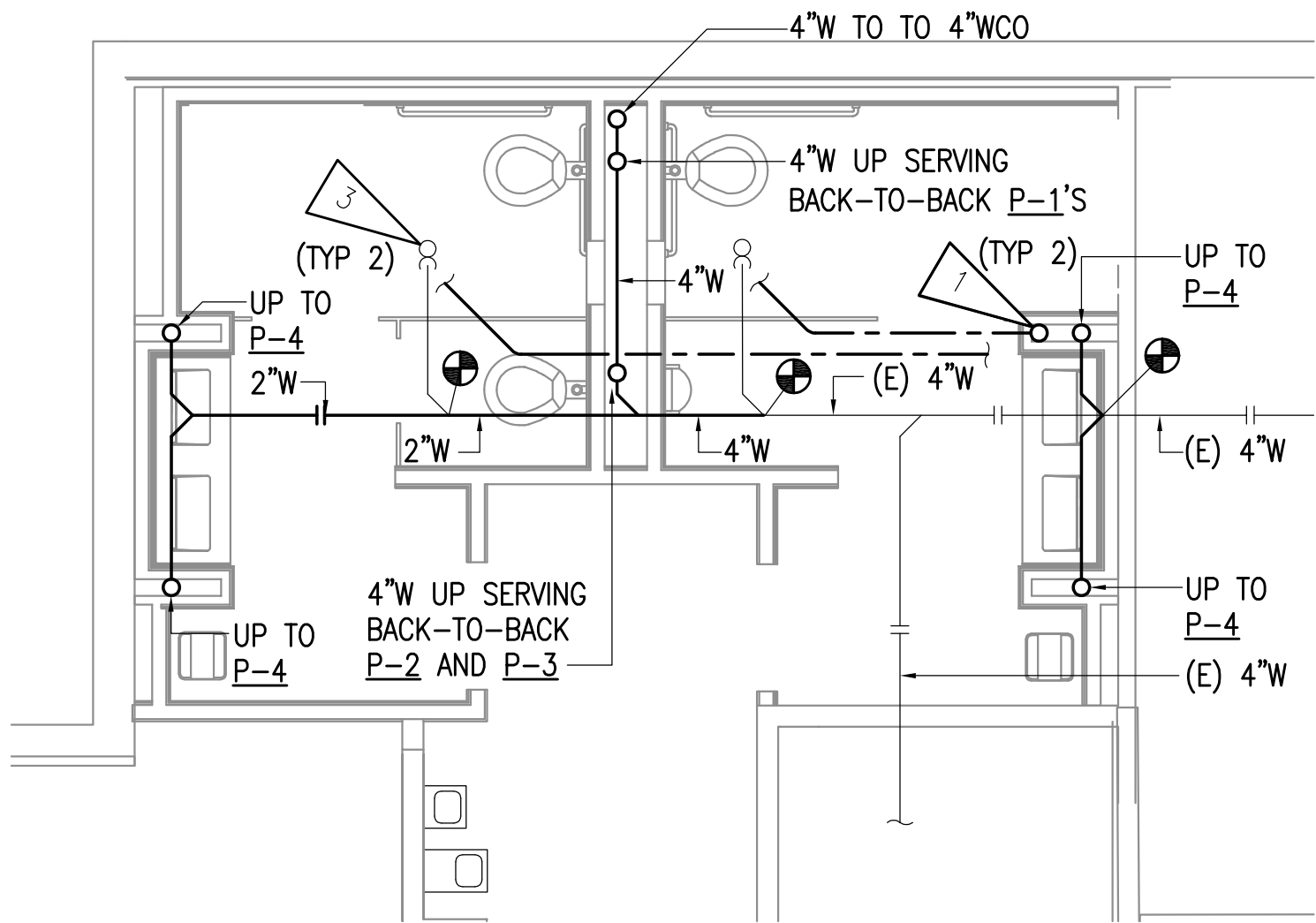
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AUGUST 25, 2021

ABBREVIATIONS,
LEGEND, SCHEDULES,
AND SEQUENCE

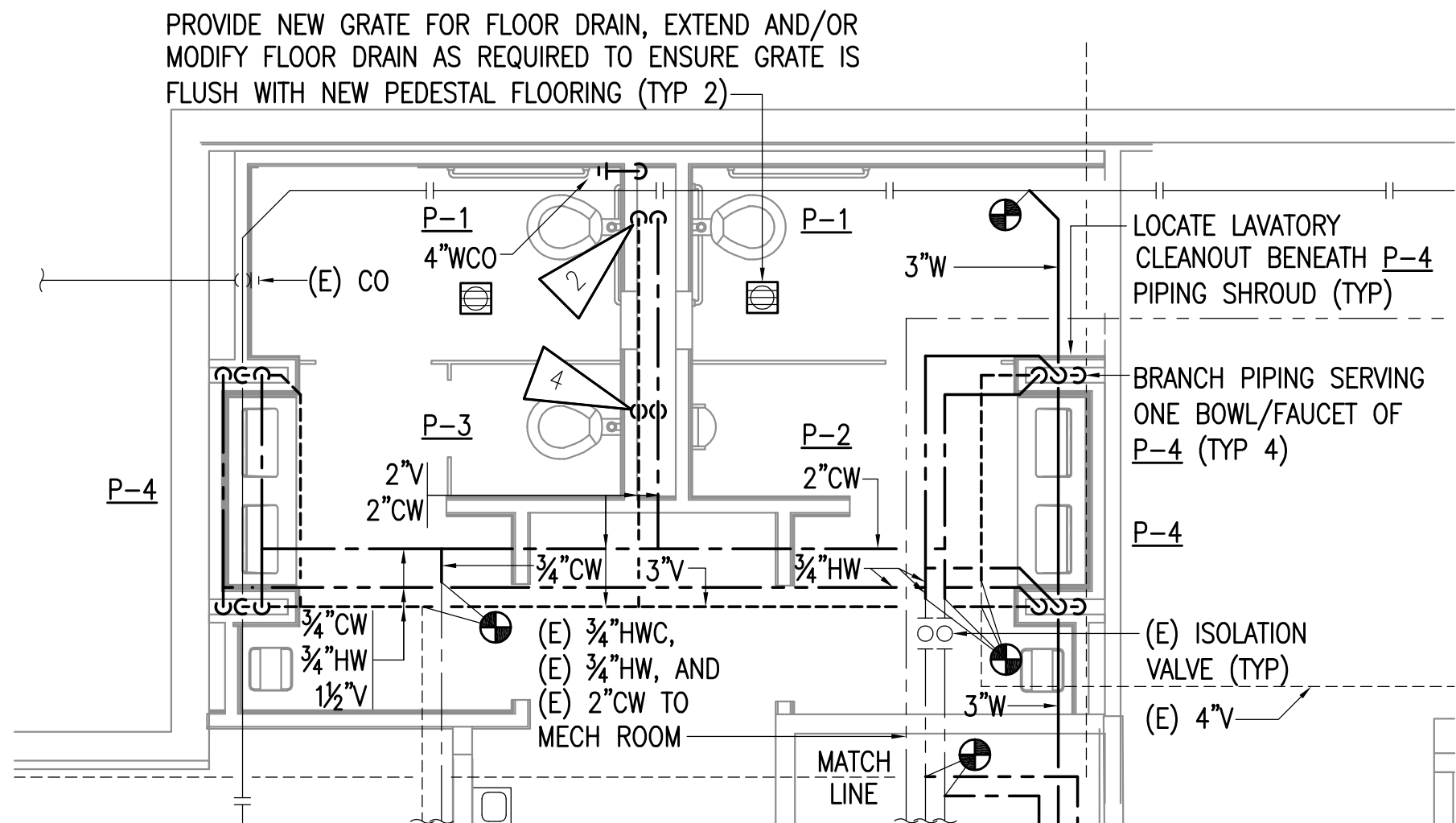
M0.01

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1 BASEMENT UNDERFLOOR
PLUMBING RENOVATION PLAN - AREA A

1/4" = 1'-0"



2 BASEMENT ABOVE FLOOR
PLUMBING RENOVATION PLAN - AREA A

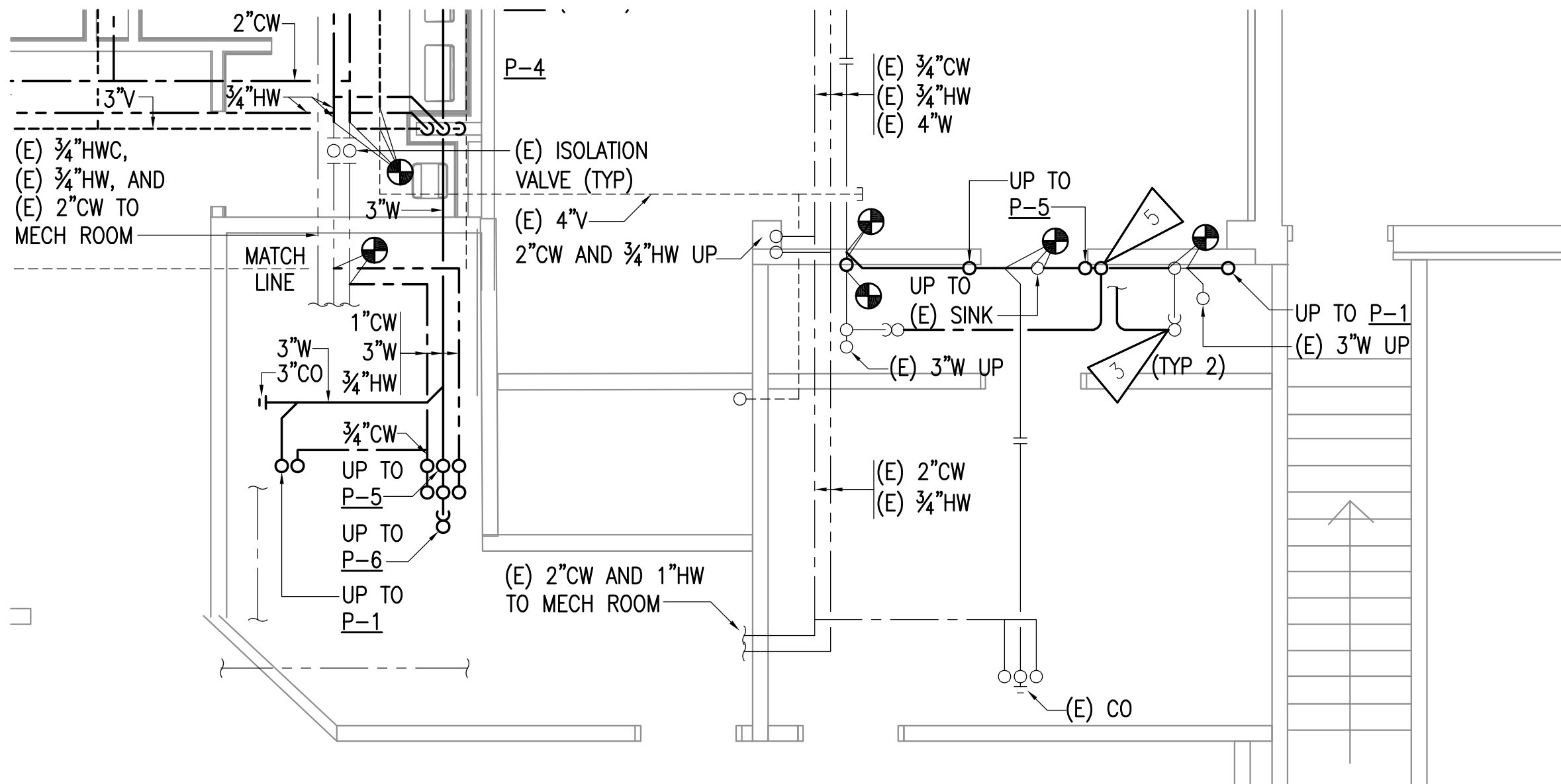
1/4" = 1'-0"

GENERAL NOTES

- EXISTING SYSTEMS SHOWN ON THE DRAWINGS ARE FROM RECORD DRAWINGS AND NON-DESTRUCTIVE WALK-THROUGHS OF THE FACILITY. ACTUAL SYSTEMS MAY VARY FROM THE INFORMATION INDICATED ON THE DRAWINGS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, LOCATIONS, AND SIZES BEFORE START OF WORK.
- BUILDING COMPONENTS DAMAGED BY ASSOCIATION TO RENOVATION WORK SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING. COORDINATE WITH ARCHITECTURAL.
- BRANCH PIPING TO INDIVIDUAL PLUMBING FIXTURES SHALL EQUAL THE SIZE REQUIRED BY THE PLUMBING FIXTURES SCHEDULE UNLESS OTHERWISE INDICATED.
- PROVIDE WATER HAMMER ARRESTOR SHOCK-TROL DEVICES AT EACH FIXTURE'S SEPARATE WATER CONNECTION, SIZE AND LOCATION AS REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PROVIDE ACCESS DOORS OF APPROPRIATE SIZE AS REQUIRED TO ALL EQUIPMENT AND VALVES LOCATED ABOVE HARD LID CEILINGS OR WITHIN WALLS REQUIRING PERMANENT ACCESS.

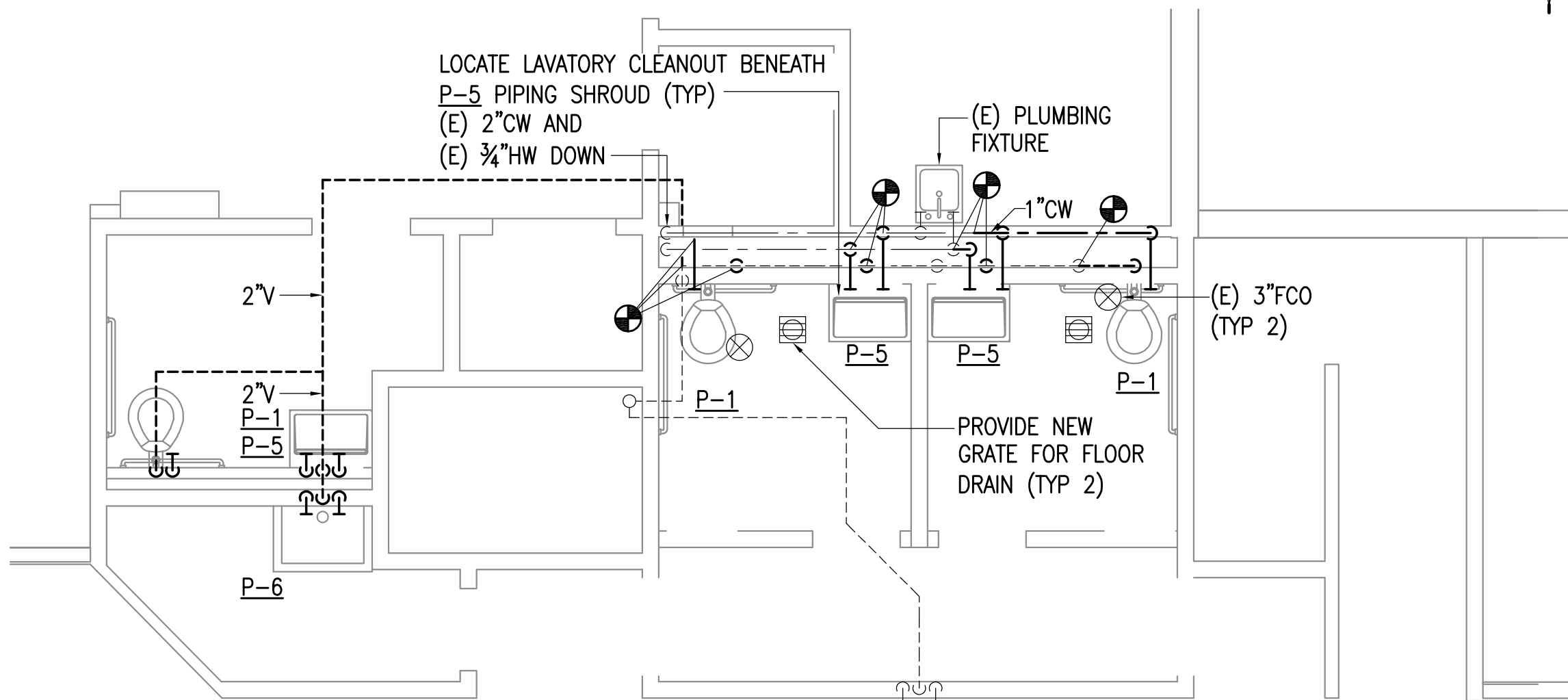
SHEET NOTES

- 1/2" CW UP TO TRAP PRIMER. LOCATE TRAP PRIMER OFF BRANCH PIPING SERVING P-4 ABOVE. PROVIDE ACCESS DOOR IN WALL FOR MAINTENANCE ACCESS. SEE DETAIL 1/M0.01.
- 2" V AND 2" CW DOWN SERVING BACK-TO-BACK P-1'S.
- ADD TRAP PRIMER CONENCTION TO EXISTING FLOOR DRAIN AND ROUTE PIPING AS INDICATED TO TRAP PRIMER LOCATED IN WALL.
- 2" V AND 1 1/2" CW DOWN SERVING BACK-TO-BACK P-2 AND P-3.
- 1/2" CW UP TO TRAP PRIMER. LOCATE TRAP PRIMER OFF BRANCH PIPING SERVING P-5 ABOVE. PROVIDE ACCESS DOOR IN WALL FOR MAINTENANCE ACCESS. SEE DETAIL 1/M0.01.



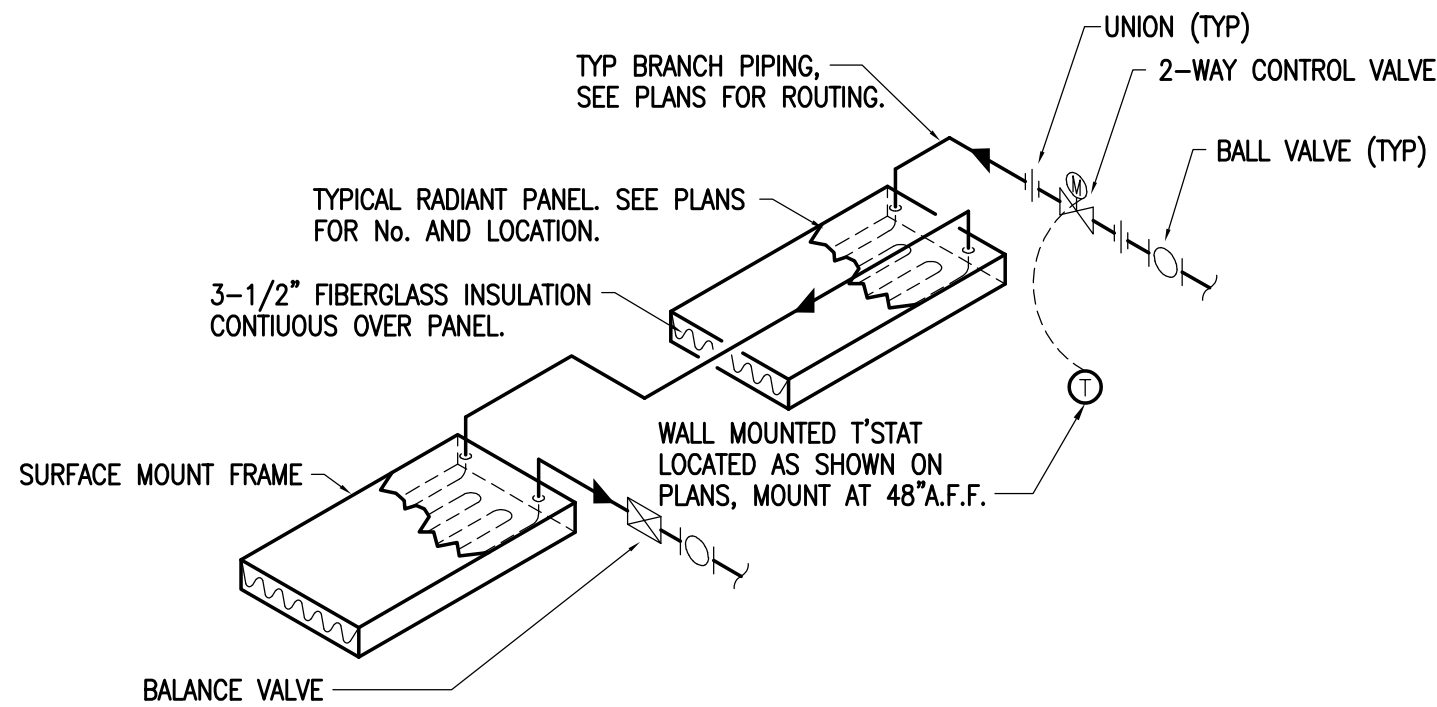
3 BASEMENT ABOVE FLOOR
PLUMBING RENOVATION PLAN - AREA B

1/4" = 1'-0"

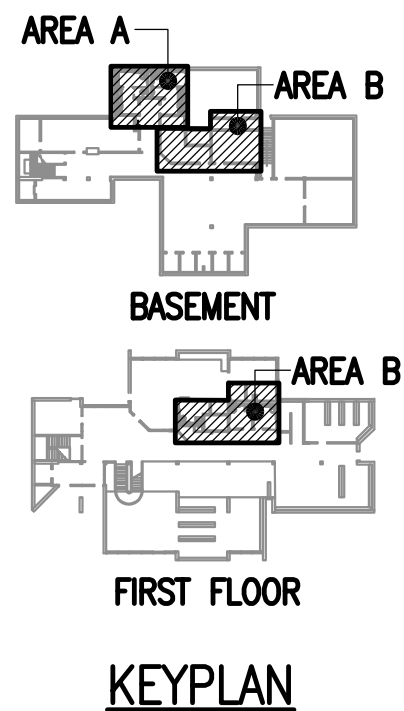


4 FIRST FLOOR ABOVE FLOOR
PLUMBING RENOVATION PLAN - AREA B

1/4" = 1'-0"



5 RADIANT PANEL DETAIL
NO SCALE



REVISIONS

No Description Date

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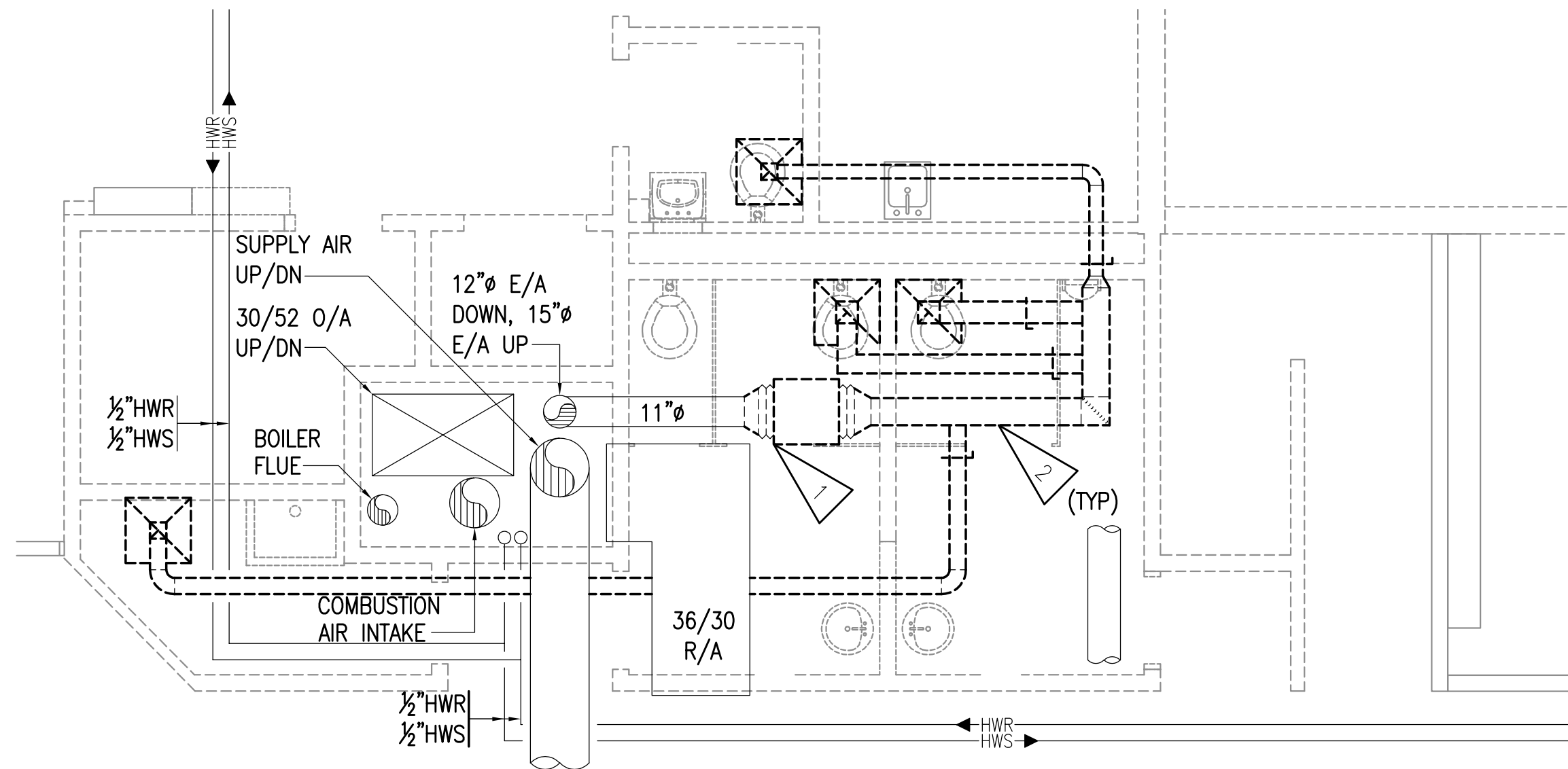
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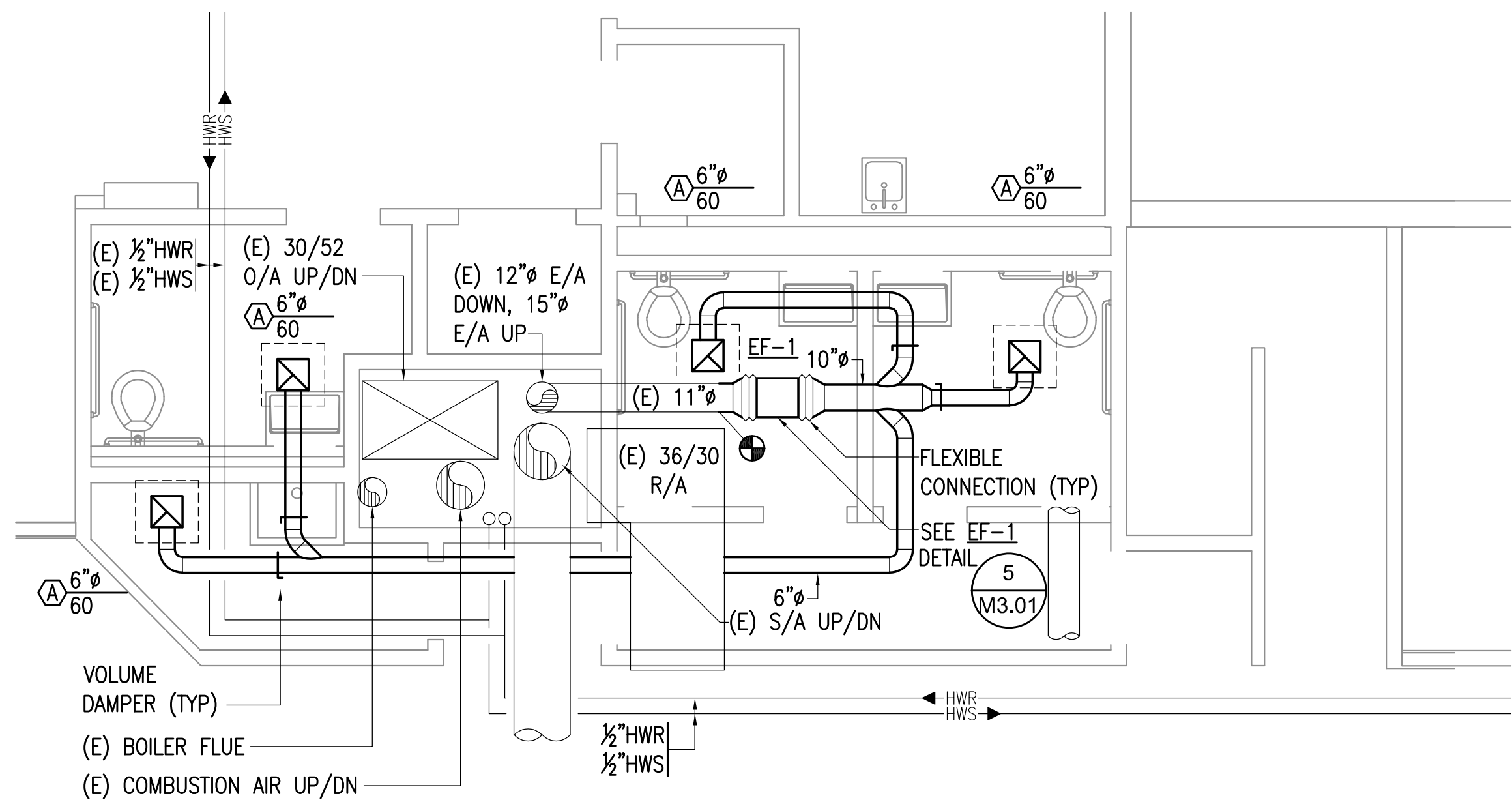
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RSA Project No.: M1083
Client Project No.:

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AUGUST 25, 2021

PLUMBING
RENOVATION PLANS
M2.01



3 FIRST FLOOR HVAC DEMOLITION PLAN - AREA B
1/4" = 1'-0"

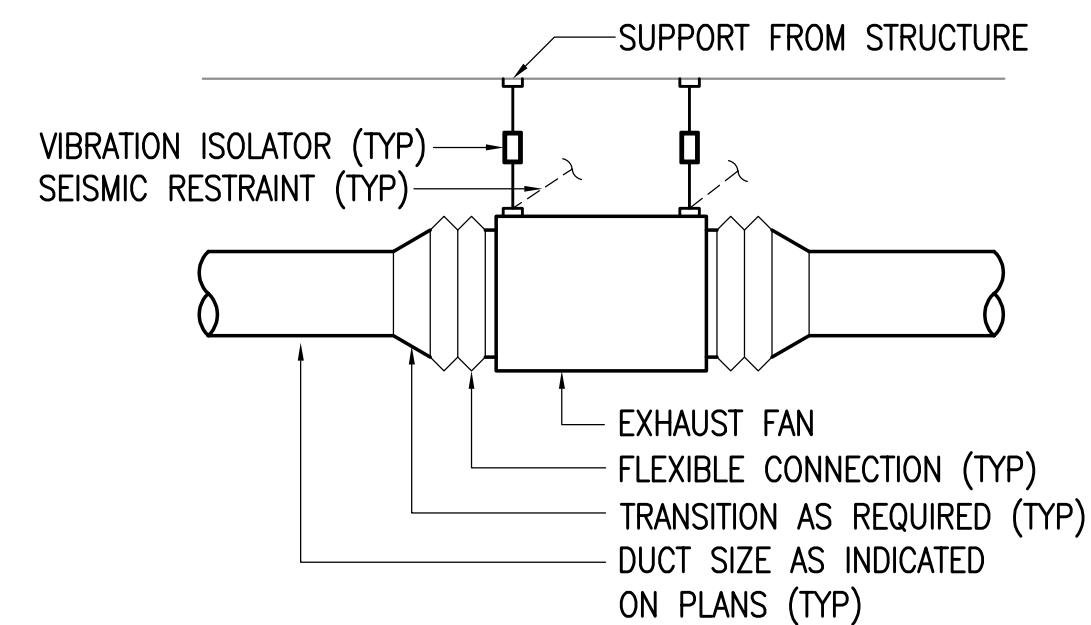


4 FIRST FLOOR HVAC RENOVATION PLAN - AREA B
1/4" = 1'-0"

SHEET NOTES

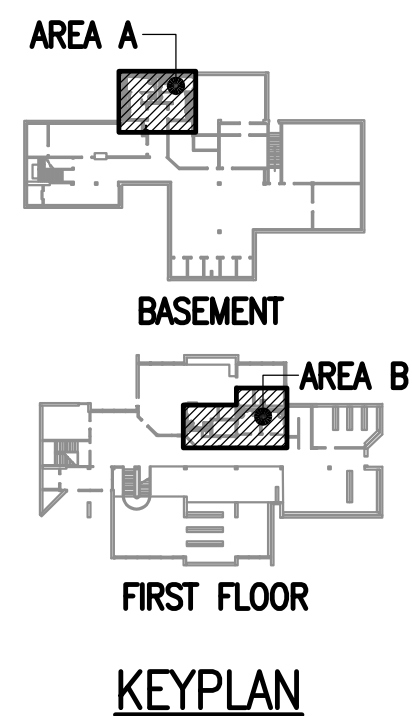
- F. BRANCH PIPING TO INDIVIDUAL TERMINAL HEATING UNITS SHALL BE $\frac{3}{4}$ " UNLESS OTHERWISE INDICATED.
- G. PROVIDE ACCESS DOORS OF APPROPRIATE SIZE AS REQUIRED TO ALL EQUIPMENT AND VALVES LOCATED ABOVE HARD LID CEILINGS OR WITHIN WALLS REQUIRING PERMANENT ACCESS.
- H. INSTALL THERMOSTATS ON WALLS AT APPROXIMATE LOCATIONS INDICATED AFTER INSTALLATION OF FURNISHINGS. COORDINATE FINAL LOCATION AS REQUIRED SO THAT FURNISHINGS DO NOT COVER OR BLOCK ACCESS TO THERMOSTATS. DO NOT INSTALL ANY THERMOSTATS BEHIND DOORS.
- I. CLEAN ALL GRILLES AFTER REMODEL WORK IS COMPLETED.
- J. BRANCH DUCTWORK TO INDIVIDUAL GRILLES SHALL EQUAL THE GRILLE NECK SIZE UNLESS OTHERWISE INDICATED.

- 1 DEMOLISH EXISTING EXHAUST FAN, SUPPORTS, FLEXIBLE TRANSITIONS, CONTROL WIRING AND ALL ASSOCIATED ACCESSORIES.
- 2 DEMOLISH EXISTING DUCTWORK, FLEX DUCT, GRILLES, VOLUME DAMPERS AND ALL ASSOCIATED ACCESSORIES TO EXTENT SHOWN.
- 3 PROVIDE EF-2 WITH FLEXIBE CONNECTIONS, TRANSITION DUCTWORK AS REQUIRED TO CONNECT, SEE DETAIL 5/M3.01.
- 4 CONNECT $\frac{3}{4}$ "HWR LINE INTO MAIN WHERE MAIN IS A MINIMUM OF $\frac{3}{4}$ " IN SIZE.



5 EXHAUST FAN DETAIL

NO SCALE



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

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AUGUST 25, 2021

HVAC DEMOLITION AND RENOVATION PLANS

M3.01

LEGEND			
	EMERGENCY LIGHT		FRACTIONAL HORSEPOWER MOTOR STARTER
	LINEAR LIGHT FIXTURE – RECESS MTD		FIRE ALARM STROBE LIGHT WALL MOUNTED
	LINEAR LIGHT FIXTURE – SURFACE MTD CLG		PHOTOELECTRIC SMOKE DETECTOR
	LINEAR LIGHT FIXTURE – WALL MTD		DUPLEX RECEPTACLE TO BE REMOVED (DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED TYPICAL)
	LIGHT FIXTURE – RECESSED DOWNLIGHT		EQUIPMENT TAG (No. INDICATES TYPE)
	FIXTURE TAG (LETTER INDICATES TYPE)	AC	ABOVE COUNTER
	SINGLE POLE SWITCH	AFF	ABOVE FINISHED FLOOR
	OCCUPANCY SENSOR WALL SWITCH (DUALTECH)	E	DENOTES EXISTING ITEM
	OCCUPANCY SENSOR – CEILING MOUNTED (DUALTECH)	LED	LIGHT EMITTING DIODE
	EXISTING PANEL	LM	LUMENS
	DUPLEX RECEPTACLE	TTB	TELEPHONE TERMINAL BACKBOARD
	DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER	TYP	TYPICAL
	JUNCTION BOX	UON	UNLESS OTHERWISE NOTED
	MOTOR (SIZED AS NOTED)	K	KELVIN

TYPE	LOCATION	MANUFACTURER AND CATALOG NUMBER (OR APPROVED EQUAL)	LUMINAIRE DESCRIPTION	MOUNTING		LAMPS	BALLAST/DRIVER	TOTAL INPUT WATTS
				TYPE	HEIGHT			
A	AS SHOWN	LITHONIA #2BLT2–33LHE–ADP–EZ1–LP840	2’X2’ HIGH EFFICIENCY LED TROFFER WITH SMOOTH REFLECTOR, AND STATIC AIR FUNCTION.	RECESSED	CEILING	4000K LED 3400LM	120/277V 0–10V DIMMING TO 1%	24
A1	AS SHOWN	LITHONIA #2BLT2X–33LHE–ADP–EZ1–LP840	SAME AS FIXTURE TYPE ‘A’ EXCEPT SURFACE MOUNTED.	SURFACE	CEILING	4000K LED 3400LM	120/277V 0–10V DIMMING TO 1%	24
B	BASEMENT	MARK ARCHITECTURAL LIGHTING #SPRLD–LOP–5FT–RLP–FL–80CRI–40K–400LMF–NODIM–MVOLT	5’Lx4–1/4”W LED LINEAR SLOT FIXTURE WITH REGRESSED LENS AND SHEETROCK INSTALLATION.	RECESSED	CEILING	4000K LED 1835LM	120/277V	17
C	FIRST FLOOR	LITHONIA #BLWP2–20LHE–ADSM–EZ1–LP840	24”Lx5.5”W LOW PROFILE LED WRAPAROUND, HIGH EFFICIENCY 3000LM, CURVED SMOOTH DIFFUSER.	WALL	6” ABOVE MIRROR	4000K LED 2032LM	120/277V 0–10V DIMMING TO 1%	16
E	AS SHOWN	LITHONIA #ELM2L–SDRT	EMERGENCY FIXTURE, WHITE, COMPACT HOUSING, DUAL HEAD, WALL MOUNTED, SELF DIAGNOSTICS AND NICKEL CADMIUM BATTERY.	WALL	7’–6” AFF	LED 220LM	120/277V	2

ELECTRICAL LOAD CALCULATION	
PANEL A:	
EXISTING LOADS REMOVED (IN KVA):	
LIGHTING	0.60 KVA
RECEPTACLES	0.54
EXHAUSTS FAN	0.70 KVA
SUBTOTAL:	1.83 KVA
TOTAL LOADS REMOVED: -1.83 KVA	
TOTAL LOADS REMOVED (IN AMPS): -2 A	
NEW LOADS ADDED (IN KVA)	
LIGHTING	0.21 KVA
RECEPTACLES	0.54 KVA
(3)P-5	0.03 KVA
EF-1	0.70 KVA
SUBTOTAL:	1.472 KVA
TOTAL LOADS ADDED: 1.47 KVA	
TOTAL LOADS ADDED (IN AMPS): 2 A	
NET LOAD CHANGE: -0.36 KVA	
NET LOAD CHANGE (IN AMPS): -0.43 A	
RESULT: THE EXISTING PANEL HAS ADEQUATE CAPACITY FOR THE NEW AND EXISTING LOADS.	
PANEL B:	
EXISTING LOADS REMOVED (IN KVA):	
LIGHTING	0.52 KVA
EXHAUST FAN	0.70 KVA
SUBTOTAL:	1.22 KVA
TOTAL LOADS REMOVED: -1.22 KVA	
TOTAL LOADS REMOVED (IN AMPS): -1 A	
NEW LOADS ADDED (IN KVA)	
LIGHTING	0.18 KVA
RECEPTACLES	0.36 KVA
(4)P-4	0.04 KVA
EF-1	0.70 KVA
SUBTOTAL:	1.27 KVA
TOTAL LOADS ADDED: 1.27 KVA	
TOTAL LOADS ADDED (IN AMPS): 2 A	
NET LOAD CHANGE: 0.05 KVA	
NET LOAD CHANGE (IN AMPS): 0.06 A	
RESULT: THE ADDED LOAD IS INSIGNIFICANT, EXISTING PANEL IS ASSUMED TO HAVE ADEQUATE CAPACITY FOR THE NEW AND EXISTING LOADS.	

EXISTING LIGHT FIXTURE SCHEDULE		
TYPE	LUMINAIRE DESCRIPTION	VA
A	2’x4’ RECESSED 4 LAMP FIXTURE WITH FLUORESCENT T8 LAMPS.	120
B	1’x4’ RECESSED 2 LAMP FIXTURE WITH FLUORESCENT T8 LAMPS.	60
C	7”x4’ WALL MOUNTED WRAPAROUND 2 LAMP FIXTURE WITH FLUORESCENT T8 LAMPS	60
C1	7”x3’ WALL MOUNTED WRAPAROUND 2 LAMP FIXTURE WITH FLUORESCENT T8 LAMPS	60
D	4’ LONG WALL MOUNTED 2 LAMP FIXTURE WITH FLUORESCENT T12 LAMPS.	100
F	1x4 RECESSED 1 LAMP FIXTURE WITH FLUORESCENT T8 LAMPS.	30
G	SQUARE SELF–CONTAINED EM FIXTURE WITH TEST LAMP AND SWITCH	8
H	1’X2’ SURFACE MOUNT 2LT8 FLUORESCENT FIXTURE	17

REVISIONS		
No	Description	Date

R

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(907)276-6521
Corporate No.: AECC542

STATE OF ALASKA

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CELEBRATING

322nd

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REGISTERED PROFESSIONAL ENGINEER

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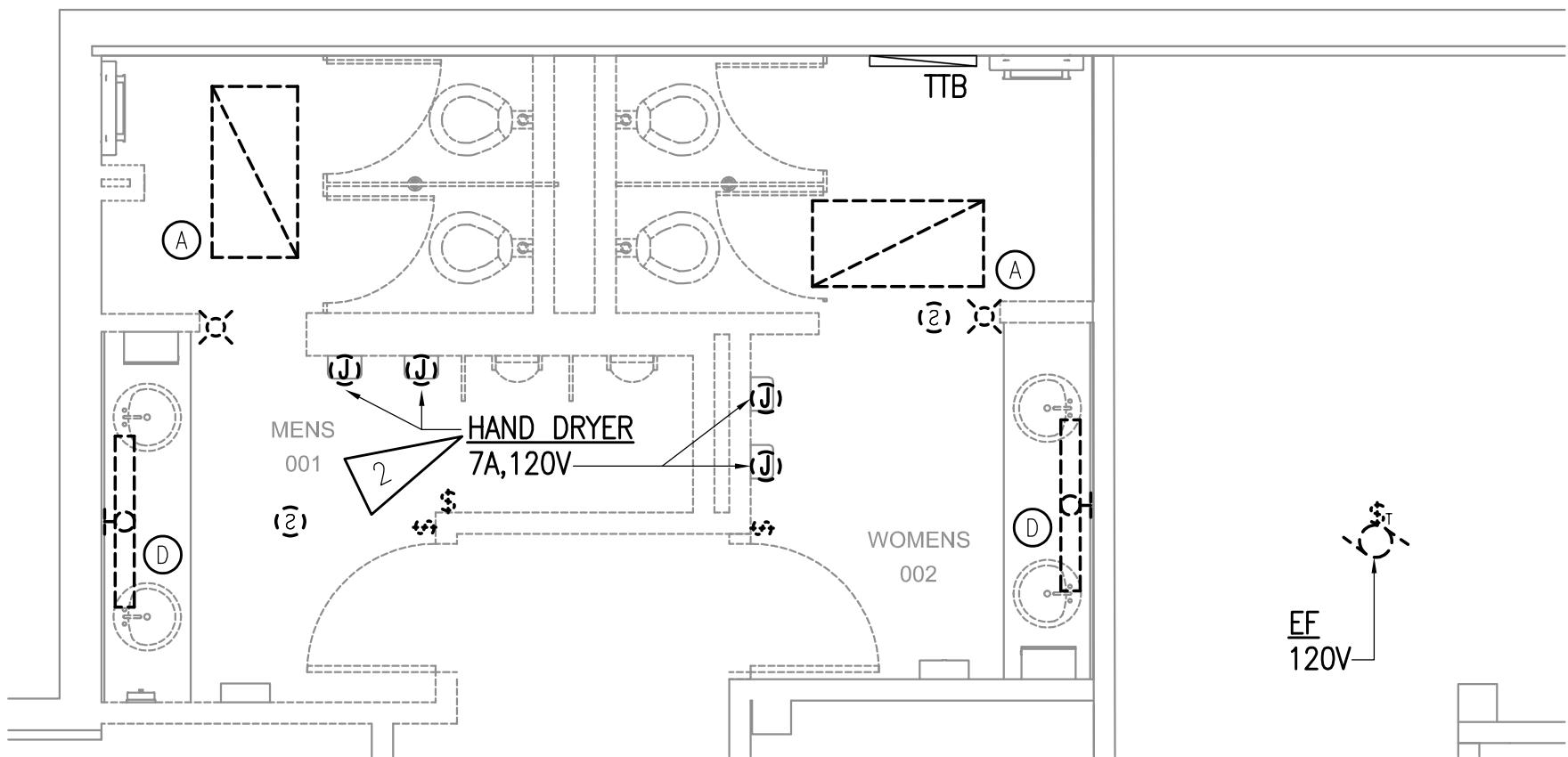
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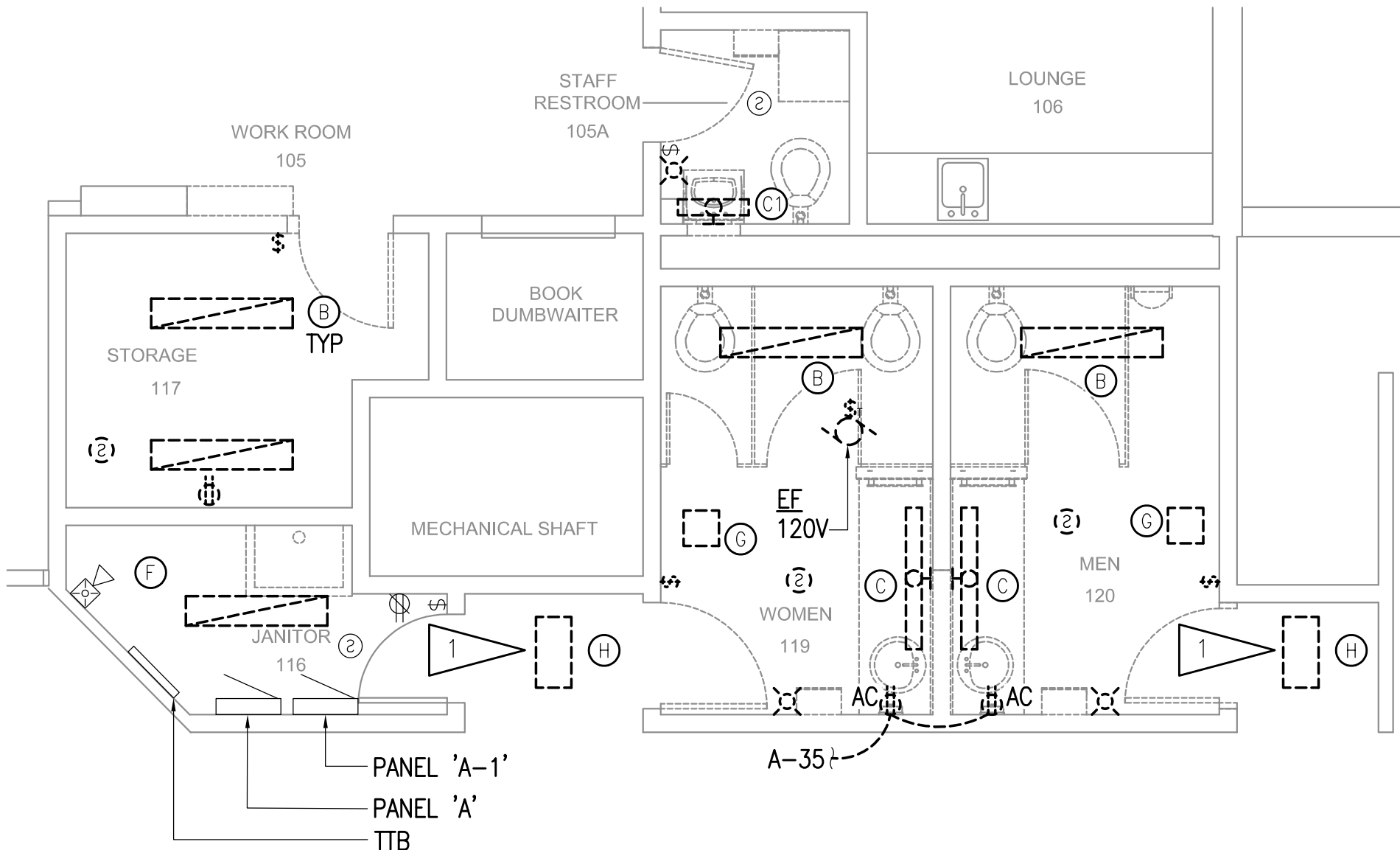
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AUGUST 25, 2021

LEGEND, SCHEDULE,
AND CALCULATIONS

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1 BASEMENT ELECTRICAL DEMOLITION PLAN
1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL DEMOLITION PLAN
1/4" = 1'-0"

GENERAL NOTES:

- A. THE INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM AS-BUILT DRAWINGS AND A NON-DESTRUCTIVE WALK THROUGH OF THE FACILITY. THERE IS NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF THE INFORMATION SHOWN HERE-IN. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS SCHEDULED FOR DEMOLITION PRIOR TO START OF WORK.
- B. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIALS. THE CONTRACTOR SHALL DELIVER SALVAGED MATERIALS TO A WAREHOUSE AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL DISPOSE OF, OFF SITE, ALL UNWANTED MATERIALS.
- C. DASHED OR DOTTED LINES INDICATE ITEMS TO BE REMOVED. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
- D. SALVAGE LIGHTING, RECEPTACLE, AND EXHAUST FAN CIRCUITS FOR REUSE.
- E. SALVAGE FIRE DETECTION AND ALARM DEVICES AND NAC/SLC CIRCUITS FOR RELOCATION.

SHEET NOTES

- 1. DEMOLISH FIXTURE AND SAVE WIRING FOR REUSE WITH NEW FIXTURE IN SAME/SIMILAR LOCATION.
- 2. EXISTING HAND DRYERS CIRCUITED FROM PANEL 'C'. DEMOLISH BACK TO SOURCE AND MARK EXISTING BREAKERS AS SPARE.

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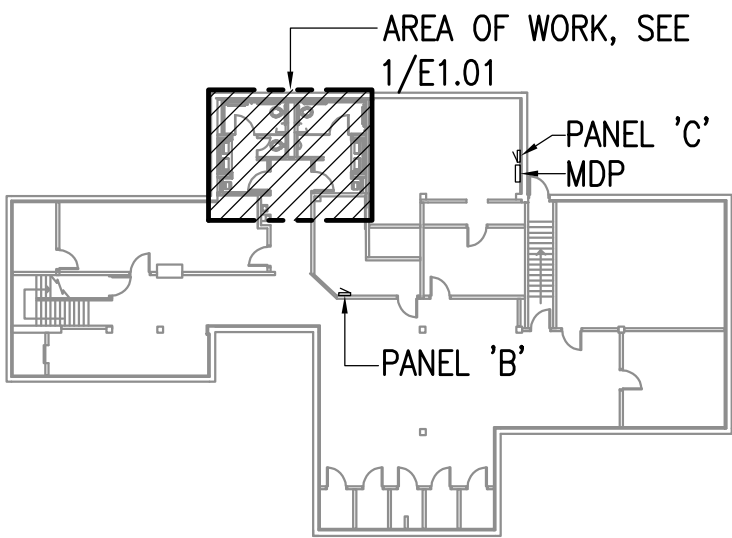
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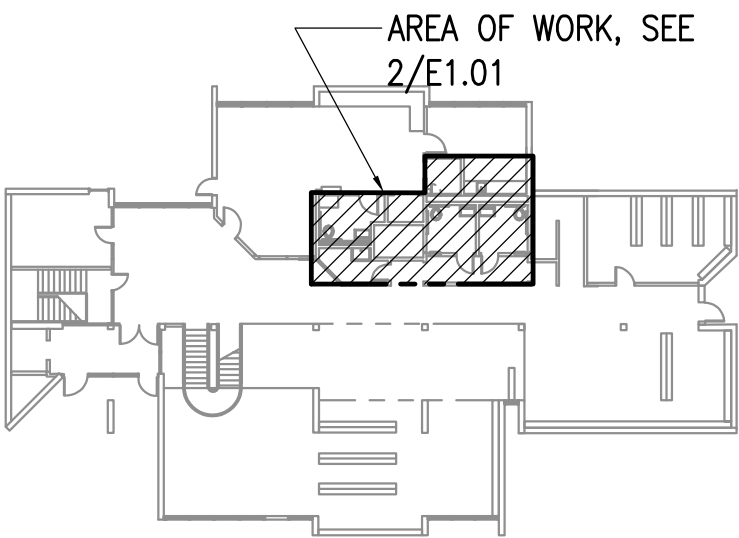
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ELECTRICAL
DEMOLITION PLANS

E1.01

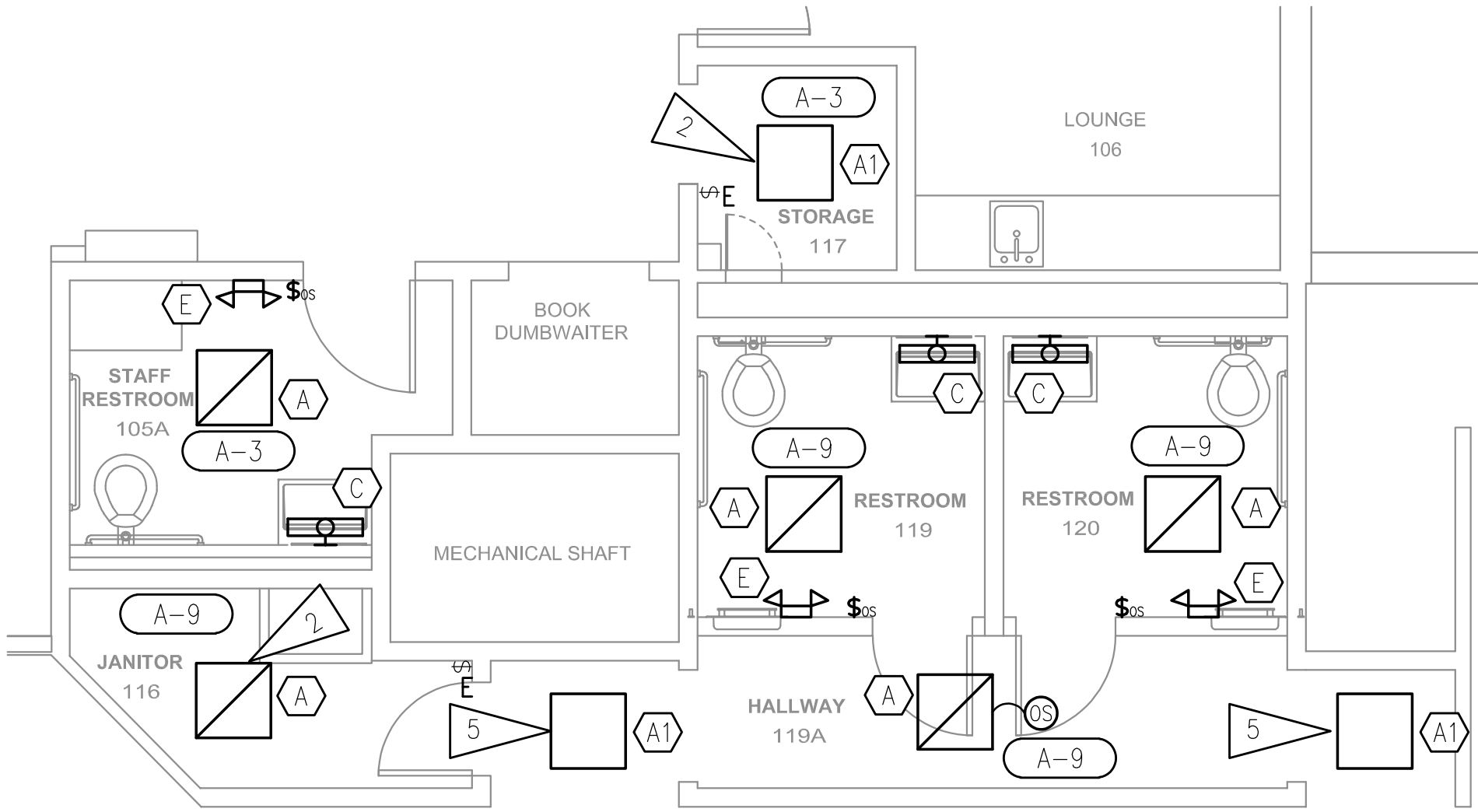
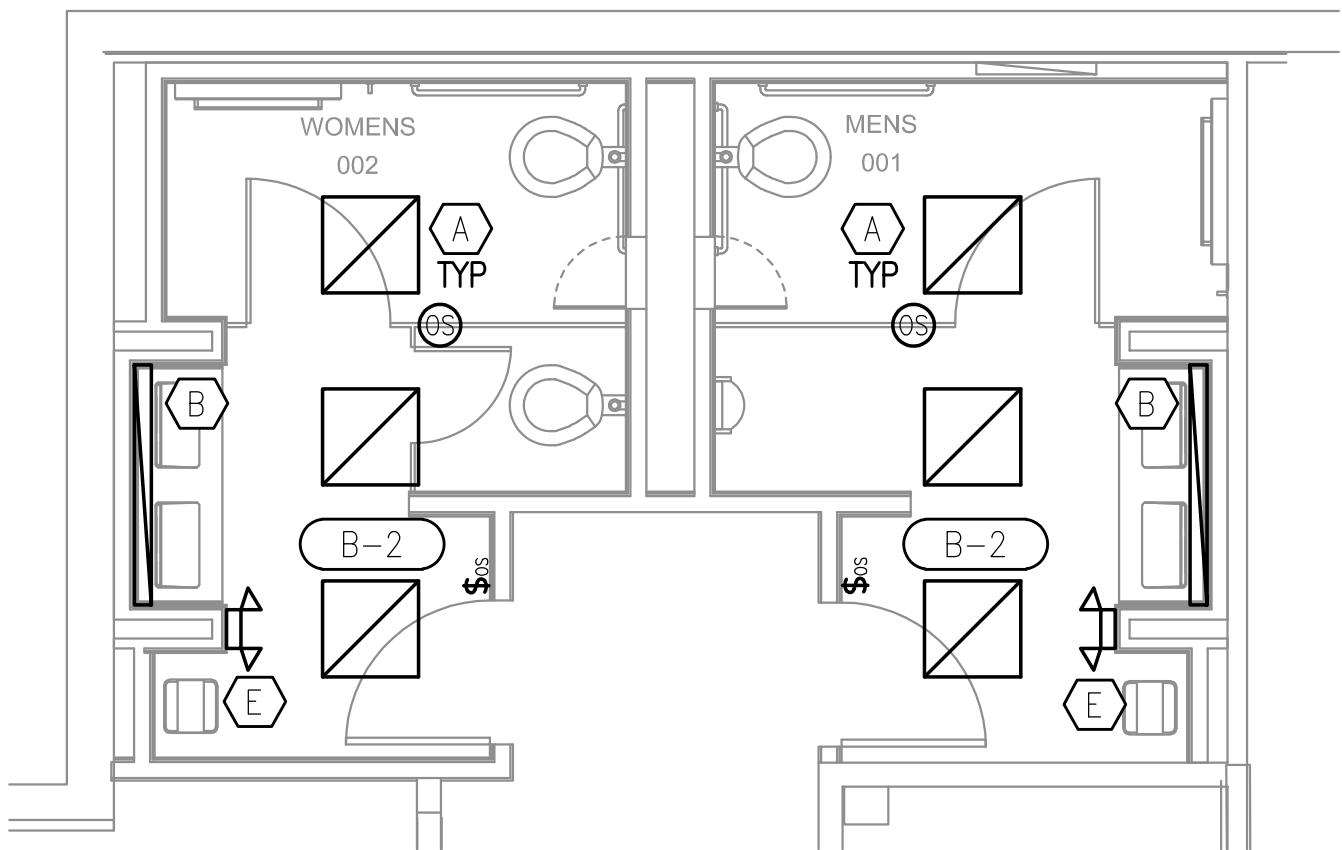


BASEMENT KEY PLAN
1" = 30'-0"



FIRST FLOOR KEY PLAN
1" = 30'-0"

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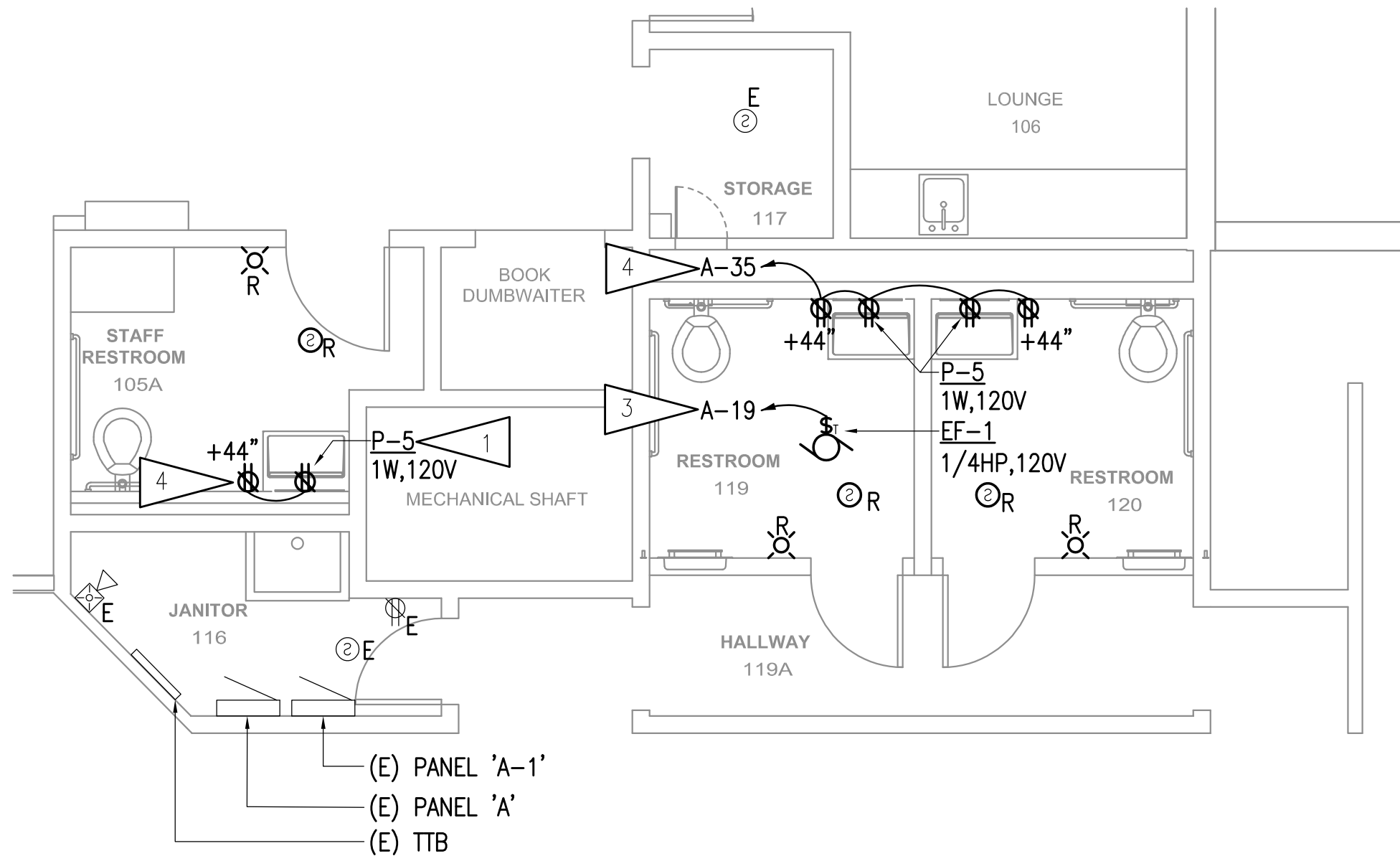
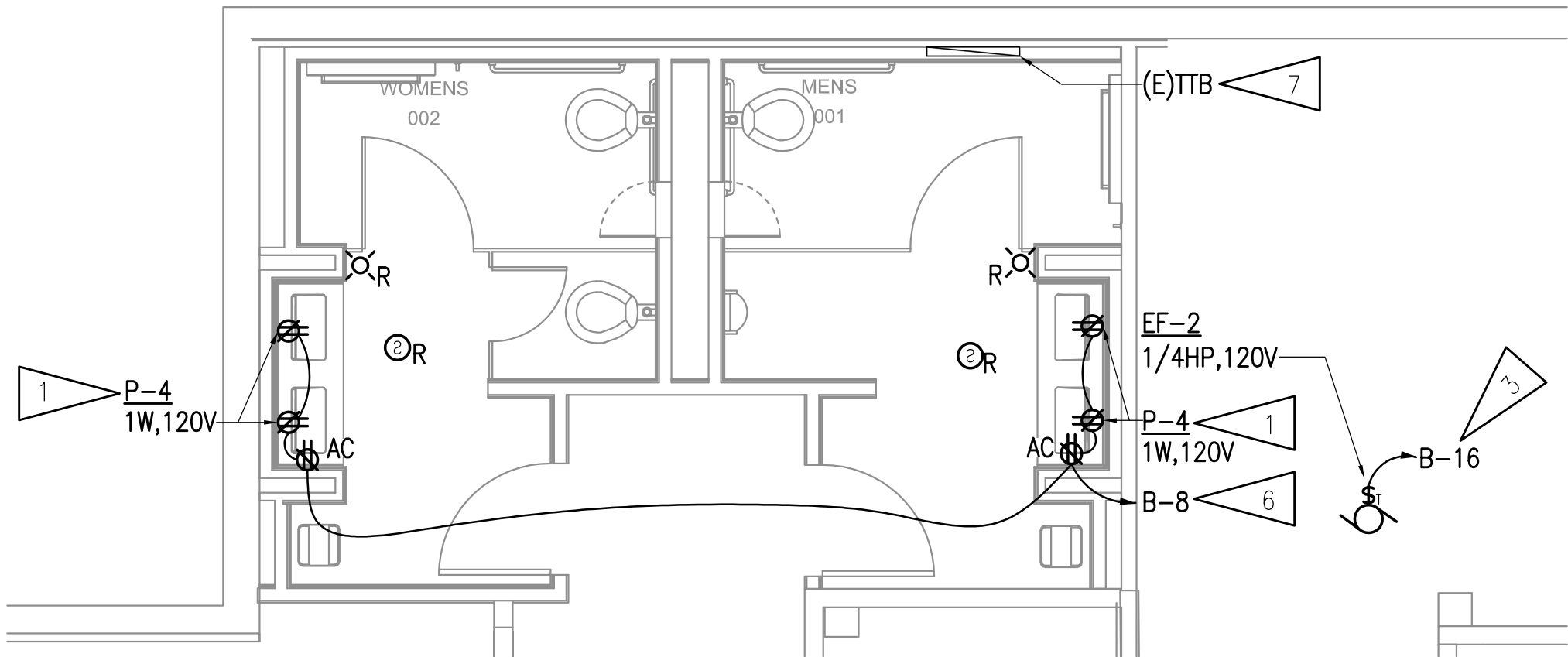
- A. EXTEND AND RECONNECT NEW LIGHT FIXTURES TO EXISTING LOCAL LIGHTING CIRCUIT UON.
- B. PROVIDE UNSWITCHED CONDUCTOR TO NEW EMERGENCY FIXTURES AS REQUIRED FOR PROPER OPERATION.
- C. FIRE ALARM DEVICES ARE RELOCATED DEVICES IN NEW LOCATIONS UON. CONNECT TO EXISTING FIRE ALARM SYSTEM. EXTEND EXISTING CONDUIT AND CONDUCTORS AS REQUIRED FOR PROPER OPERATION. PROVIDE CERTIFIED PERSONNEL FOR REPROGRAMMING AND TESTING OF FIRE ALARM PANEL IN ACCORDANCE WITH ALL STATE AND/OR LOCAL REQUIREMENTS.
- D. PROVIDE UPDATED TYPED DIRECTORY FOR ALL PANELS AS REQUIRED.
- E. CONNECT NEW LIGHTING TO EXISTING LIGHTING CIRCUIT INDICATED UNLESS OTHERWISE NOTED.
- F. EXISTING CIRCUITS INDICATED ARE BASED OFF OF ON SITE LABELING AND PANEL DIRECTORIES, CONTRACTOR TO VERIFY CIRCUITS PRIOR TO START OF WORK.

SHEET NOTES

- 1. PROVIDE NEW GFCI RECEPTACLE FOR NEW SINK FAUCET. MOUNT UNDER THE SINK UP HIGH NEAR THE FAUCET CONNECTION TO HIDE FROM VIEW AS MUCH AS PRACTICAL. COORDINATE WITH MANUFACTURER INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- 2. EXTEND AND CONNECT NEW FIXTURE TO EXISTING LIGHT SWITCH AND CIRCUIT.
- 3. EXTEND AND RECONNECT NEW EXHAUST FAN TO EXISTING CIRCUIT INDICATED.
- 4. EXTEND AND RECONNECT TO EXISTING LOCAL RECEPTACLE CIRCUIT.
- 5. NEW FIXTURE IN EXISTING LOCATION, RECONNECT TO EXISTING CIRCUIT AND SWITCHING. PATCH/PAINT/REPAIR EXISTING CEILING AS REQUIRED.
- 6. CONNECT NEW RECEPTACLE CIRCUIT TO EXISTING SPARE BREAKER ON PANEL INDICATED.
- 7. TTB TO REMAIN, COORDINATE WITH ARCHITECTURAL FOR WORK TO BE COMPLETED AROUND THIS AREA TO RECESS ELECTRICAL BOX IN WALL.

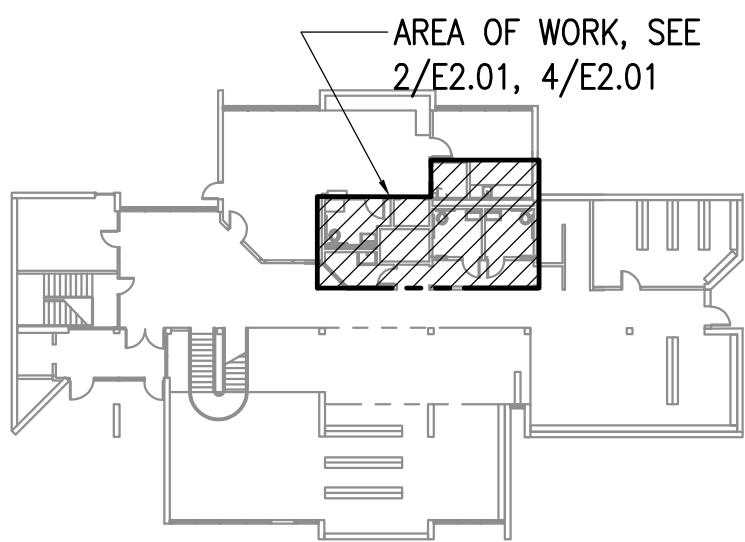
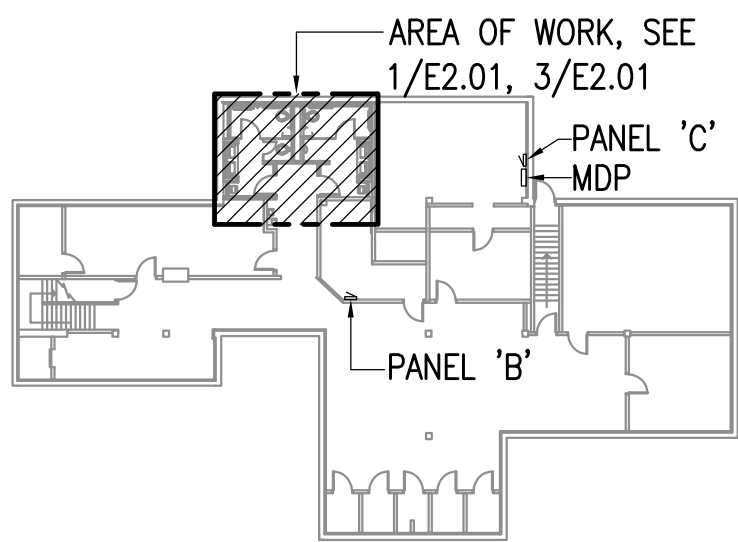
1 BASEMENT LIGHTING REMODEL PLAN
1/4" = 1'-0"

2 FIRST FLOOR LIGHTING REMODEL PLAN
1/4" = 1'-0"



3 BASEMENT POWER AND SIGNAL REMODEL PLAN
1/4" = 1'-0"

4 FIRST FLOOR POWER AND SIGNAL REMODEL PLAN
1/4" = 1'-0"



BASEMENT KEY PLAN
1" = 30'-0"

FIRST FLOOR KEY PLAN
1" = 30'-0"

REVISIONS

No Description Date

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ELECTRICAL
REMODEL PLANS

E2.01