



City of Valdez

212 Chenega Ave.
Valdez, AK 99686

Meeting Agenda - Final

Planning and Zoning Commission

Wednesday, July 14, 2021

7:00 PM

Civic Center Conference Room

Regular Meeting

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. PUBLIC APPEARANCES

V. PUBLIC BUSINESS FROM THE FLOOR

VI. NEW BUSINESS

1. [Approval of Temporary Land Use Permit #21-11 for Valdez Motor Sports Club for a 21-Acre Portion of USS 439 \(Pipeyard\)](#)
2. [Access Study: Glacier Stream East ASLS 79-116 Project Update](#)
3. [Appeal Hearing - Building Permit #20-000197 Appellant: Rhett Foster](#)

VII. EXECUTIVE SESSION

VIII. RETURN FROM EXECUTIVE SESSION

IX. REPORTS

X. COMMISSION BUSINESS FROM THE FLOOR

XI. ADJOURNMENT



Legislation Text

File #: 21-0363, **Version:** 1

ITEM TITLE:

Approval of Temporary Land Use Permit #21-11 for Valdez Motor Sports Club for a 21-Acre Portion of USS 439 (Pipeyard)

SUBMITTED BY: Nicole LeRoy, Planning Technician

FISCAL NOTES:

Expenditure Required: N/A
Unencumbered Balance: N/A
Funding Source: N/A

RECOMMENDATION:

Approve temporary land use permit #21-11 for Valdez Motor Sports Club for a 21-acre portion of USS 439 (pipeyard)

SUMMARY STATEMENT:

On July 2, 2021, Planning Department staff received temporary land use permit application 21-11 from Valdez Motor Sports Club, Inc. to stage a side by ride race event on a 21-acre portion of USS 439 (the pipeyard.) The permit use dates are August 3rd -August 7th for set up, and August 8th and August 9th for the race event and teardown. The VMSC will be building a dirt race course and placing a blue room for the event (see attached application.)

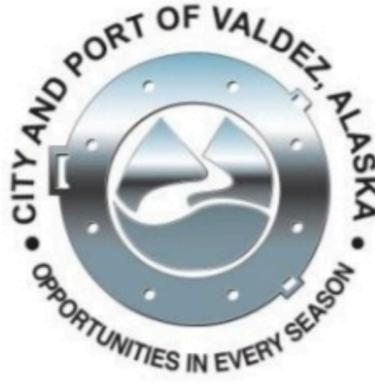
Per Valdez Municipal Code 17.48.140 H, long term temporary land use permit requests may be granted by the Planning and Zoning Commission if the desired use does not present a public safety issue or nuisance, or adversely impact city operations.

Public Works Director Rob Comstock, Ports and Harbors Director Jeremy Talbot, Economic Development Director Martha Barberio, and Parks and Recreation Director Nick Farline were solicited for comments on the application and expressed no objection to the use proposed.

TLUP fees are established via Resolution #12-36. For the proposed use, the permit fee is \$87.50 per day.

Per Valdez Municipal Code 17.48.140 H 3, if temporary land use permit 21-11 is approved by the Planning and Zoning Commission, staff will prepare a temporary land use permit document using standard language approved by the City attorney and include any conditions required by the Commission. The issuance of this permit will be reported to City Council at the next regularly

scheduled meeting.



**CITY OF VALDEZ
TEMPORARY LAND USE PERMIT APPLICATION FORM**

Application Fee: \$50.00 (Non-Refundable) Waived 2017 per Resolution #12-72

File No. 21-11

Date Recv'd. 7/2/2021

Directions:

1. Please type or print legibly.
2. Please submit this application form to the Office of Community & Economic Development, P.O. Box 307, Valdez, Alaska 99686.
3. Please answer all questions on this form, or put N/A (not applicable) in the spaces provided, as the answer applies.

Applicant name: Valdez Motorsports Club

Mailing address: P.O. Box 3689

City, State, Zip: VDZ, AK, 99686

Daytime telephone: 907-255-2164

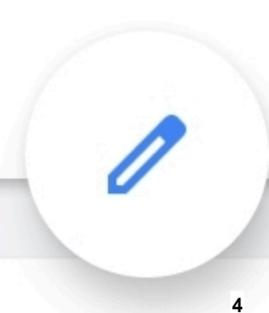
SIGNATURE: [Handwritten Signature]

Representative name: Ken Larsen *****

Mailing address: P.O. Box 1021

City, State, Zip: Same

Daytime telephone: 907-255-2164



Legal Description of Property Affected by Application:

Located in Township _____ Range _____ Section _____, CRM
Lot/Block/Tract/Subd _____ Plat # _____
Street Address/Other description _____
Tax # _____ Size of Property 2.1 ACRES

Type of business to be placed on the property: SXS Track

Size of temporary building(s) to be placed on the property: 4x4 Bluck

Duration of lease requested (6 months maximum): ~~XXXXXXXXXXXX~~

Special lease requirements: AUGUST 3, 2021-AUGUST 9, 2021
per Ken Lares 7/9/2021 email

Submitted materials attached - The following submitted materials must be submitted when applying for a lease on City land.

- 1. Plot Plan - A drawing of the proposed lease property showing:
 - a. Size of lot (to scale)
 - b. Placement and size of buildings, storage units, miscellaneous structures planned (to scale)
 - N/A c. Water & sewer lines, locations of septic tanks, if needed
 - N/A d. Parking spaces (numbered on the drawing with a total number indicated).
- 2. Fees - All applicable fees must be submitted prior to the execution of a lease.
 - a. Application Fee (\$50.00). Covers the costs associated with processing the application (Non-refundable).

ComDev/DATA/FORMS/P & Z Forms/TLUP Application Form Rev. 2017

3. Liability Insurance - The Permittee shall, at its own expense, maintain and keep force during the terms of this Permit adequate insurance to protect both Valdez and Permittee against comprehensive public liability claims arising from the use of the property in the minimum limit of ONE MILLION DOLLARS (\$1,000,000) combined single limit to protect against liability for personal injury, death or property damage.

4. Financial Data - The applicant is a:
Sole proprietorship _____
Partnership _____
Corporation
Other (Please explain) _____

_____ 5. Partnership Statement - If applicant is a partnership, answer the following:
a. Date of Organization _____
b. General partnership () / Limited partnership ()
c. Statement of partnership recorded? () yes () no
Where _____
d. Has the partnership done business in Alaska?
() yes () no
When _____
Where _____
e. Name, address and partnership share of each general and limited partner. If a partner is a corporation, complete page for corporation.

Limited/ General	Name	Address	Share

f. Attach a complete copy of the partnership agreement.

ComDev/DATA/FORMS/P & Z Forms/TLUP Application Form Rev. 2017

6. Corporation Statement-If applicant is a corporation, answer the following:
a. Date of incorporation 1993
b. Where incorporated Valdez

c. Is the corporation authorized to do business in Alaska?
 yes () no
If so, as of what date 1996

d. The corporation is held:
Publicly () Privately
e. If publicly held, how and where is the stock traded?

f. Furnish the name, title, and address of each officer and in addition, the same information for each principal stockholder owning more than ten percent of the corporation.

Name	Title	Address	Share

g. Furnish the names of the officers specifically authorized to execute contracts and other corporate commitments under the corporate articles and/or by-laws.

From: ken lares <kenlares@hotmail.com>
Sent: Tuesday, July 6, 2021 11:34 AM
To: Nicole LeRoy <NLeRoy@ValdezAK.Gov>
Subject: RE: TLUP Application

Hi Nicole,

I apologize for the vagueness, I should have sent an accompanying description. We'll be using the same parking layout as before, see parking detail attached.

The course will be fairly simple, some banked turns and some bump sections. Dirt will be a little new for us so it'll be a little trial and error. We know how to build a safe course for both racers and spectators, but I'm sure there will be some tuning.

Ideally we'll get some backhaul material to use for shaping, if not it may end up being more of a flat road course.

I talked to our insurance provider and they said they would cover it as long as there was something snowmobile related that was part of the event. We will probably add some grass drags to satisfy that.

The insurance and liability waivers will be the same as our other events as a heads up and I'll work on getting them to you.

Thanks

Nicole LeRoy

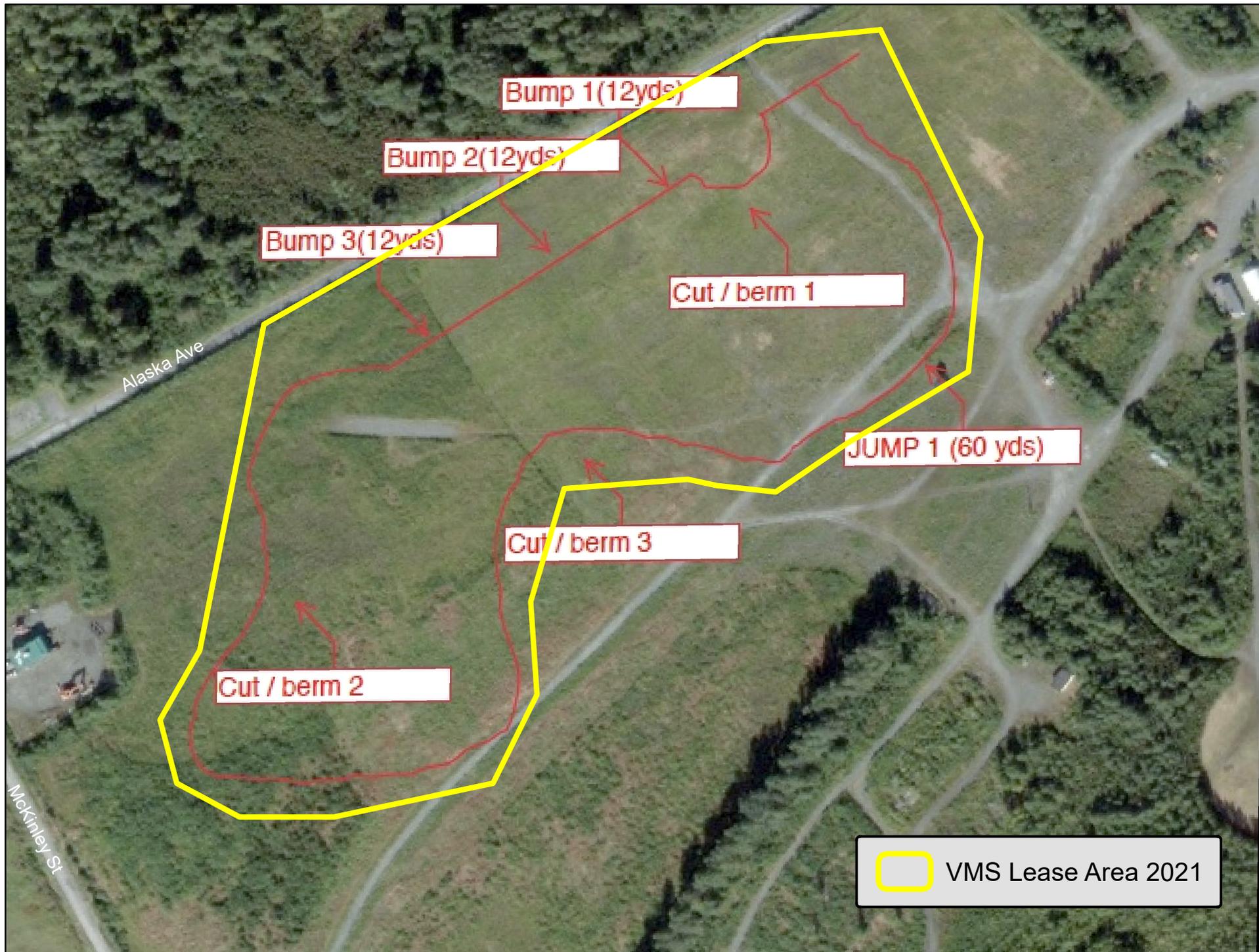
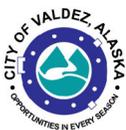
From: ken lares <kenlares@hotmail.com>
Sent: Friday, July 9, 2021 11:46 AM
To: Nicole LeRoy
Subject: Tlup

Hi Nicole,
Please remove 7/18 from the tlup and add 8/3-8/7 for setup of the event on 8/8 and 8/9 for teardown.

Thanks,
Ken

VALDEZ MOTORSPORTS PIPEYARD LEASE AREA

21 ACRES



 VMS Lease Area 2021

Information displayed is for informational purposes only. The City of Valdez makes no warranties, expressed or implied as to the veracity or accuracy of the information herein.

CITY OF VALDEZ, ALASKA

ORDINANCE NO. 21-05

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, AMENDING CHAPTER 17.48, BY REPEALING AND RE-ENACTING SECTION 17.48.140 OF THE VALDEZ MUNICIPAL CODE TITLED TEMPORARY LAND USE PERMITS

WHEREAS, the City of Valdez seeks to simplify the temporary land use permit approval process for the use of city-owned lands; and

WHEREAS, the City of Valdez seeks to clarify events that are exempted from the temporary land use permit requirements; and

WHEREAS, Section 17.48.140 will establish a procedure for the approval of temporary uses on private and public lands that are not permitted in the individual zoning district.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, THAT Section 17.48.140 is hereby repealed and re-enacted.

Section 1. Section 17.48.140 is re-enacted to read as follows:

17.48.140 Temporary land use permits.

- A. This chapter applies to interim, non-permanent, and/or seasonal uses of land including but not limited to events, races, carnivals, concerts, outdoor sales events, markets, off-site construction yards, and similar uses. No person shall conduct, operate, maintain, or organize any use regulated by this chapter and no person shall allow the use of their premises for such a use without first obtaining a temporary land use permit in accordance with this chapter.
- B. City owned land. Temporary land use permits shall be required for all interim, non-permanent, and/or seasonal uses of city owned land whether conforming or non-conforming except as otherwise provided herein.
- C. Private, federal, or state-owned land. Temporary land use permits shall be required for all interim, non-permanent, and/or seasonal uses on private, federal, or state owned land that:
 1. Do not conform with permitted uses within the zoning district where the temporary use will occur.
- D. The following temporary uses are exempt from the requirement for a temporary land use permit:
 1. City use of city owned property.
 2. On-site Construction yards:

- a. On-site construction yards, in conjunction with an approved construction project on the same parcel.
 - b. The construction yard shall be removed immediately upon completion of the construction project, or the expiration of the building permit authorizing the construction project, whichever first occurs.
- 3. Emergency public health and safety land use activities, as determined by resolution of the city council, or authorized under an emergency declaration.
- 4. Events or uses for a duration of less than ten days held at the following facilities:
 - a. City of Valdez Civic Center
 - b. City of Valdez Parks
 - c. Kelsey Dock
 - d. Valdez Airport
- 5. Garage or yard sales (e.g., personal property sales) in residential zoning districts in compliance with the following standards:
 - a. Only one garage or yard sale may be conducted within any one-month period and the sale shall be limited to not more than three consecutive days or to two consecutive weekends not to exceed four days in all.
 - b. The sale shall not be conducted between the hours of 8:00 p.m. of any day and 7:00 a.m. of the following day.
 - c. The sales shall not encroach or be made on or from public streets or rights-of-way. No licensed retail or wholesale dealer shall be allowed to consign or offer for sale any goods or merchandise or participate in any private sale authorized by this Subsection.
- E. An application for a temporary land use permit shall be filed with the planning department in the following manner:
 - 1. Applications for temporary land use permits shall be submitted utilizing a form prepared by the planning department.
 - 2. The application shall include all information required on the application form and shall be accompanied by a detailed description of the proposed use along with plans for any temporary structures or alterations to the property.
 - 3. Complete applications for short-term permits must be submitted at least fourteen days before the date that the proposed temporary use is scheduled to take place in order to ensure applications are processed in time.

4. Complete applications for long-term permits must be submitted at least forty-five days before the date that the proposed temporary use is scheduled to take place in order to ensure applications are processed in time.
- F. The following requirements apply to both short-term and long-term temporary land use permits:
1. For permits on city owned land, permittee shall maintain liability insurance as set forth herein naming the city as an additional insured party with a waiver of subrogation endorsement in favor of the City for the duration of the permit and shall provide proof of the same prior to beginning the proposed temporary use. Minimum insurance requirements are as follows:
 - a. General Liability: Covering the Permittee and the City for any and all claims for personal injury, bodily injury (including death) and property damage (including environmental degradation or contamination) arising from any activity occurring as a result of this Temporary Land Use Permit Agreement.

Minimum limits:	\$1,000,000 Each Occurrence
	\$100,000 Damage to Rented Premises
	\$5,000 Medical Payments
	\$1,000,000 Personal & Adv Injury
	\$2,000,000 General Aggregate
	\$2,000,000 Products and Completed Operations Aggregate
 - b. Auto Liability (if applicable): Permittee shall maintain business auto liability insurance covering liability arising out of any auto (including owned, hired, and non-owned autos).
 - c. Minimum Limits: \$1,000,000 Combined single limit each accident

Where workman's compensation insurance is required under state or federal law the City may require proof of such insurance.

In the discretion of the Planning Director, event insurance may be accepted for short-term permits. Upon a showing of good cause, in the discretion of the Planning Director, insurance policies not fully conforming with the minimum requirements set forth herein may be accepted where the nature of the use under the Temporary Land Use Permit is poses a low risk of liability for the City. For permits on private, state, or federal owned land, the Planning Director may require insurance as a condition of permit approval.

2. Use of the property under the permit shall not constitute a nuisance, substantially interfere with the use and enjoyment of adjacent property, or adversely impact public access or city operations;
3. The proposed property shall be adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quantity of traffic that the temporary use is reasonably be expected to generate; and
4. Adequate temporary parking to accommodate vehicular traffic generated by the use shall be available either on the property or at alternate locations acceptable to the city;

5. All permits must be for a fixed period of time identified in the permit;
6. No permanent structures shall be erected on the property;
7. No permanent alteration of land shall occur;
8. The permittee shall obtain all required permits for the proposed use from the city or other governmental agencies.
9. The permittee shall clear the property of any debris, litter, or other evidence of the temporary use upon expiration or termination of the permit.
10. For permits on city owned land, the permittee shall pay fees as established by the city council by resolution. No fees shall be charged for permits issued to contractors for the purpose of completing city owned projects.

G. Short-term permits.

1. The director of the planning department is authorized to grant temporary land use permits when the permit does not exceed ten days in duration and the property under the permit does not exceed five acres.
2. Issuance of short-term permits shall be reported to the planning and zoning commission and city council at the next regularly scheduled meetings.

H. Long-term permits.

1. The planning and zoning commission is authorized to grant temporary land use permits when the permit exceeds ten days in duration.
2. The duration of the permit shall not exceed six months in duration unless the permit is issued to a contractor working on a city owned project.
3. Issuance of long-term permits shall be reported to the city council at the next regularly scheduled meeting.
4. No more than one long-term permit shall be issued each calendar year for the same location to the same applicant.
5. The city manager shall have the authority to execute long-term permits on behalf of the city after approval by the planning and zoning commission.

I. Approval.

1. Temporary land use permits may be issued with or without conditions upon satisfaction of the requirements set forth herein.
2. The Planning Director or Planning and Zoning Commission may deny temporary land use permit applications or place conditions on a temporary land use permit to ensure the temporary use on the proposed property and within the time period specified will not jeopardize, endanger, or substantially interfere with the public convenience, health, safety, or general welfare.
3. If an application for a temporary land use permit is denied, the city shall provide a written explanation to the applicant.

Section 2. This ordinance shall take effect immediately following adoption by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF VALDEZ, ALASKA, this 18th day of May, 2021.

CITY OF VALDEZ, ALASKA

Sharon Scheidt
Sharon Scheidt, Mayor

ATTEST:

Sheri L. Pierce
Sheri L. Pierce, MMC, City Clerk

APPROVED AS TO FORM:

Jake Staser
Jake Staser, City Attorney
Brena, Bell, & Walker, P.C.

Adoption: 5/18/21
Yeas: 6
Noes: 0
Absent: 1
Abstaining: 0



17.48.140 Temporary land use permit.

The city will allow for temporary uses of city property under the following conditions:

A. The community and economic development department is authorized to grant temporary land permits for the use of city owned property.

1. The permit shall not exceed one month (thirty-one days) in duration;
2. The permittee shall (in advance) pay a flat monthly fee; except that a pro-rated daily fee may be paid for permits lasting less than one month. Fees will be determined by council resolution;
3. The permittee shall have liability insurance valuing not less than one million dollars and shall name the city as an additional insured party;
4. The use is in conformance with the existing zoning and/or the comprehensive plan;
5. No permanent structures shall be erected on the property;
6. No permanent alteration of land shall occur;
7. The area of use does not exceed two acres;
8. Use under the permit shall not adversely impact public access or city operations;
9. The permittee shall vacate the property within three days of receiving notification from the city;
10. The permit shall be effective immediately upon receipt of required items and issuance by the community and economic development department;
11. Issuance of the permit shall be reported to the planning and zoning commission and city council at the next regularly scheduled meetings.

B. The Valdez planning and zoning commission is authorized to grant temporary land permits for use of city owned property.

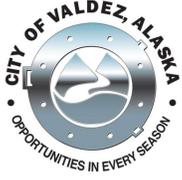
1. Permits Not Exceeding Three Months in Duration and Two Acres in Size.
 - a. The permit shall not exceed three months in duration;
 - b. The permittee shall (in advance) pay a flat monthly fee; except that a pro-rated daily fee may be paid for permits where an entire month is not used. Fees will be determined by council resolution;

- c. The permittee shall have liability insurance valuing not less than one million dollars and shall name the city as an additional insured party;
 - d. The use is in conformance with the existing zoning and/or the comprehensive plan;
 - e. No permanent structures shall be erected on the property;
 - f. No permanent alteration of the land shall occur;
 - g. The area of use does not exceed two acres;
 - h. Use under the permit shall not adversely impact public access or city operations;
 - i. The permittee shall vacate the property within fifteen days from receiving written notification from the city;
 - j. The permit shall be effective immediately upon approval by the planning and zoning commission, receipt of required items and issuance by the community and economic development department;
 - k. Issuance of the permit shall be reported to the city council at the next regularly scheduled meeting.
2. Permits Not Exceeding Six Months in Duration.
- a. The permit shall not exceed six months;
 - b. For permit areas not exceeding two acres the permittee shall (in advance) pay a flat monthly fee; except that a pro-rated daily fee may be paid for permits where an entire month is not used. Fees will be determined by council resolution;
 - c. For permit areas exceeding two acres the permittee shall (in advance of each month) pay a monthly fee of ten percent of the fair market value per acre of the property divided by twelve and multiplied by the number of months for which the permit is issued. For the purposes of determining the fair market value the council will routinely pass a resolution updating the per acre values of land as identified by zoning;
 - d. The permittee shall have liability insurance valuing not less than one million dollars and shall name the city as an additional insured party;
 - e. The use is in conformance with the existing zoning and/or the comprehensive plan;
 - f. No permanent structures shall be erected on the property;
 - g. No permanent alteration of the land shall occur;

- h. Use under the permit shall not adversely impact public access or city operations;
- i. The permittee shall vacate the property within thirty days from receiving written notification from the city;
- j. The permit shall be approved by the planning and zoning commission;
- k. The approval of the permit shall be reported to the city council at the next regularly scheduled meeting. The permit will become effective only after review and under no objection by the city council;
- l. The permit shall be effective immediately upon approval by the planning and zoning commission, no objection from the city council, receipt of required items and issuance by the community and economic development department.

C. Administration and Processing of the Permit.

1. A complete application for a temporary land use permit shall be submitted to the community and economic development prior to review and consideration.
2. The city manager is authorized to sign the temporary land use permit on behalf of the city.
3. No more than one of each type of permit shall be issued each year for the same location to the same applicant. (Ord. 11-03 § 1)



Legislation Text

File #: 21-0364, **Version:** 1

ITEM TITLE:

Access Study: Glacier Stream East ASLS 79-116 Project Update

SUBMITTED BY: Nathan Duval, Capital Facilities Director

FISCAL NOTES:

Expenditure Required: N/A

Unencumbered Balance: N/A

Funding Source: N/A

RECOMMENDATION:

Receive & File

SUMMARY STATEMENT:

The attached presentation is to update the Planning & Zoning Commission on the initial phase of the access study for property east of the Glacier Stream.

The PDC Engineers design team will be available to present the slides and discuss with the commission the current status of the project and methodology as well as future steps.

The property located within ASLS 79-116 consists of approximately 2000-2500 acres of undeveloped City owned property that is currently zoned heavy industrial. The ALPETCO company originally had plans for the area for oil movements and storage but that never came to fruition. Recently, the City sold approximately 200 acres of this land for the purpose of commercial / recreational use. The current draft of the forthcoming comprehensive plan update identifies this area as in need of more study. This access study is one initial step towards future study and potential rezoning or development of the land.

The outcome of the study is to simply identify feasible routes for access as well as rough order of magnitude costs for various feasible options.

This is not a preliminary design nor a construction project; it is a feasibility analysis as part of a larger evaluation of the potential future use of this land. There is no timetable for further action beyond the analysis of potential alternatives identified.

Glacier Stream East ASLS 79-116

Access Study



City of Valdez Planning & Zoning
Commission

July 14, 2021



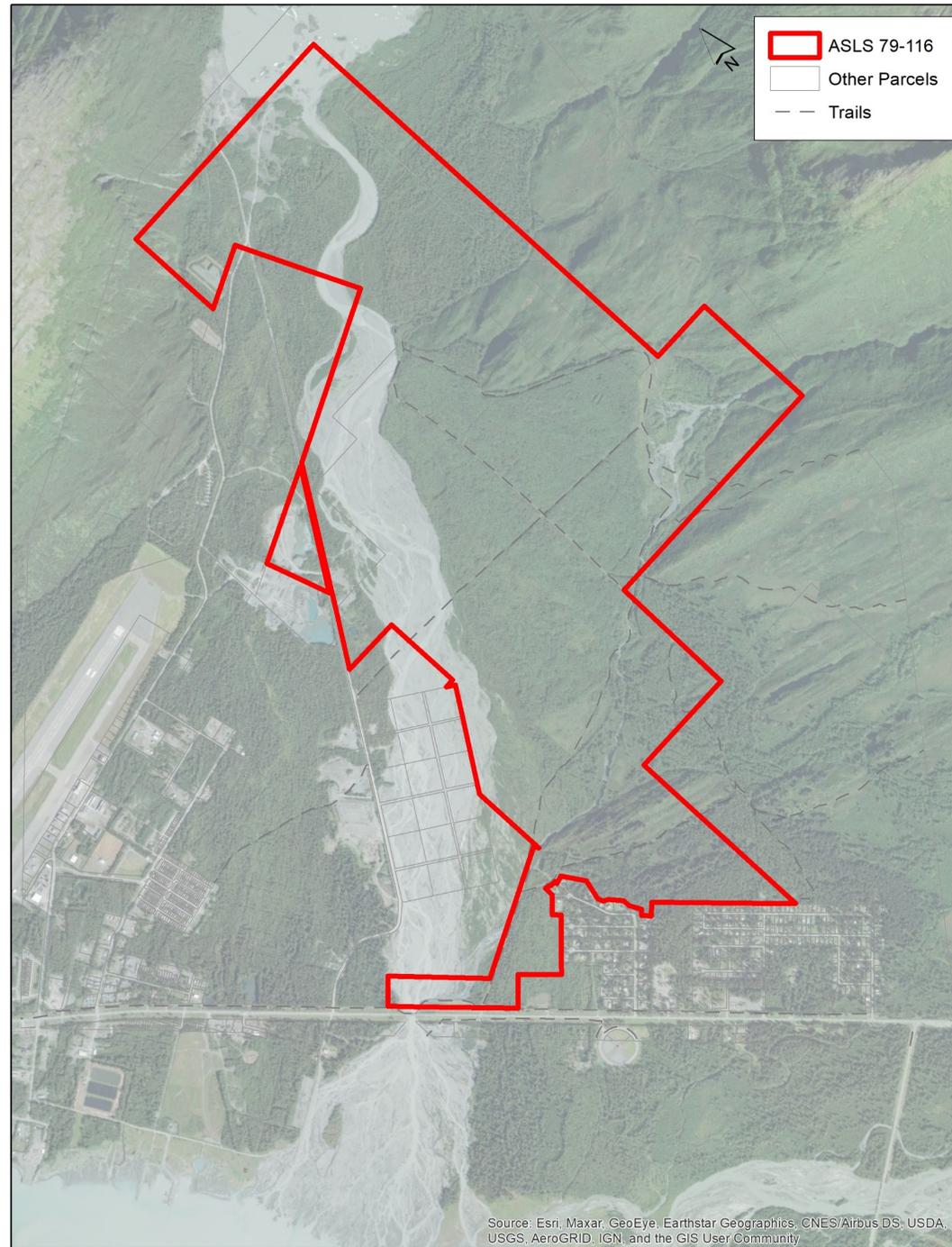
AGENDA

- › Goals of the study
- › Study area
- › Process
 - / Data collection
 - / Outreach
 - / Analysis

Study Goals

- › Identify feasible access alternatives
- › Evaluate alternatives based on:
 - / Capital costs
 - / Maintenance considerations
 - / Environmental factors
 - / Public sentiment
- › Summarize findings

Study Area



Process – data collection

- › Geospatial data
- › Reports/studies/plans
- › Physical data
- › Environmental data
- › Initial site visit
- › Follow-up site visit

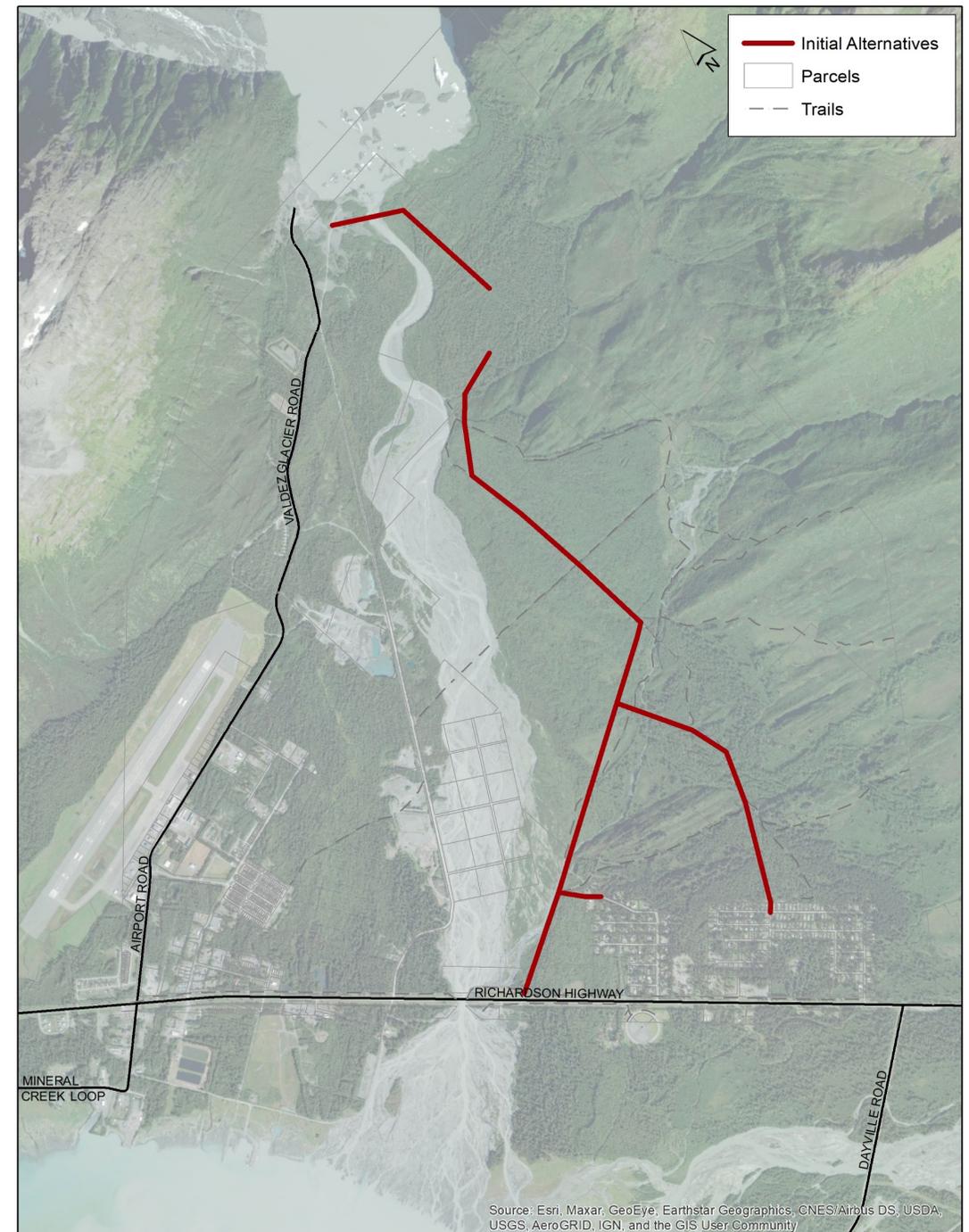
Process – outreach

- › Meetings/presentations:
 - / June 16 neighborhood meeting
 - / July 14 P&Z commission
 - / August draft study presentation
- › Interviews
 - / Trail user groups
 - / City staff
 - / ADF&G
 - / DOT&PF
 - / DEC
 - / Construction industry

Process – Analysis

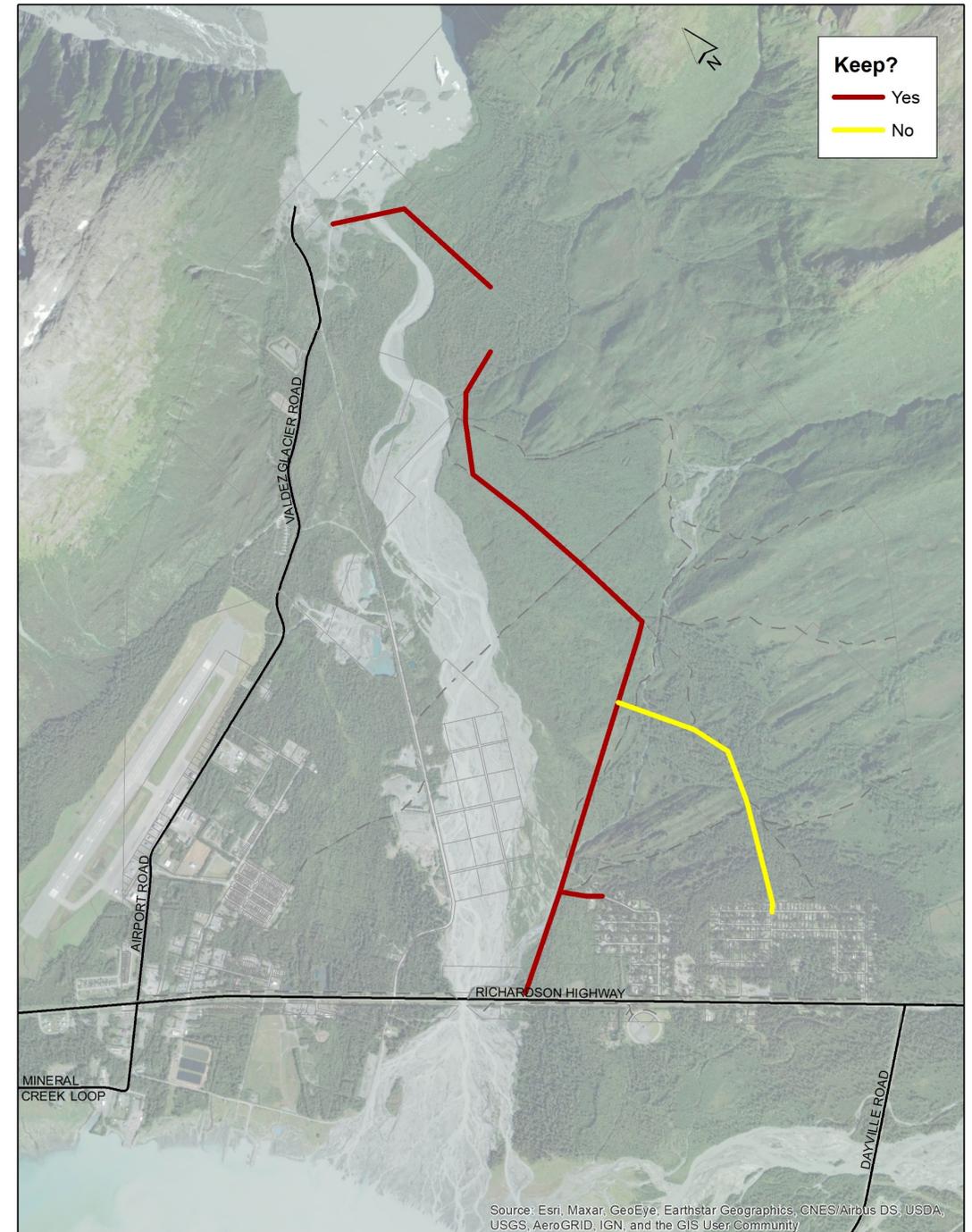
› Initial route identification

- / “Lines on maps”
- / Basic evaluation for feasibility
- / Take advantage of existing infrastructure



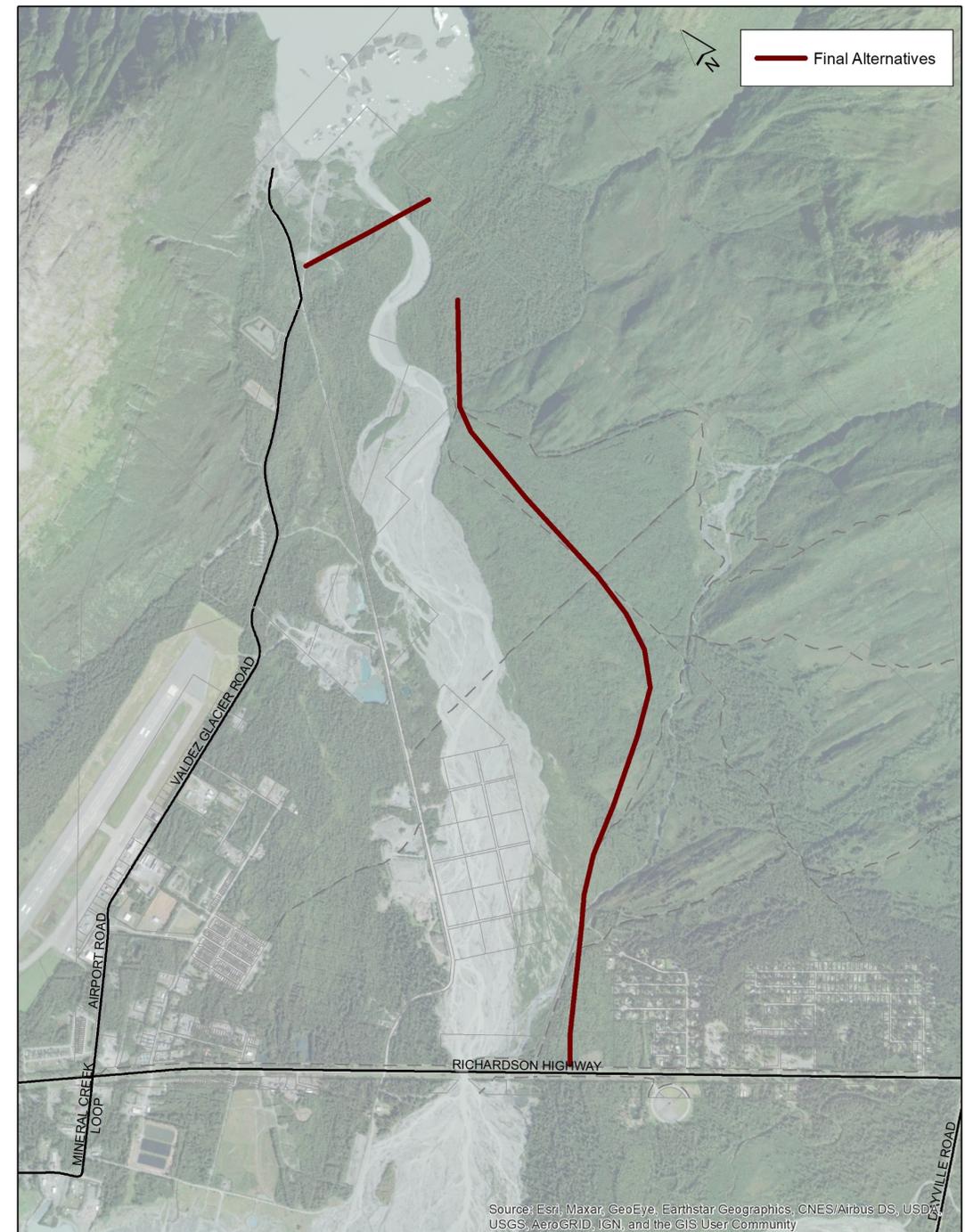
Process – Analysis

- › Refined routes for preliminary analysis
 - / Deeper dive
 - / Initial outreach
 - / Inform site visit



Process - Analysis

- › Final routes for detailed analysis
 - / Modifications to layout based on site visit + outreach
 - / Preliminary engineering
 - » Apply design standards
 - » Develop cost estimates
 - / Permitting



› Considerations & Evaluation Criteria

- / Stream crossings
- / Stream erosion
- / Wetlands
- / Trails & recreational uses
- / Maintenance
- / Construction costs
- / Comp Plan
- / Public sentiment

Questions?



Patrick Cotter

PDC Engineers

patrickcotter@pdceng.com

907.452.1414



Legislation Text

File #: 21-0365, **Version:** 1

ITEM TITLE:

Appeal Hearing - Building Permit #20-000197 Appellant: Rhett Foster

SUBMITTED BY: Sheri Pierce, MMC, City Clerk

FISCAL NOTES:

Expenditure Required: [Click here to enter text.](#)

Unencumbered Balance: [Click here to enter text.](#)

Funding Source: [Click here to enter text.](#)

RECOMMENDATION:

[Click here to enter text.](#)

SUMMARY STATEMENT:

On June 22, 2021, the City Clerk received a timely appeal of the decision of the Building Official regarding Building Permit #20-000197. The attached documents are provided to the Planning Commission for the purpose of conducting the appeal hearing. All documentation has been provided to the appellant prior to the hearing.

Ex-Parte contact between members of the Planning Commission and the parties involved is not allowed. Members of the Commission who engage in ex-parte contact with the appellant or witnesses prior to the hearing shall disclose this information prior to commencement of the proceedings. Ex-parte contact shall be grounds for exclusion of the Planning Commission member from hearing the appeal.

AGENDA

APPEAL TO PLANNING AND ZONING COMMISSION

- I. CALL HEARING TO ORDER
- II. ROLL CALL
- III. IDENTIFICATION OF CASE, PARTIES, AND ATTORNEY FOR THE RECORD
- IV. DISCLOSURE OF FINANCIAL INTERESTS OR EXPARTE CONTACTS BY BOARD MEMBERS
- V. APPELLANT PRESENTS CASE
- VI. BUILDING OFFICIAL PRESENTS CASE
- VII. APPELLANT REBUTTAL
- VIII. BUILDING OFFICIAL REBUTTAL
- IX. DELIBERATIONS (MAY BE IN EXECUTIVE SESSION)
- X. ANNOUNCEMENT OF DECISION AND DIRECTION TO CLERK TO PREPARE WRITTEN DECISION

➤ CHAIR: IF THE COMMISSION UPHOLDS THE DECISION OF THE BUILDING OFFICIAL. PLEASE ADVISE APPELLANT THAT ANY APPEAL TO THE CITY COUNCIL FROM ANY ACTION BY THE PLANNING AND ZONING COMMISSION MUST BE FILED WITHIN **TEN DAYS OF THE DATE OF THE DECISION** OF THE PLANNING COMMISSION. THE NOTICE OF APPEAL MUST BE FILED WITH THE CITY CLERK.

Procedure for Appeals. An appeal before the Planning Commission shall be conducted in accordance with the following procedures:

1. Failure of Appellant to Appear. If an appellant fails to appear in person, the Commission may proceed with the hearing.
2. Oath to Be Administered. Anyone testifying before the Commission shall be administered an oath prior to giving testimony.
3. Record. The city clerk shall be ex officio clerk and shall keep verbatim stenographic records or electronic recordings of the board's proceedings, showing the vote of each member on every question and all of the evidence presented.
4. Burden of Proof. The burden of proof rests with the appellant. The city shall make available to the appellant all reasonably pertinent documents requested for presentation of the appeal.
5. Rules of Evidence. The hearing of an appeal shall be conducted informally. The Commission shall not be restricted by the formal rules of evidence; however, the chair may exclude evidence irrelevant to the issues appealed. Hearsay evidence may be considered, provided there are adequate guarantees of its trustworthiness and that it is more probative on the point for which it is offered than any other evidence which the proponent can procure by reasonable efforts.
6. General Procedure. Each side shall have a total of no more than thirty minutes to present their case. Each side shall be responsible for dividing their thirty minutes between oral presentation, argument, testimony (including witness testimony), and rebuttal. The Commission may expand or limit the length of the hearing depending on its complexity, or take other action to expedite the proceedings.
7. Order of Presentation. The appellant shall present argument first. Following the appellant, the Building Official shall present the city's argument. The appellant may, at the discretion of the chair, make rebuttal presentations directed solely to the issues raised by the Building Official. The members of the Planning Commission may ask questions through the chair of either the appellant or the Building Official at any time during the hearing.
8. Witnesses and Exhibits. The appellant and the building official may offer oral testimony of witnesses and documentary evidence during the hearing. All testimony before the Planning Commission shall be under oath.

9. Decision of Planning Commission. At the conclusion of the hearing, the Commission shall, based on the information received at the hearing, make their final determination.

15.06.040 International Residential Code—Appeals.

Whenever the building department shall disapprove an application or refuse to grant a permit applied for, or when it is claimed that the provisions of the code do not apply or that the true intent and meaning of the code has been misconstrued or wrongly interpreted, the applicant may appeal the decision of the chief building official.

A. Appeal to the Planning and Zoning Commission.

1. **Filing Limit.** An appeal of the decision of the building official in enforcement of this title may be taken to the planning and zoning commission by the permittee or agent thereof. The written appeal must be filed within fifteen days of the decision of the building official. The appeal must be filed with the office of the city clerk.

2. **Report.** A report concerning each case appealed to the planning and zoning commission shall be prepared by the building official and filed with the city clerk. Such report shall state the decision and recommendations of the building official together with reasons for the decision and recommendations. All data pertaining to the case shall accompany the report.

3. **Stay of Proceedings.** The filing of an appeal shall stay all proceedings in the matter until a determination is made by the planning and zoning commission, unless the court issues an enforcement order based on a certificate of imminent peril to life or property.

B. Appeal to the Board of Adjustment.

1. **Filing Limit.** An appeal from any action or decision of the planning and zoning commission may be taken by the permittee or agent thereof. The appeal shall be in the form of a written statement, and state how the appellant will be affected or aggrieved by the action. The appeal must be filed within ten days of the date of the action or decision by the planning and zoning commission. The notice of appeal must be filed with the city clerk.

2. **Report.** A report concerning each case appealed to the board of adjustment shall be prepared by the planning and zoning commission and filed with the city clerk. Such report shall state the decision and recommendations of the commission together with reasons for the decision and recommendations. All data pertaining to the case shall accompany the report.

3. **Stay of Proceedings.** The filing of an appeal shall stay all proceedings in the matter until a determination is made by the board of adjustment, unless the court issues an enforcement order based on a certificate of imminent peril to life or property.

C. Appeal to Superior Court. An appeal from any action, decision, ruling, judgment or order of the board of adjustment may be taken by the permittee or agent thereof, or any officer, commission or board of the city, to the superior court by filing with the court, with a copy to the city clerk, within thirty days from the date of the action appealed from, a notice of appeal which shall specify the grounds of such appeal. Failure to file the notice of appeal in the manner and time specified shall forfeit any right to appeal. The filing of an appeal shall stay all proceedings in the matter until a determination is made by the court, unless the court issues an enforcement order based on a certificate of imminent peril to life or property.
(Ord. 12-03 § 1 (part))

City of Valdez - City Clerk
PO Box 307 Valdez Alaska 99686
RE: Permit #20-000197

Dear Sheri Pierce - City Clerk

I am writing in regards to my building permit and seeking to appeal a decision made by the Building Official regarding the construction of our personal home at 5975 Deep Lake Drive.

During the construction process and more specifically the foundation phase of construction, I failed to complete an inspection for the sonotube deck footings that wrap around the perimeter of our building. It is important to note that these footings are not attached to the foundation wall of the house; but they will support two roof structures attached to the house.

Our building site required us to hire a concrete pump from Anchorage. In the course of pouring the foundation and footings, I made the decision to pour these sonotubes prior to inspection. After completing the foundation wall pour, we had excess concrete and with the sonotubes ready and waiting - I decided to pour them rather than send the concrete back to the plant as waste. I took photos of the sonotubes prior to filling them with concrete to prove that there was adequate reinforcement inside the forms.

Since these footings were poured prior to inspection, the Building Official has deemed them non-compliant and is requiring me to remove and replace them.

I admit that I made a mistake deciding to pour these footings prior to inspection. However, given the circumstances of the tubes being ready to pour, the pump truck on site for a limited amount of time and extra concrete in the truck, I made a decision in good conscience, not foreseeing the extreme ramifications. I have personally seen photos accepted by the Building Official as valid proof during a project and in the moment believed that they would be accepted on this occasion given the circumstances.

Total cost for concrete from Harris Sand and Gravel for the entire pour was \$10,308 and the cost to hire the concrete pump from Anchorage was \$3800. I estimate the total cost per sonotube to be approximately \$1100 with materials, pump and labor. There are 8 tubes that the department has deemed to be replaced, which will require heavy equipment to remove and then all the materials and labor for forming and re-pouring with concrete and pump service. To replace these footings would cost more than the original \$1100 per sonotube.

This is my private residence, there is no reason for me to cut corners. The tubes are done to code, this is a fact. I am asking the committee to overturn the non-compliant ruling from the Building Official and to accept my photos as proof of compliance along with a stamped letter from the project engineer.

Sincerely,
Rhett Foster
907-255-8133
rhett.foster@gmail.com



Photos taken prior to pour showing proper reinforcement. Note: Rebar is sitting on the ground in these photos. When the concrete is poured into the tube, the rebar is then lifted up to proper 3 inch height from the top of the tube.



City of Valdez
ALASKA
Planning Department

June 18, 2021

Rhett Foster
PO Box 856
Valdez, AK 99686

Re: Permit #20-000197

Mr. Foster,

This letter is in response to your questioning the Planning Department's position regarding the sonotube deck footings found to be non-compliant by the Building Inspector on October 23, 2020.

The 2009 International Residential Code states:

- R109.1 Types of inspections. For onsite construction, from time to time the building official, upon notification from the permit holder or his agent, shall make or cause to be made any necessary inspections and shall either approve that portion of the construction as completed or shall notify the permit holder or his or her agent wherein the same fails to comply with this code.
- R109.1.1 Foundation inspection. Inspection of the foundation shall be made after poles or piers are set or trenches or basement areas are excavated and any required forms erected and any required reinforcing steel is in place and supported prior to the placing of concrete. The foundation inspection shall include excavations for thickened slabs intended for the support of bearing walls, partitions, structural supports, or equipment and special requirements for wood foundations.

Since 8 of the 13 deck footings were completely filled with concrete, there was no way to determine if the required reinforcing steel was in place and supported prior to or during the placement of concrete. Therefore, the non-compliant footings must be replaced prior to any work being placed on them.

Valdez Municipal Code 15.06.040 states:

Whenever the building department shall disapprove an application or refuse to grant a permit applied for, or when it is claimed that the provisions of the code do not apply or that the true intent and meaning of the code has been misconstrued or wrongly interpreted, the applicant may appeal the decision of the chief building official.

A. Appeal to the Planning and Zoning Commission.

- Filing Limit. An appeal of the decision of the building official in enforcement of this title may be taken to the planning and zoning commission by the permittee or agent thereof. The written appeal must be filed within fifteen days of the decision of the building official. The appeal must be filed with the office of the city clerk.

If you have any questions concerning this decision please contact me. If you decide to appeal this decision, any questions concerning the appeal process should be directed to the Sheri Pierce, City Clerk, at spierce@valdezak.gov.

Sincerely,



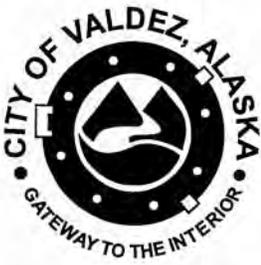
Bruce Wall

Senior Planner / Acting Building Official

City of Valdez | Planning Department

P.O. Box 307, Valdez AK 99686

☎ 907.834.3451 | ✉ bwall@valdezak.gov



CITY OF VALDEZ
BUILDING DEPARTMENT
 P.O. Box 307 Valdez, Alaska 99686
 Phone 834-3401

Parcel No. 71250040040

PERMIT NUMBER	
YEAR	NUMBER

20-000197

BUILDING PERMIT APPLICATION
 "UP TO 24 HRS NOTICE MAY BE REQUIRED FOR AN INSPECTION"

A P P L I C A N T	OWNER <i>Rhett Foster</i>		MAIL ADDRESS <i>PO Box 856</i>		PHONE <i>907-258-8133</i>	
	LEGAL DESC. <i>4</i>	LOT NO. <i>4</i>	BLK. <i>4</i>	SUBDIVISION / SURVEY / TRACT <i>Robe Lake Sub</i>		ZONING:
	STREET / PROJECT ADDRESS <i>5975 Deep Lake Dr.</i>				PROJECT VALUATION <i>\$265,000</i>	
	ARCHITECT / DESIGNER <i>Fluidity Designs</i>		MAIL ADDRESS <i>PO Box 333 99686</i>		PHONE <i>907-795-5319</i>	
	CONTRACTOR <i>Self</i>		LICENSE #		PHONE	
	TYPE OF PERMIT	<input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL <input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> PUBLIC BLDG.	<input type="checkbox"/> SIGN	<input type="checkbox"/> PLOT PLAN INCLUDED	
	CLASS OF WORK: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> MOVE <input type="checkbox"/> DEMOLITION					
	DESCRIBE WORK <i>Land development/new construction of 3 bed/2 bath 1350 sq ft single family dwelling</i>					

P L A N R E V I E W	OFFICE USE ONLY		BUILDING	FEE
	APPLICATION ACCEPTED BY <i>NL - 9/30/2020</i>		VALUATION PER CITY	
	PLANS CHECKED BY <i>jj</i> 10/11/2020		TYPE OF CONSTRUCTION	
	APPROVED FOR ISSUANCE BY <i>jj</i> 10/11/2020		OCCUPANCY GROUP	
	SPECIAL CONDITIONS None		FLOOR AREA:	
			NUMBER OF STORIES	
			BUILDING HEIGHT	
			NUMBER OF DWELLING UNITS	
			OCCUPANT LOAD	
			STATE FIRE MARSHALL APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	
		BUILDING PLAN CHECK <input type="checkbox"/> RES. <input type="checkbox"/> COMM.		
		TOTAL BUILDING PERMIT FEE		

This permit becomes null and void if the work or construction authorized is not commenced within 360 days, or if work or construction is suspended or abandoned for 360 days at a time after work is commenced or if work is not completed within one year from date of issuance. Building Official may extend permit for no more than 360 days after receipt of written request from permittee

All work shall be done in accordance with the approved plans, except, where such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

It is the responsibility of the permittee to obtain the required inspections. Failure to notify this department that the work is ready for inspection may necessitate the removal of some of the construction materials at the owners expense in order to perform such inspection.

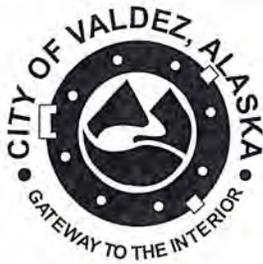
FOR INSPECTION CALL 834-3401 - Please provide the following information: Permit Number, Name, Project Address and Type of Inspection Needed.

I hereby certify that I have read and examined this application and know the same to be true and correct. I agree to pay all fees necessary for issuance of this permit. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or local law regulating construction of the performance of construction.

SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT	<i>9/29/20</i> DATE
FEES COLLECTED <i>\$15.00</i>	<i>paid</i> RECEIPT NO.

DATE CK # AMOUNT CC / CONF # RECEIPT NO.

(Rev. 1/07)



CITY OF VALDEZ

PARCEL NO. 71250040040

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

+-----+ +-----+	+-----+ +-----+
YEAR	NUMBER

20-000197

PLUMBING/MECHANICAL PERMIT APPLICATION

A P P L I C A T I O N	OWNER <i>Rhett Foster</i>		MAIL ADDRESS <i>Po Box 856</i>		PHONE <i>255-8133</i>	
	LEGAL DESC: <i>4</i>	LOT NO. <i>4</i>	BLK. <i>4</i>	SUBDIVISION / SURVEY TRACT <i>Robe Lake</i>		
	STREET / PROJECT ADDRESS <i>5975 Deep Lake Drive</i>				PROJECT VALUATION <i>\$25,000</i>	
	ARCHITECT/DESIGNER <i>Alan Minish (Septic)</i>			MAIL ADDRESS		PHONE <i>259-2280</i>
	CONTRACTOR <i>self</i>			LICENSE #		MAIL ADDRESS
	TYPE OF PERMIT		<input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL	<input type="checkbox"/> COMMERCIAL	CLASS OF WORK:	
			<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> PUBLIC BLDG.	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> REPAIR
					<input type="checkbox"/> ALTERATION	<input type="checkbox"/> MOVE
					<input type="checkbox"/> ADDITION	<input type="checkbox"/> DEMOLITION
	DESCRIBE WORK <i>new septic/plumbing of 3 bed / 2 bath new construction</i>					
SEPTIC TANK SIZE (GALLONS) <i>1000</i>	NO. BEDROOMS <i>3</i>	SOIL TYPE OR RATING <i>190</i>	PERCOLATION TEST RESULTS <i>2/26/98</i>	GROUND COVER OVER SEPTIC TANK / SURFACE WATER TABLE <i>2' over insulation min</i>		

P L A N R E V I E W	OFFICE USE ONLY			PLUMBING			MECHANICAL		
	APPLICATION ACCEPTED BY <i>DG 10/1/2020</i>			NO.	ITEM	FEE	NO.	ITEM	FEE
	PLANS CHECKED BY <i>Jy 10/21/2020</i>				RESIDENTIAL			RESIDENTIAL	
	APPROVED FOR ISSUANCE BY <i>Jy 10/21/2020</i>				R-1 PER UNIT			R-1 PER UNIT	
	SPECIAL CONDITIONS This permit is for the plumbing/mechanical system only and does not include approval for a septic system				DUPLEX PER UNIT			DUPLEX PER UNIT	
					FLOOR DRAIN			FORCED AIR HEAT BTU	
					WATER HEATER - # BTUS			BOILER / HEAT PUMP BTUS	
					SPRINKLER HEADS			GAS PIPING	
					SEPTIC SYSTEM / LEACH FIELD			VENTILATION - EXHAUST HOOD	
					SEWER CONNECTION			FUEL / PROPANE TANK	
				WATER DEPOSIT					
				PERMIT ISSUING FEE			PERMIT ISSUING FEE		
				PLAN REVIEW FEE			PLAN REVIEW FEE		
				TOTAL PLUMBING FEE			TOTAL MECHANICAL FEE		
				TOTAL PLUMBING / MECHANICAL FEE					

This permit becomes null and void if the work or construction authorized is not commenced within 360 days, or if work or construction is suspended or abandoned for 360 days at any time after work is commenced or if work is not completed within one year from date of issuance. Building Official may extend permit for no more than 360 days after receipt of written request from permittee.

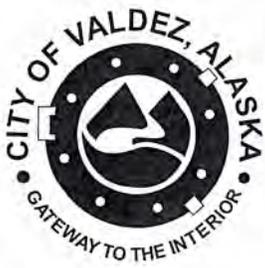
All work shall be done in accordance with the approved plans, except, where such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

It is the responsibility of the permittee to obtain the required inspectors. Failure to notify this department that the work is ready for inspection may necessitate the removal of some of the construction materials at the owners expense in order to perform such inspection.

FOR INSPECTION CALL 834-3401 - Please supply: Permit #, Name, Project Address & Type of Inspection Needed.

I hereby certify that I have read and examined this application and know the same to be true and correct. I agree to pay all fees necessary for issuance of this permit. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or local law regulating construction or the performance of construction.

SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT <i>[Signature]</i>	DATE <i>9/8/20</i>
FEE COLLECTED <i>\$15.00</i>	RECEIPT NO. (REV. 8/07)



CITY OF VALDEZ

BUILDING DEPARTMENT
 P.O. BOX 307, Valdez, Alaska 99686
 PHONE NO. 834-3401

PARCEL NO. 71250040040

PERMIT NUMBER

YEAR	NUMBER

20-000197

ELECTRICAL PERMIT APPLICATION

APPLICANT	OWNER <i>Blatt Foster</i>		MAIL ADDRESS <i>PO Box 856</i>		PHONE <i>255 8133</i>	
	LEGAL DESC: <i>4</i>	LOT NO. <i>4</i>	BLK. <i>4</i>	SUBDIVISION / SURVEY TRACT <i>Robe Lake</i>		
	STREET / PROJECT ADDRESS <i>5975 Deep Lake Drive</i>				PROJECT VALUATION <i>\$12,000</i>	
	ARCHITECT/DESIGNER <i>Brian Tolten</i>			MAIL ADDRESS		PHONE <i>795-5319</i>
	CONTRACTOR <i>Self</i>		LICENSE #		MAIL ADDRESS	
	TYPE OF PERMIT		<input checked="" type="checkbox"/> SINGLE FAMILY RESIDENTIAL		<input type="checkbox"/> COMMERCIAL	
	CLASS OF WORK:		<input checked="" type="checkbox"/> NEW		<input type="checkbox"/> REPAIR	
DESCRIBE WORK <i>New service/wiring of 1350 sq foot, 3 bed / 2 bath new construction</i>		<input type="checkbox"/> MULTI-FAMILY		<input type="checkbox"/> PUBLIC BLDG.		
		<input type="checkbox"/> ADDITION		<input type="checkbox"/> ALTERATION		
		<input type="checkbox"/> MOVE		<input type="checkbox"/> DEMOLITION		

PLAN REVIEW	OFFICE USE ONLY	ELECTRICAL			NO.	EACH	FEE
	APPLICATION ACCEPTED BY <i>DG 9/30/2020</i>	RECEPTACLE & SWITCHES					
	PLANS CHECKED BY <i>Jy 10/11/2020</i>	LIGHTING FIXTURES					
	APPROVED FOR ISSUANCE BY <i>Jy 10/11/2020</i>	POWER OUTLET					
	SPECIAL CONDITIONS <i>None</i>	RESIDENTIAL					
		DUPLEX					
		R-1					
		MOTORS: _____ HP					
		SIGNS					
		TRANSFORMERS					
	TEMP. POWER <input type="checkbox"/> POLE <input type="checkbox"/> UNDERGROUND						
	SERVICE <input type="checkbox"/> NEW <input type="checkbox"/> CHANGE	0-200A					
		OVER 200A					
	PERMIT ISSUING FEE						
	PLAN REVIEW FEE						
	TOTAL ELECTRICAL PERMIT FEES						

This permit becomes null and void if the work or construction authorized is not commenced within 360 days, or if work or construction is suspended or abandoned for 360 days at any time after work is commenced or if work is not completed within one year from date of issuance. Building Official may extend permit for no more than 360 days after receipt of written request from permittee.

All work shall be done in accordance with the approved plans, except, where such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

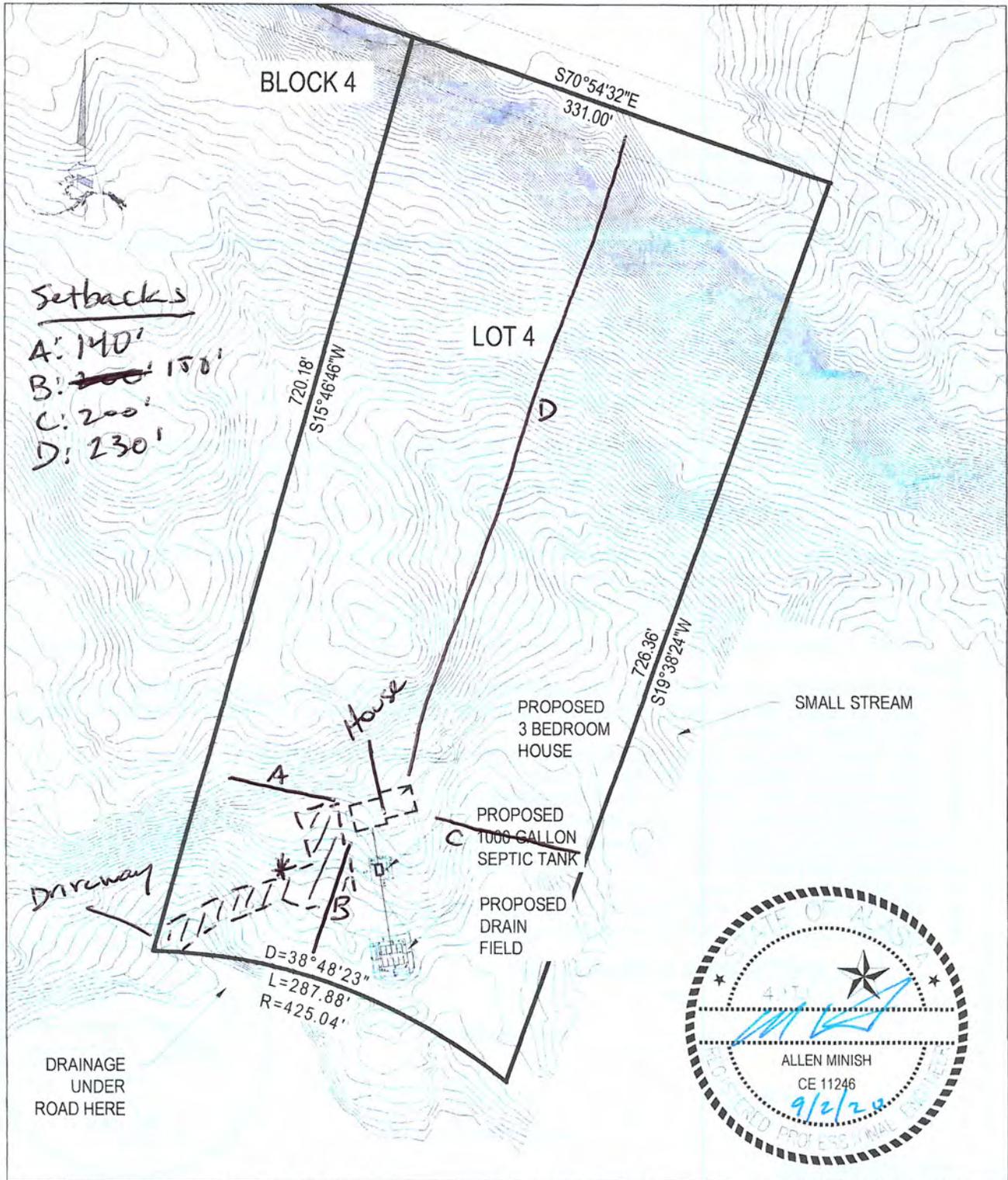
It is the responsibility of the permittee to obtain the required inspectors. Failure to notify this department that the work is ready for inspection may necessitate the removal of some of the construction materials at the owners expense in order to perform such inspection.

FOR INSPECTION CALL 834-3401 - Please supply: Permit #, Name, Project Address & Type of Inspection Needed.

I hereby certify that I have read and examined this application and know the same to be true and correct. I agree to pay all fees necessary for issuance of this permit. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other State or local law regulating construction or the performance of construction.

SIGNATURE OF OWNER / CONTRACTOR / OR AUTHORIZED AGENT <i>[Signature]</i>	DATE <i>9/8/20</i>
FEES COLLECTED <i>\$10.00 paid</i>	RECEIPT NO. (REV. 8/07)

Siteplan



Setbacks

- A: 140'
- B: ~~200'~~ 150'
- C: 200'
- D: 230'

DRAINAGE UNDER ROAD HERE

SEPTIC DESIGN		Wrangell Mountain Technical Services	
LEGAL DESCRIPTION:	LOT 4, BLOCK 4, ROBE LAKE SUBDIVISION VALDEZ, ALASKA	P.O. BOX 118, CHITINA, ALASKA 99566 (907) 823-2280	
STREET ADDRESS:	5975 DEEP LAKE DRIVE	DATE: 9/1/20	SCALE: 1" = 100'
PREPARED FOR:	RHETT FOSTER	DRAWN: MINISH	CHECK: MINISH
		DRAWING #:	VALDEZ ROBE LAKE AREA GENERAL
		JOB#: 20039	REV#: 0
			SHEET: 2 OF 6

* proposed well - 100' + to septic tank/drain field

DESIGN NOTES:

1. DESIGN

- A) PROPOSED 3 BEDROOM HOME
- B) NO GARBAGE DISPOSAL
- C) TO BE ON PRIVATE WELL WATER

2. TERRAIN

- A) IS A HILLSIDE WITH SOME AREAS EXCEEDING 25% SLOPE
- B) COVERED IN ADLERS, DEVILS CLUB, FERNS SOME COTTONWOOD TREES
- C) SOILS ARE VARIED WITH SILT, SILTY CLAY, SAND AND GRAVELS
- D) BEDROCK IS 3.2 FEET TO OVER 8 FEET FROM SURFACE
- E) THERE IS A STREAM AT THE DRIVEWAY THAT CROSSES DEEP LAKE DRIVE NEAR THE DRIVEWAY, THERE IS ALSO A STREAM ±250 FEET NORTHEAST OF THE PROPOSED DRAIN FIELD THAT FLOWS SOUTHEASTERLY

DESIGN

3. SEPTIC TANK SIZING

- A) 1000 GALLON STEEL OR PLASTIC TWO COMPARTMENT TANK
- B) INSULATION OVER THE TOP OF THE TANK IS REQUIRED
- C) INSULATION OVER TANK TO EXTEND 4 FEET FROM SIDE EDGES OF TANK
- D) TWO FEET OF COVER OVER INSULATION IS REQUIRED

4. DRAIN FIELD SIZING

- A) ALL MATERIAL UNDER THE PROPOSED DRAIN FIELD IS TO BE REMOVED TO BEDROCK APPROXIMATELY 7 TO 8 FEET
- B) BACKFILL WITH TYPE IIA (3 INCH MINUS) FROM DAYVILLE PIT TO BOTTOM OF PROPOSED LEACH ROCK
- C) USE FINE GRADE CLEAN LEACH ROCK PER THE INSTALLER'S MANUAL
- D) DRAIN FIELD SIZE IS BASED ON 3 BEDROOMS AT 150 SF FOR 450 SF DRAIN FIELD
- E) DRAIN FIELD IS TO BE 22 FEET WIDE BY 22 FEET BED SYSTEM
- F) INSTALL FOUR 4 INCH BY 5 FEET MONITORING PIPE VERTICALLY 1.5 FEET INSIDE THE CORNERS OF THE DRAIN FIELD
- G) MONITORING PIPE TO EXTEND TO BOTTOM OF LEACH ROCK
- H) PLACE FINE GRADE LEACH ROCK AROUND AND OVER THE LEACH PIPE ±1 INCH OVER PIPE
- I) PLACE FILTER FABRIC OVER LEACH ROCK EXTENDING 1 FOOT BEYOND ROCK
- J) INSTALL 2 INCHES OF 60 PSI INSULATION OVER DRAIN FIELD EXTENDING INSULATION 4 FEET FROM EDGE OF DRAIN FIELD

5. PIPING

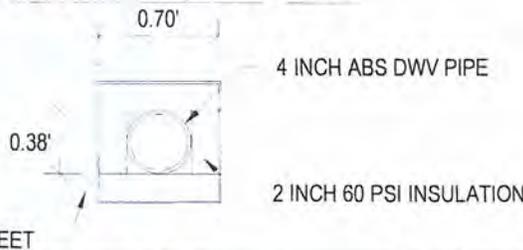
- A) USE 2 INCH ARCTIC PIPE WITH EITHER 4 INCH ABS INTERNAL PIPE OR 4 INCH ABS PIPE WITH 2 INCHES OF INSULATION OVER TOP, SIDES AND BOTTOM OF PIPE SECURE INSULATION WITH ZIP TIES FROM THE HOUSE TO THE SEPTIC TANK AND SEPTIC TANK TO DRAIN FIELD
- B) USE FERNCO COUPLER AT DRAIN FIELD SWITCH TO SOLID 4 INCH PVC FOR THE HEADER
- C) USE 4 INCH PVC PERCOLATION PIPE FOR PIPE RUNS
- D) PIPE RUNS ARE TO BE 16 FEET LONG AT 4 FEET SPACING TOTAL OF 5 RUNS
- E) INSTALL REAR MANIFOLD WITH SOLID 4 INCH PVC

6. REFERENCE STATE OF ALASKA INSTALLERS MANUAL AND WASTEWATER REGULATIONS

7. VARIATIONS IN THIS DESIGN FROM TITLE 72 WASTEWATER AND THE INSTALLERS MANUAL.

- A) EXIT PIPE FROM SEPTIC TANK WILL NOT BE 10 FEET
- B) SEPTIC TANK TO 10 FEET FROM DRAIN FIELD IS GREATER THAN 25%
- C) EXISTING SOIL IS BEING REPLACED WITH BETTER MATERIAL

ARCTIC PIPE ALTERNATIVE



SEPTIC DESIGN		WRANGELL MOUNTAIN TECHNICAL SERVICES	
LEGAL DESCRIPTION:	LOT 4, BLOCK 4, ROBE LAKE SUBDIVISION VALDEZ, ALASKA	P.O. Box 118, CHITINA, ALASKA 99566 907-823-2280	
STREET ADDRESS:	5975 DEEP LAKE DRIVE	DATE: 9/1/20	DRAWN: MINISH CHECK: MINISH
PREPARED FOR:	RHETT FOSTER	JOB#: 20039	SCALE: N.T.S.
		DRAWING#: VALDEZ ROBE LAKE AREA GENERAL	REV#: 0
			SHEET: 1 OF 5

4 June 2020

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Partial Design Assessment – New Construction on Deep Lake Drive

Dear. Mr. Foster,

The following report summarizes the assessment conducted by SANBORN ENGINEERING & CONSULTING, LLC (SE&C).

Any requests for additional information or to address follow-up questions may be sent to SE&C by the following means:

email: tom@sanbornengrllc.com

phone: 850-377-8978



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC

BACKGROUND

SE&C was asked to perform a partial design assessment on several elements of a two story residence you plan to construct on Deep Lake Drive, Valdez, Alaska. Specifically, you requested that SE&C address the following questions and concerns:

- Determine the shear wall requirements necessary to comply with the local building code?
- Review the required roof rafters listed on the plans.
-

You provided a partial set of plans for this residence that were prepared by Fluidity Designs, LLC.

DESIGN CRITERIA & REFERENCES

The following information is limited to the design criteria provided by you, Mr. Rhett Foster, and summarizes the code requirements and other applicable references. If there are any modifications or changes in configuration to this structure or its construction, updated assessments may be necessary.

1. Design Characteristics: The following is a summary of the applicable design elements and assumptions used by SE&C in the design analysis calculations.
 - a. Single family residence with varying roof heights so that the west end of the structure is one story with an attic space, and the east end is two stories high with vaulted ceilings.
 - b. The roof above both sides of the structure is metal, 4:12 pitch, and single sloped with the high side facing south. There is a 2'8" eave overhang on all sides.
 - c. The roof rafters per the provided plans are either:
 - i. 16" BCI 60 2.0 at 16" on center (o.c.); or
 - ii. 14" BCI 60 2.0 at 12" o.c.
 - d. The structure includes 3 bedrooms, 2 bathrooms, and has approximately 1,350 square feet of interior living space.
2. Code and References
 - a. According to the City of Valdez government website, the relevant currently adopted codes are:
 - i. 2009 International Building Code, Chapter 16: Structural Design

- ii. 2009 International Residential Code, Chapter 6: Wall Construction
 - b. Additional code criteria:
 - i. Seismic Zone IV and Seismic Design Criteria D2 for Residential
 - ii. 120 mph 3-second design wind speed with exposure category C.
 - iii. Ground Snow Load: 160 psf
 - c. Additional References. Per Chapter 16 of the Building Code, the design provisions within the American Forest and Paper Association (AF&PA) published Wood Frame Construction Manual (WFCM) are permitted for residential structures.
- 3. All calculations included in this report were performed using Microsoft Excel

ANALYSIS & CONCLUSION

The following conclusions are based on the design characteristics provided to SE&C's and certain conservative estimates listed in the previous section. These conclusions are subject to revision or clarification in the event of any changed in the design or construction of the structure which may materially affect the current analysis.

1. The vertical load carrying elements were analyzed using the Allowable Strength Design (ASD) Method, and Tributary Area Analysis for the applicable design loads.
2. Shear Wall Analysis: A segmented shear wall design assessment was conducted per the Wood Frame Construction Manual.
 - a. For these calculations, the following minimum design criteria is used:
 - i. Exterior walls are blocked, with 2x6 studs spaced 16" on center.
 - ii. Minimum 3/8" Plywood exterior sheathing secured to the studs with 8d common nails spaced 6" o.c.
 - iii. Interior 1/2" gypsum board sheathing secured to the studs with 5d cooler nails spaced 7" o.c.
 - b. The table on the following page lists any deviations from the above listed minimum design criteria for sheathing in the column labeled "Additional Criteria".

Floor	Face	Additional Criteria
1	North	N/A
1	South	4" exterior nail spacing
1	East	3" exterior nail spacing
1	West	3" exterior nail spacing
2	North	N/A
2	South	3" exterior nail spacing
2	East	N/A
2	West	4" exterior nail spacing

Table 1: Sheathing criteria above minimum design required.

- c. Hold downs shall be installed on at both ends of each wall, and on either side of any wall opening (doors and windows) in accordance with the manufacturer's instruction, and shall have the following minimum connection capacity:
 - i. First Floor: 4,360 lb
 - ii. Second Floor: 3,488 lb

3. Rafters:

- a. The listed roof rafters both provide sufficient strength to meet code requirements.
- b. As you requested, additional analysis on sawn lumber roof rafter alternatives was performed. Given the slope, and maximum unsupported span only the below sawn lumber section provides sufficient strength:
 - i. Species: Douglas Fir-Larch
 - ii. Nominal Size: 2x12
 - iii. Spacing: 12" o.c.
 - iv. Grade: Select Structural

4. Stud Wall

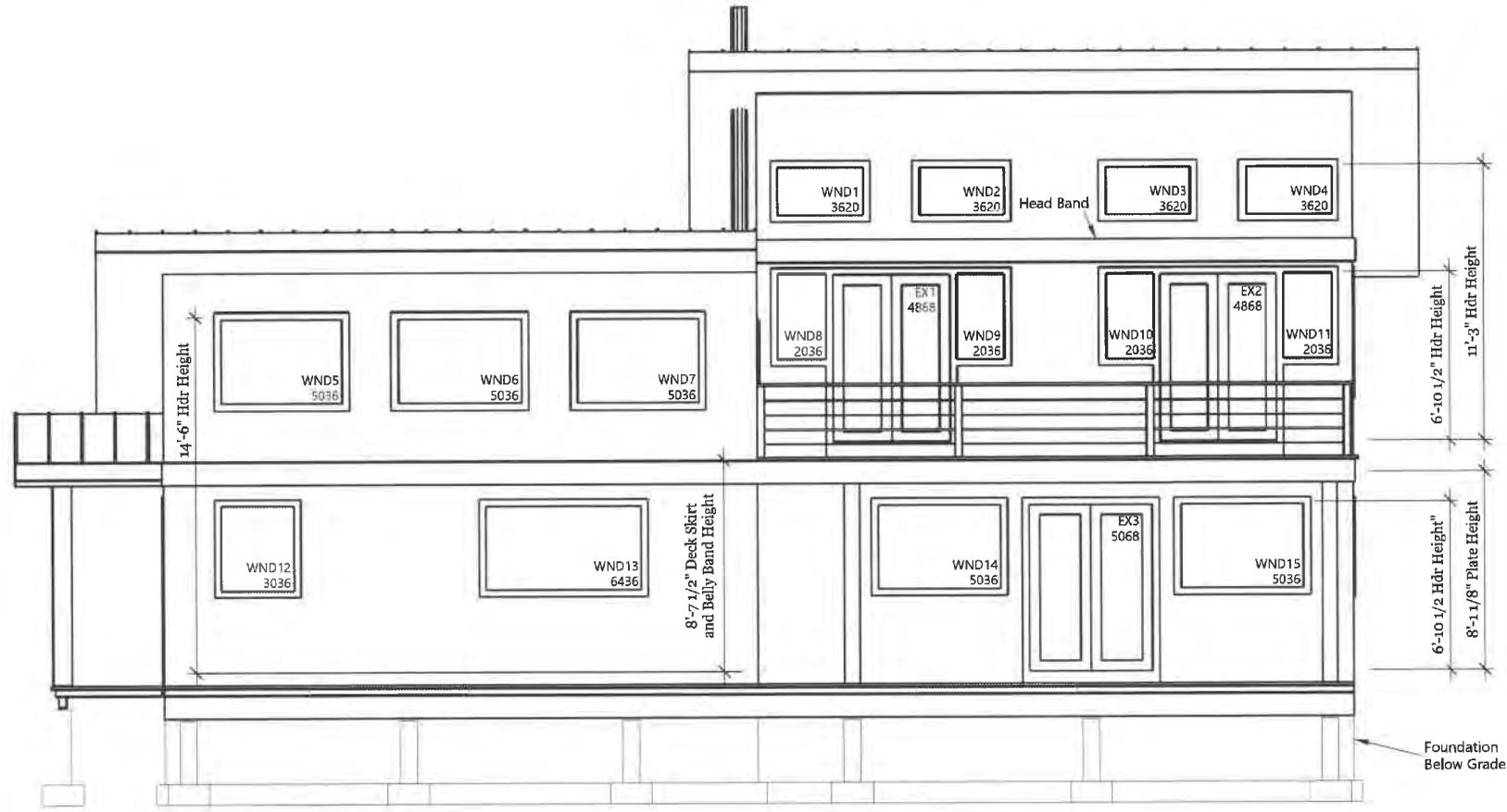
- a. 2x6 studs spaced 16" o.c. for all exterior and load bearing walls.

DATE	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ, AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

South Elevation
 3/16"=1'



1 South Elevation
 scale: 3/16"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

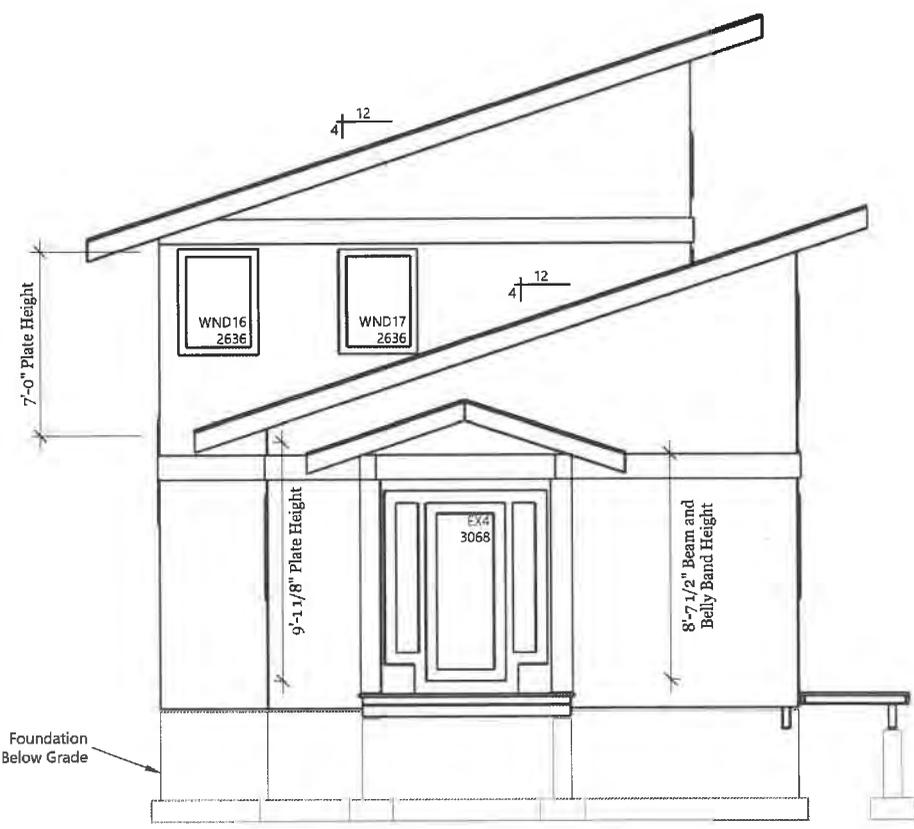
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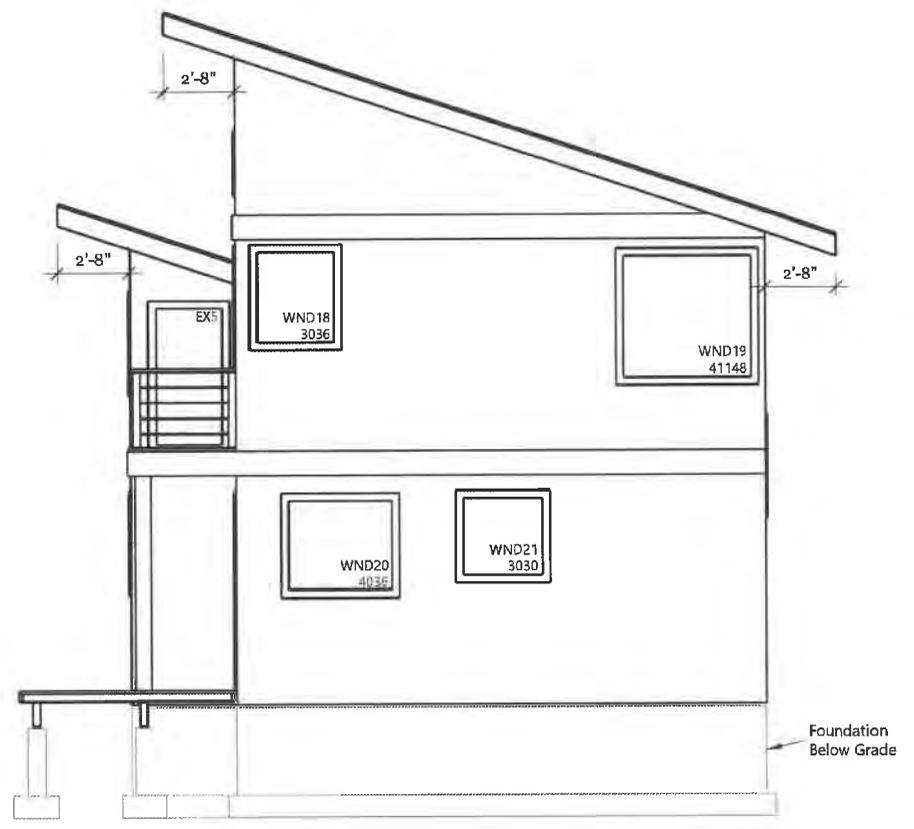
Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

West Elevation, East Elevation

3 Of 12



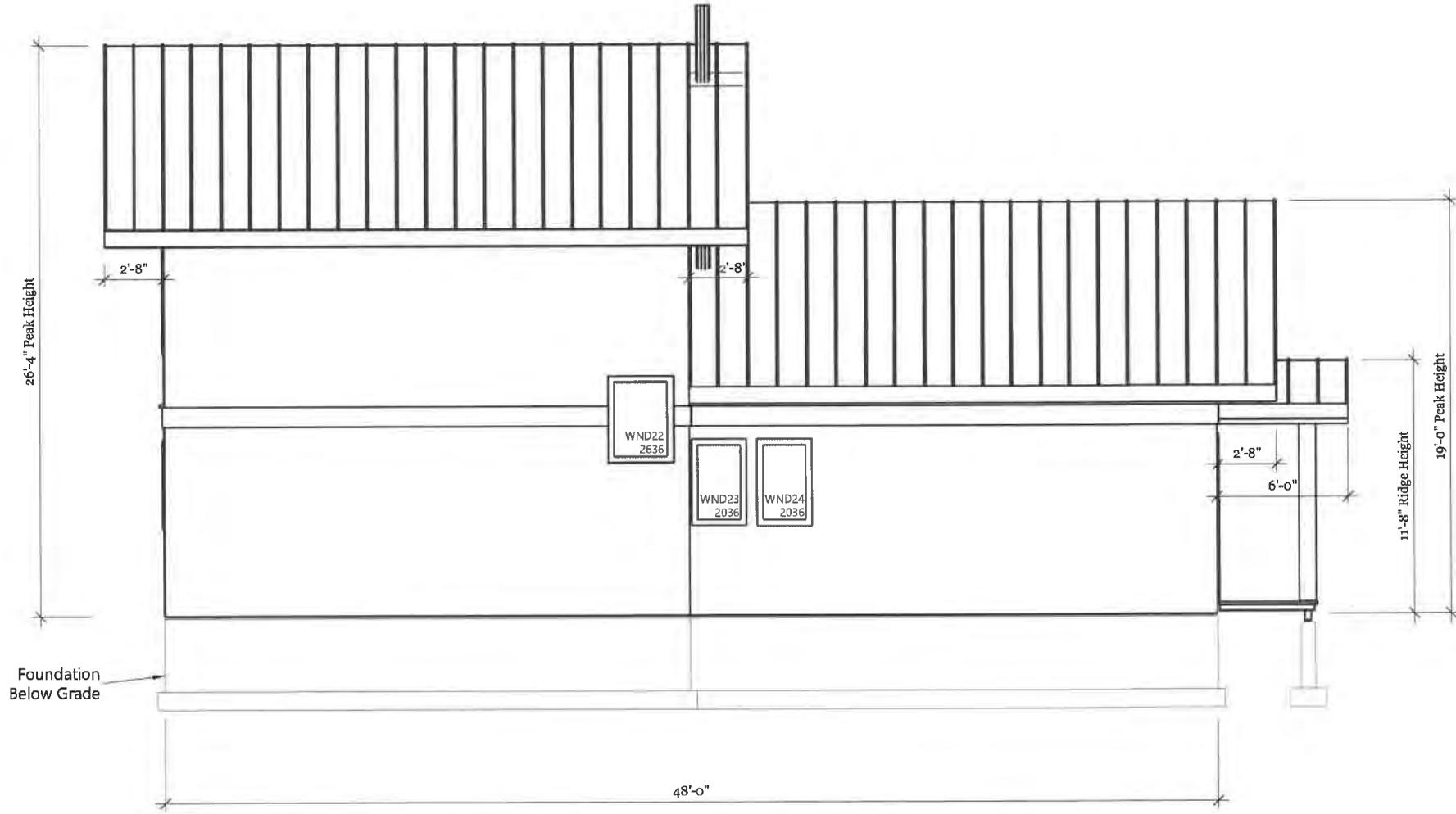
1 West Elevation
 scale: 3/16"=1'



2 East Elevation
 scale: 3/16"=1'

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Sheet Size: 11x17



1 North Elevation
 scale: 3/16"=1'

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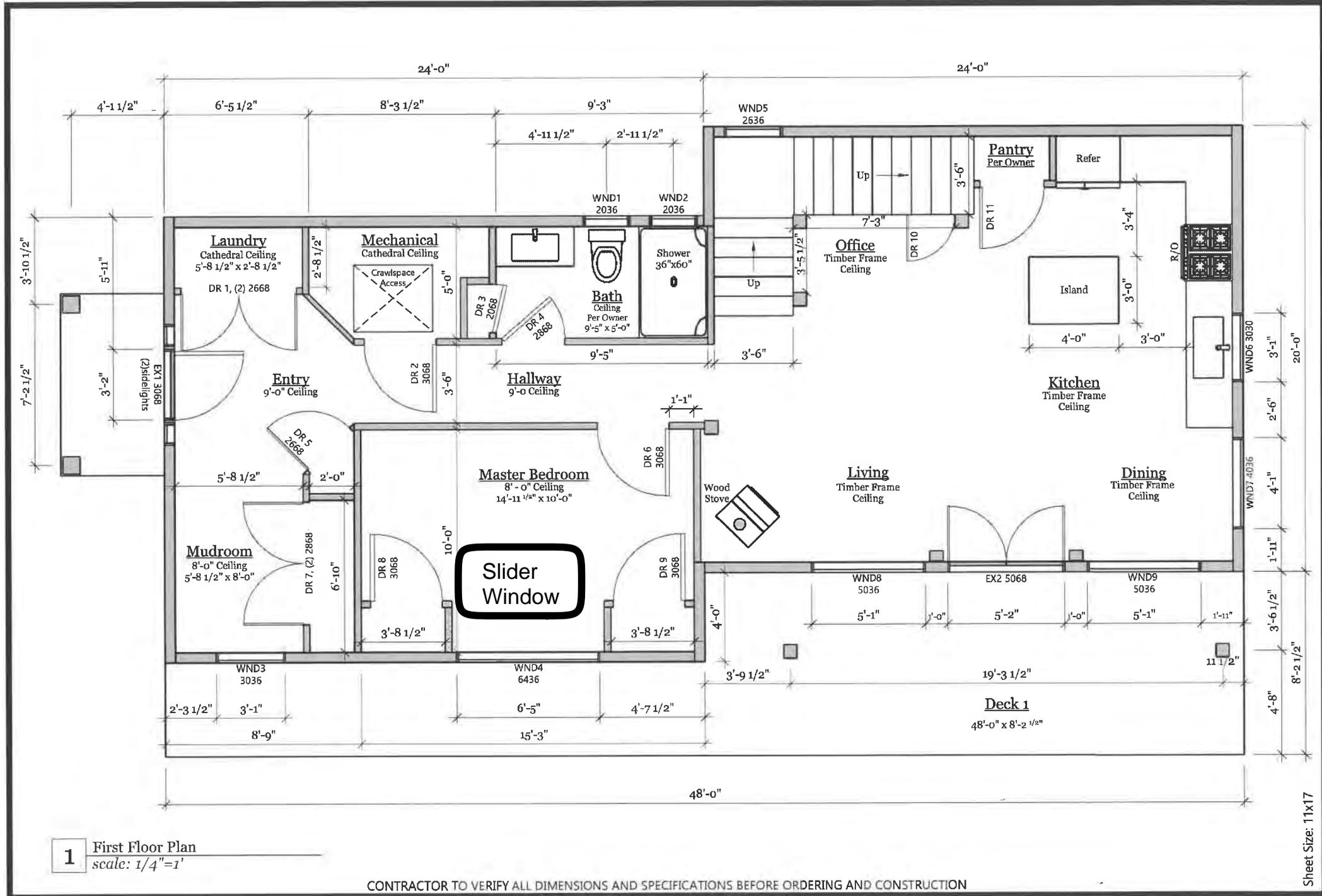
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 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

North Elevation
 Scale: 3/16"=1'



1 First Floor Plan
 scale: 1/4"=1'

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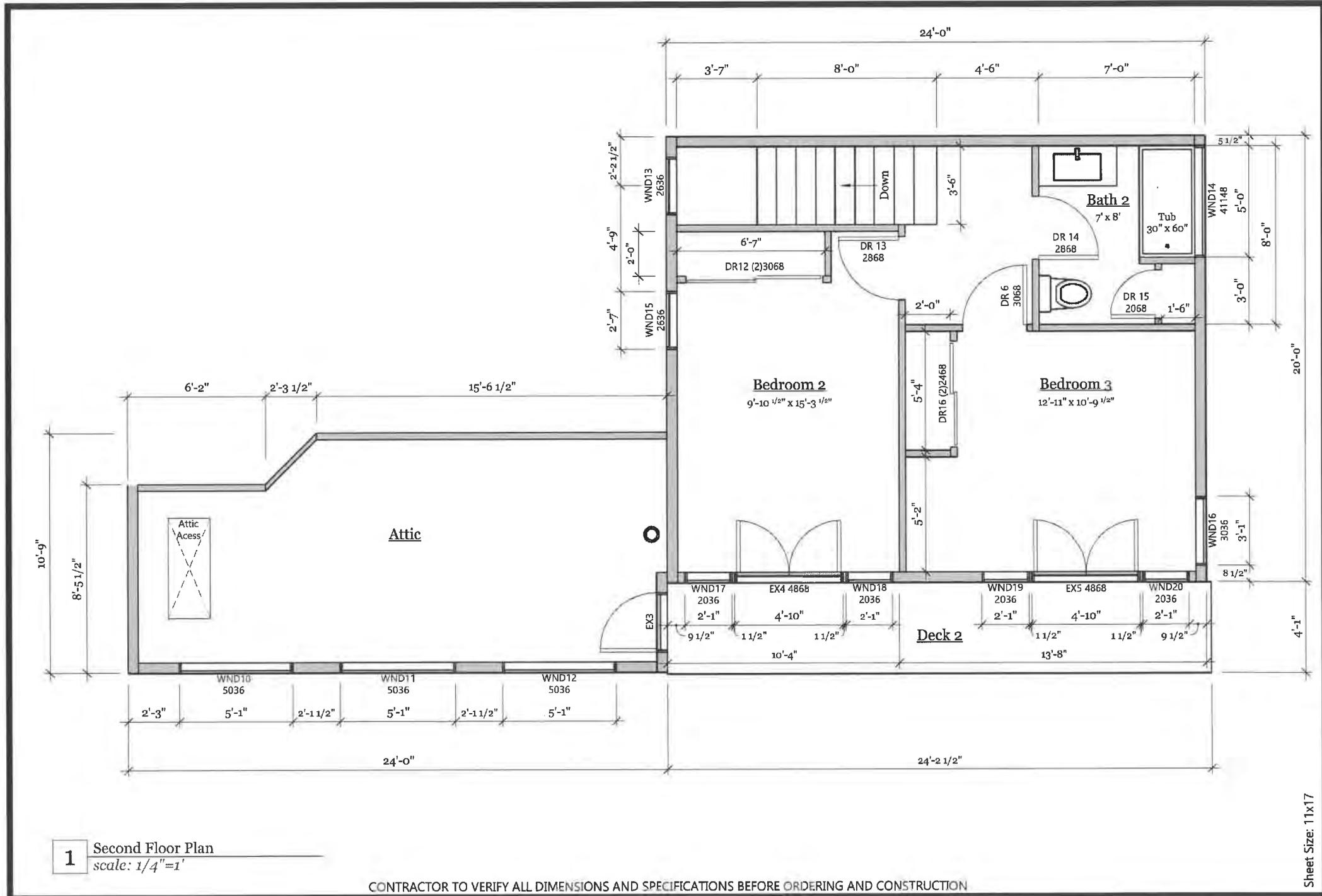
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 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

First Floor Plan
 Scale: 1/4"=1'

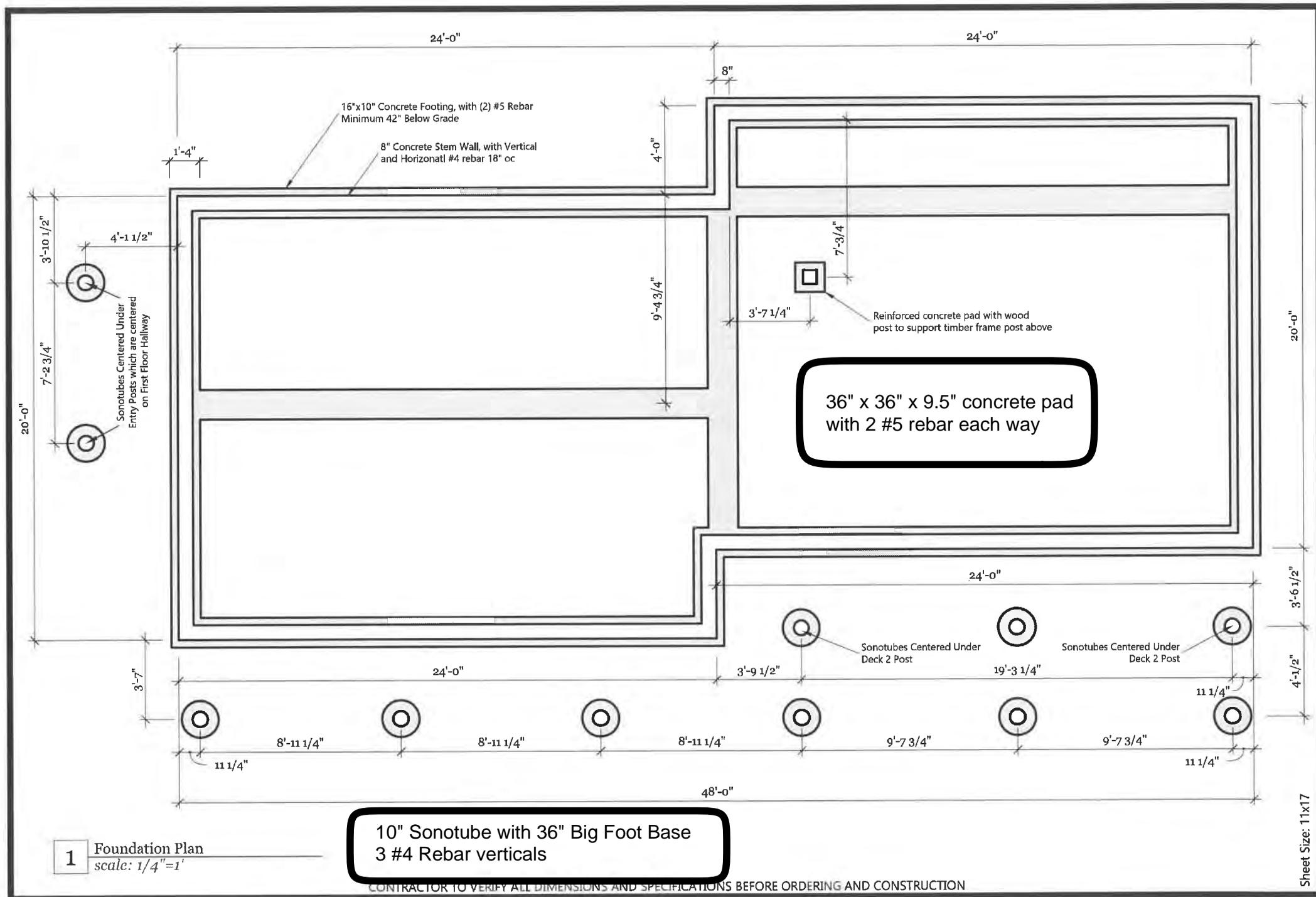


1 Second Floor Plan
 scale: 1/4"=1'

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Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
Second Floor Plan Scale: 1/4"=1'	
6 of 12	



1 Foundation Plan
 scale: 1/4"=1'

10" Sonotube with 36" Big Foot Base
 3 #4 Rebar verticals

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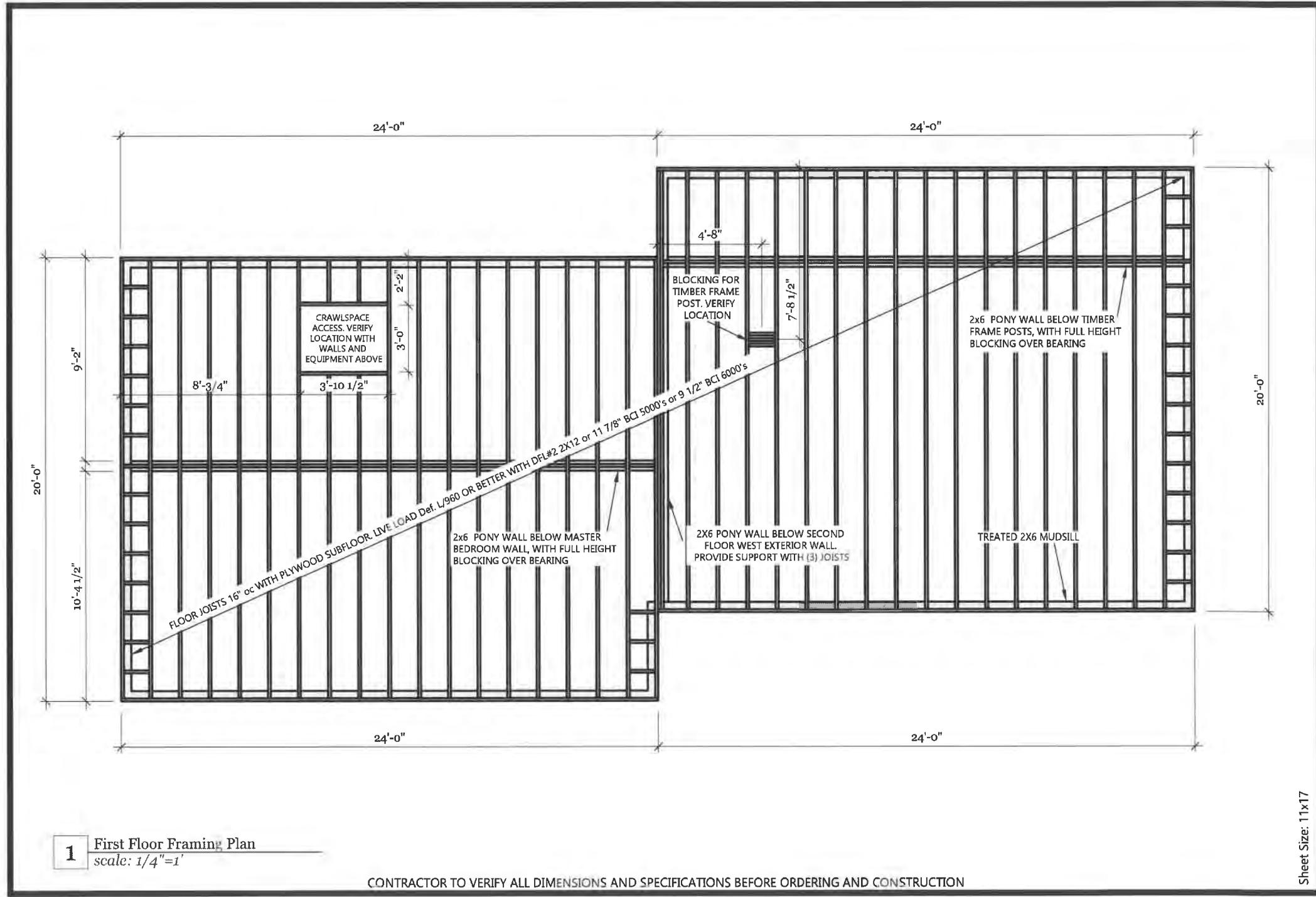
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BRIAN TOTTEN	
FLUIDITY DESIGNS	
PO BOX 333 VALDEZ AK 99686	
(907) 795-5319	
brian.totten@yahoo.com	
Foster Residence	
1234 DEEP LAKE DRIVE	
VALDEZ, AK 99686	
Foundation Plan	
Scale: 1/4"=1'	
7 of 12	

DATE:	DESCRIPTION:
5.12.20	1st Draft

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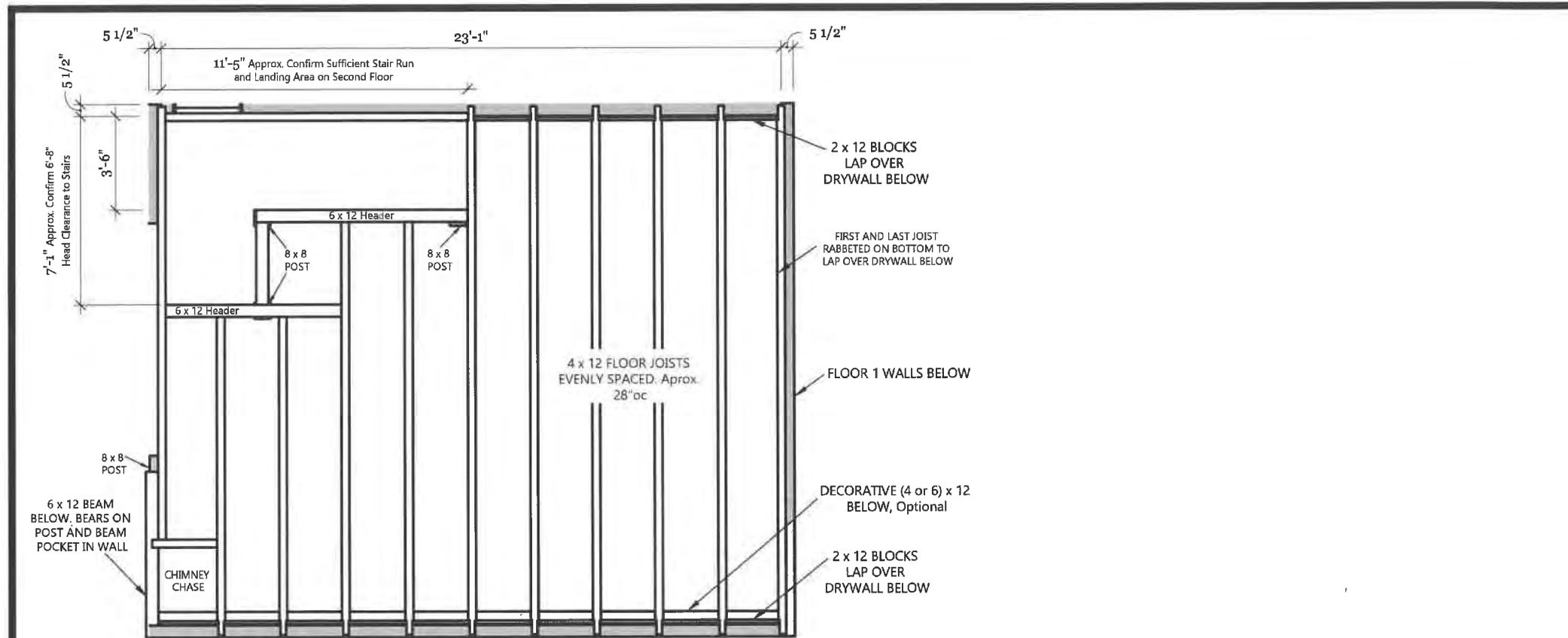
First Floor Framing Plan
 Scale: 1/4"=1'



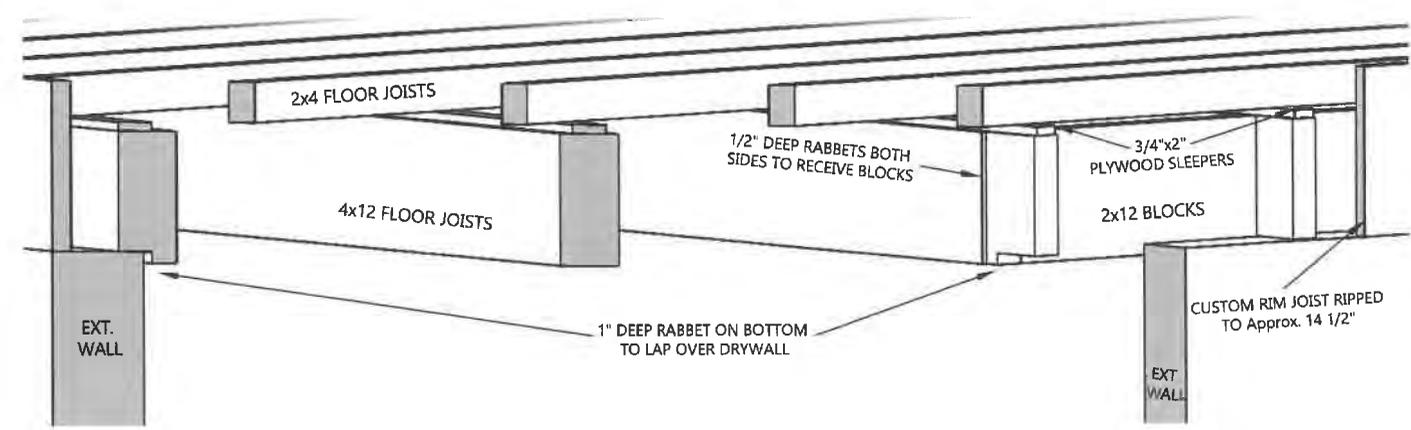
1 First Floor Framing Plan
 scale: 1/4"=1'

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Sheet Size: 11x17



1 Second Floor Timber Frame Plan
scale: 1/4"=1'



2 Timber Frame Floor Detail
Orthogonal View

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Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
Second Floor Timber Frame Plan	
9 of 12	

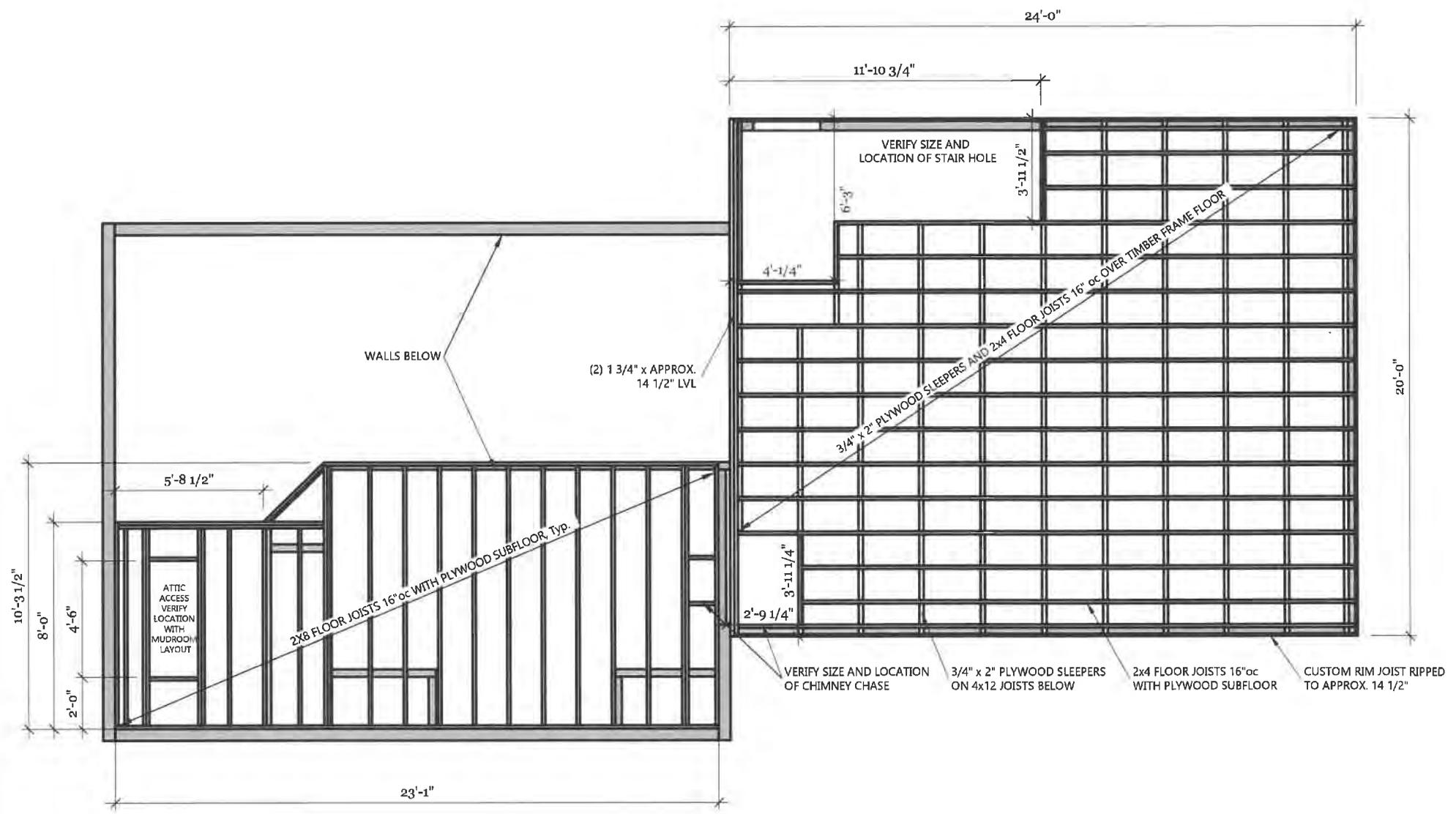
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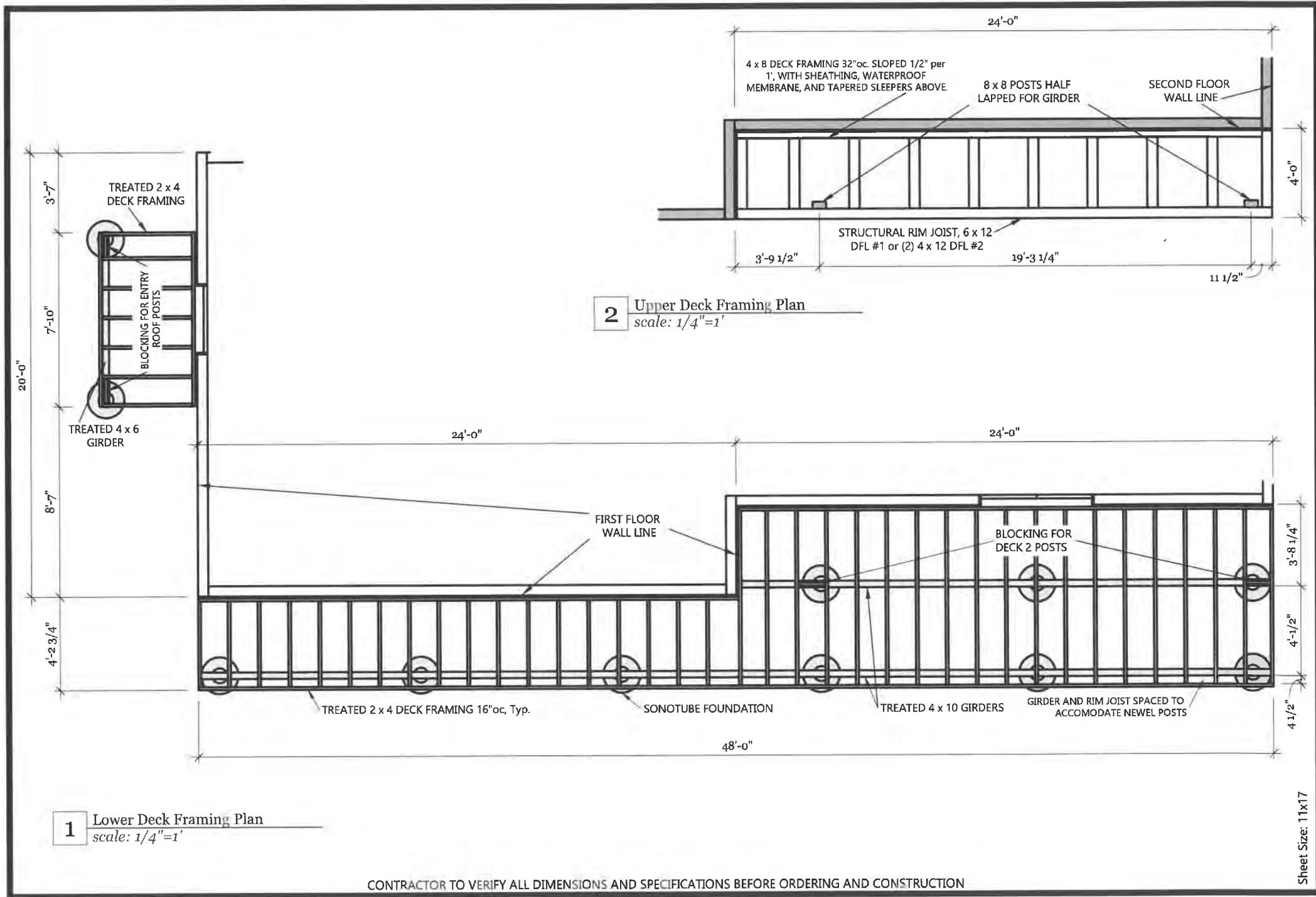
Second Floor Framing Plan
 Scale: 1/4"=1'



1 Second Floor Framing Plan
 scale: 1/4"=1'

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1 Lower Deck Framing Plan
scale: 1/4"=1'

2 Upper Deck Framing Plan
scale: 1/4"=1'

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 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Deck Framing Plan

Sheet Size: 11x17

BUILDING PLAN REVIEW

PERMIT #: 20-000197

DATE RECEIVED: 10-5-2020

DATE REVIEWED: 10-8-2020

APPLICANTS NAME: Rhett Foster PROPERTY OWNER: Same

LEGAL DESCRIPTION: LOT 4 BLOCK 4 SUBD/SURVEY Robe Lake

PHYSICAL LOCATION: ST ADDRESS 5975 Deep Lake Drive

GROUP: — CONSTR. TYPE: — ZONING: Rural Residential

DESCRIPTION: Construct new single family home.

APPROVED: Ok to issue building permit.
Ok to issue Electrical Permit.
Ok to issue Plumbing Permit.

NOT APPROVED:

NEED MORE INFO: Page #5 Master bedroom Egress?
Page #7 Sano tube details and reinforced pad size + details.

OK ~~Questions on Plumbing Permit regarding septic~~

CONDITIONS / NOTES:

Design Criteria Met per Engineering Report
Shear wall Nailing listed in Engineers Report
Hold downs required at both ends of each wall, and on either side of any wall opening (doors + windows)
10/11/2020 Clarifications received via email from Owner

Septic System permit issued.

REVIEWED BY: 
JAY YUNKER, BUILDING INSPECTOR

Jay Yunker

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Friday, October 9, 2020 1:33 PM
To: Jay Yunker
Subject: Foster Residence

> Thank you, Jay.

>

> #1. WND4 on page 5 shall be an operable slider with minimum opening of 5.7 square ft.

>

> #2. Sonotubes on page 7 shall be 10" diameter, reinforced with 3 sticks each #4 rebar with j bent on bottom tying into 24" Bigfoot bases.

>

> #3. Concrete pad on page 7 shall be 9.25" deep, 36" by 36" square supporting a 6x6 post on pad. Reinforced with 4 sticks #5 rebar in grid pattern with minimum 3" concrete cover.

>

> Please let me know if you need anything further. Thanks again.

>

> Rhett

>

>

>> On Oct 8, 2020, at 4:31 PM, Jay Yunker <JYunker@valdezak.gov> wrote:

>>

>> Hey Rhett,

>> I've recently completed the preliminary review and have a few questions for you.

>> #1 Page 5 needs to detail if the window is operable and meets egress requirements.

>> #2 Page 7 requires sono-tube reinforcement details as well as type of base used including reinforcement.

>> #3 The reinforced concrete pad shown requires dimensions as well as reinforcement.

>> Everything else seems to be in place.

>> Please get this information to me in order for the review to proceed.

>> If you have questions, please let me know Thank You

>>

>>

>> Jay Yunker

>> Building Inspector

>> City of Valdez - Planning Department

>> C 907.834.3401 | jyunker@valdezak.gov

>>

>>

>>

>> -----Original Message-----

>> From: Rhett Foster <rhett.foster@gmail.com>

>> Sent: Thursday, October 8, 2020 2:35 PM

>> To: Jay Yunker <JYunker@ValdezAK.Gov>

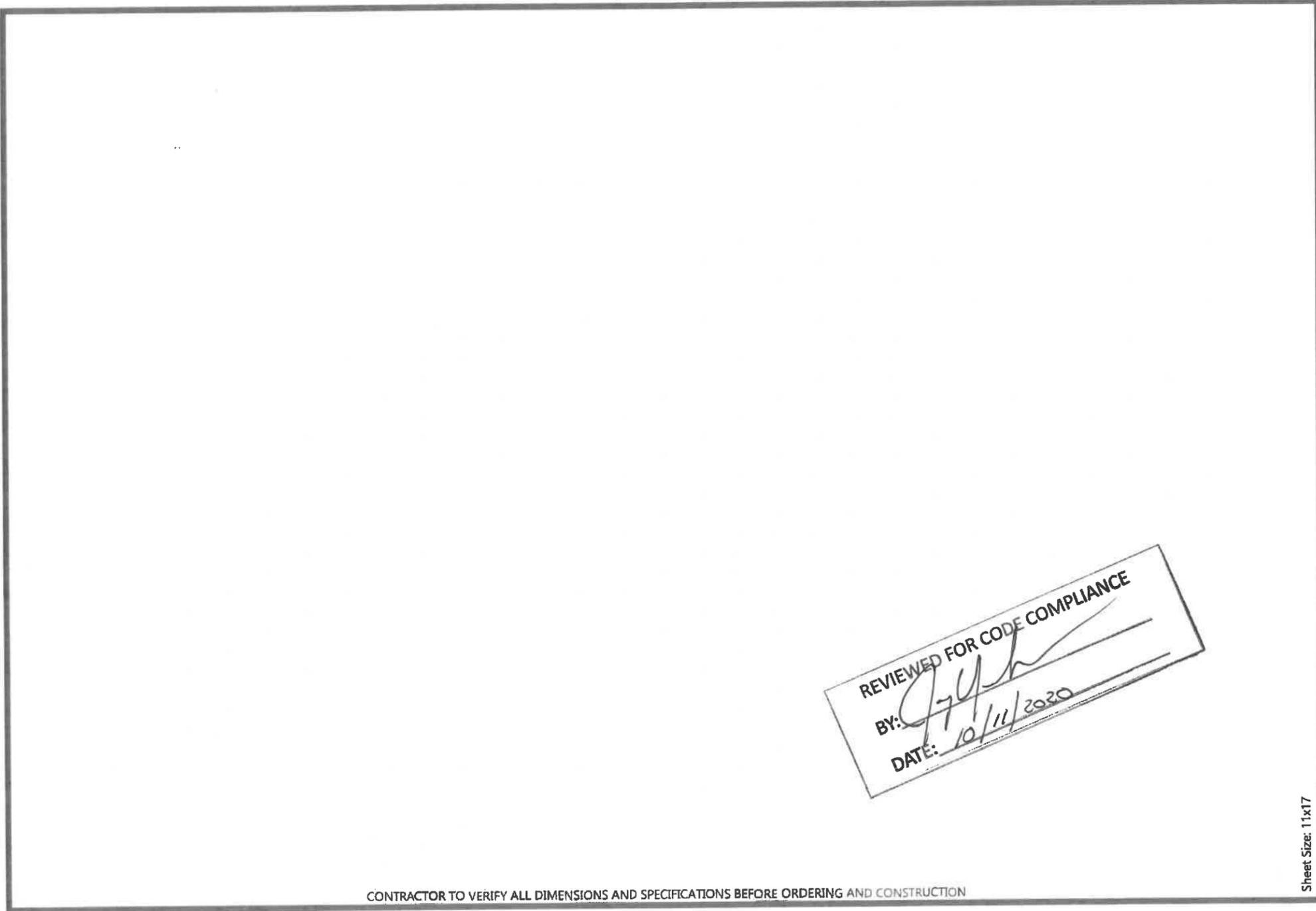
>> Subject: Foster Residence

>>

>> Hello Jay,

>>

>> Looking for an update on my building permit review, please...

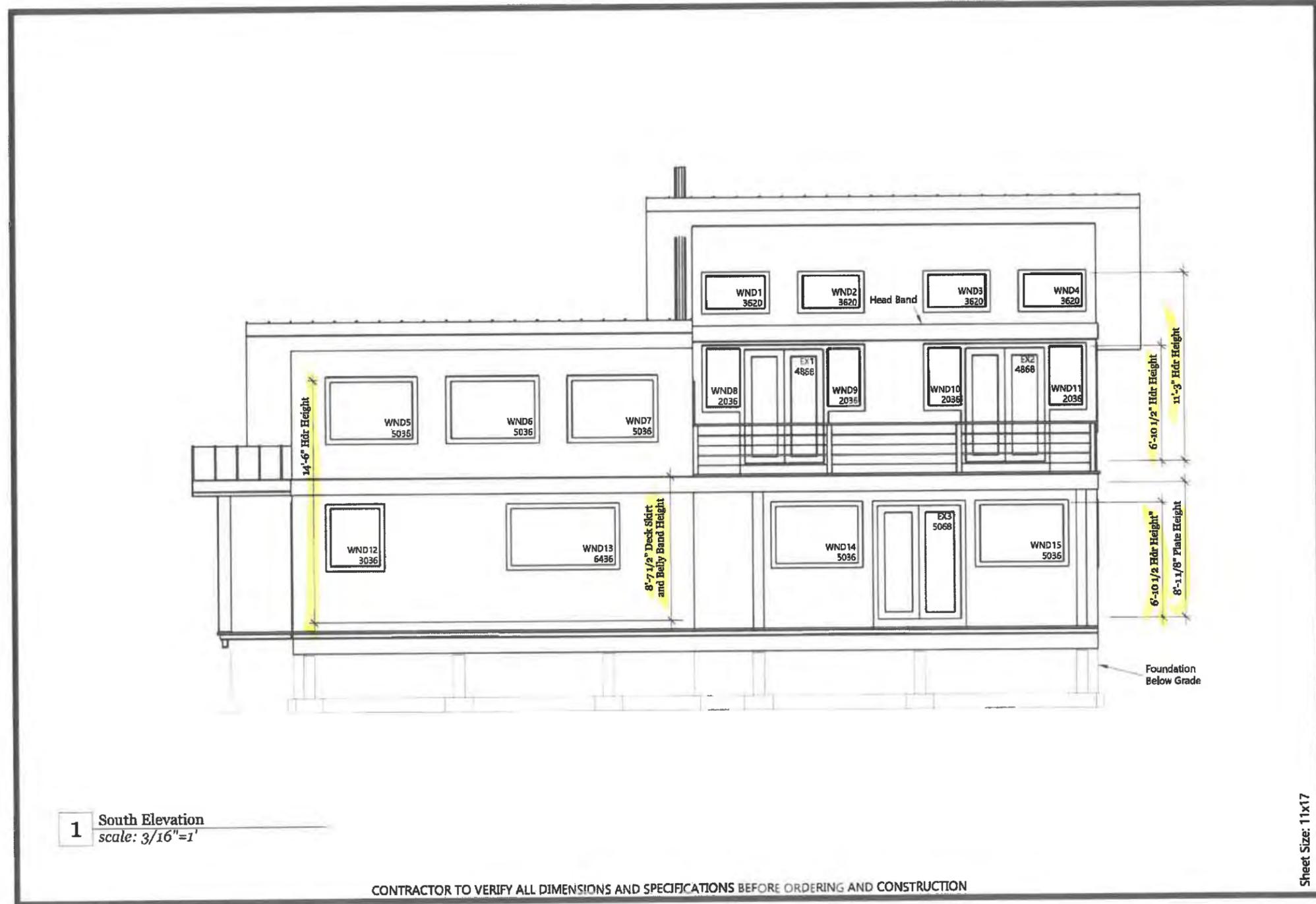


REVIEWED FOR CODE COMPLIANCE
 BY: *[Signature]*
 DATE: 10/11/2020

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5.12.20	1st Draft
	May 11, 2020
DESIGNER: BRIAN TOTTEN FLUIDITY DESIGNS PO BOX 388 VALDEZ AK 99686 (907) 795-5319 brian_totten@yahoo.com	
Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
Cover Page	
1 of 12	



1 South Elevation
scale: 3/16"=1'

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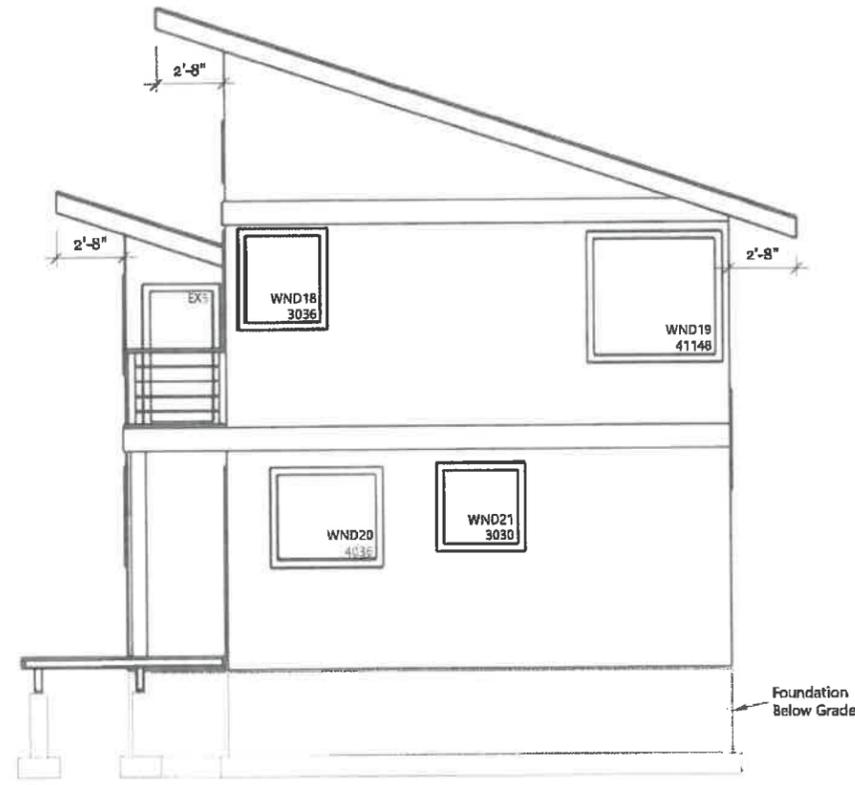
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Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
South Elevation 3/16"=1'	
2 Of 12	

REVIEWED FOR CODE COMPLIANCE
 BY: *[Signature]*
 DATE: 10/11/2020



1 West Elevation
scale: 3/16"=1'



2 East Elevation
scale: 3/16"=1'

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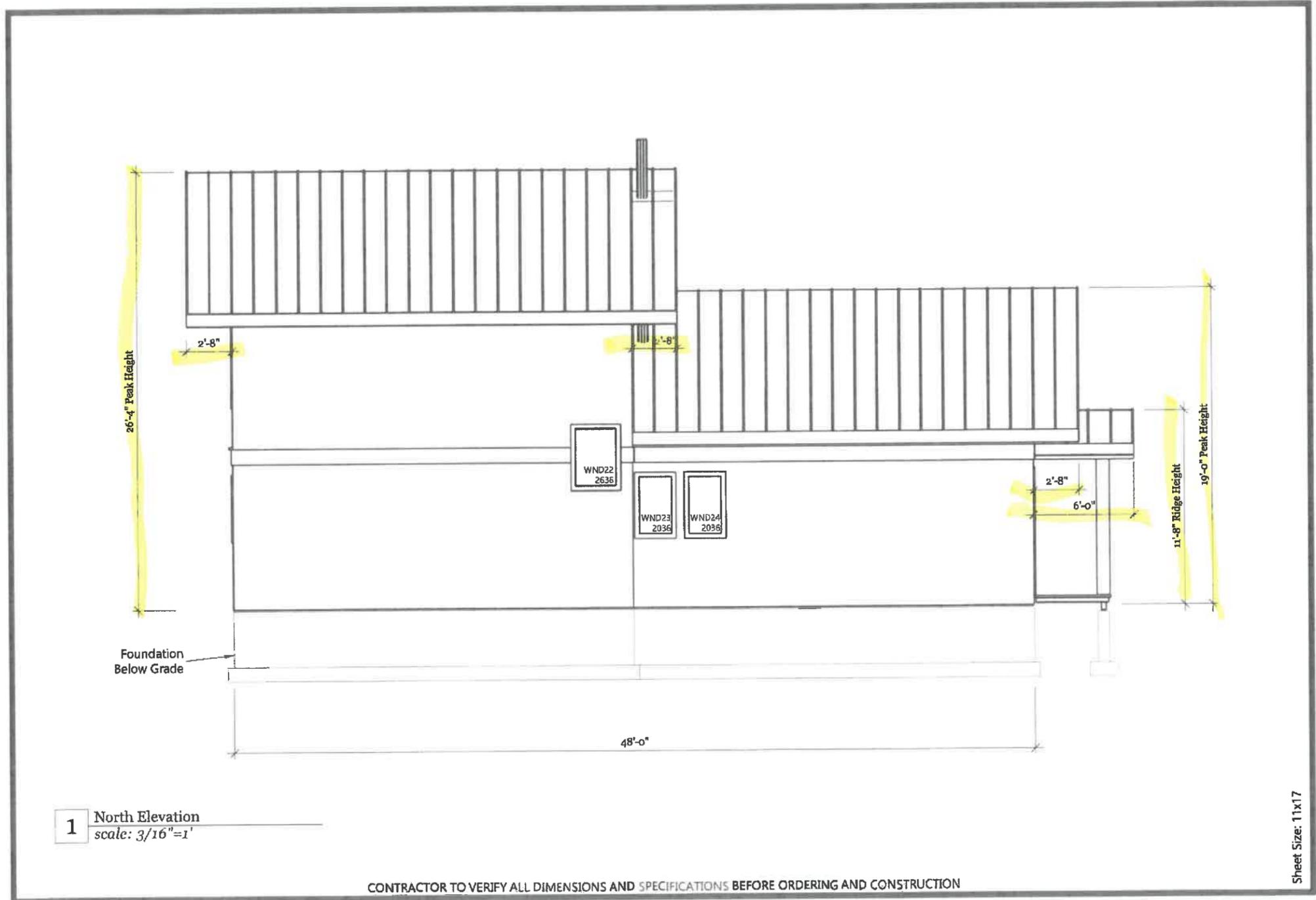
DATE	DESCRIPTION
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DESIGNER:
BRIAN TOTTEN
FLUIDITY DESIGNS
PO BOX 333 VALDEZ AK 99686
(907) 795-5319
brian.totten@yahoo.com

Foster Residence
1234 DEEP LAKE DRIVE
VALDEZ, AK 99686

West Elevation, East Elevation

3 of 12



1 North Elevation
scale: 3/16"=1'

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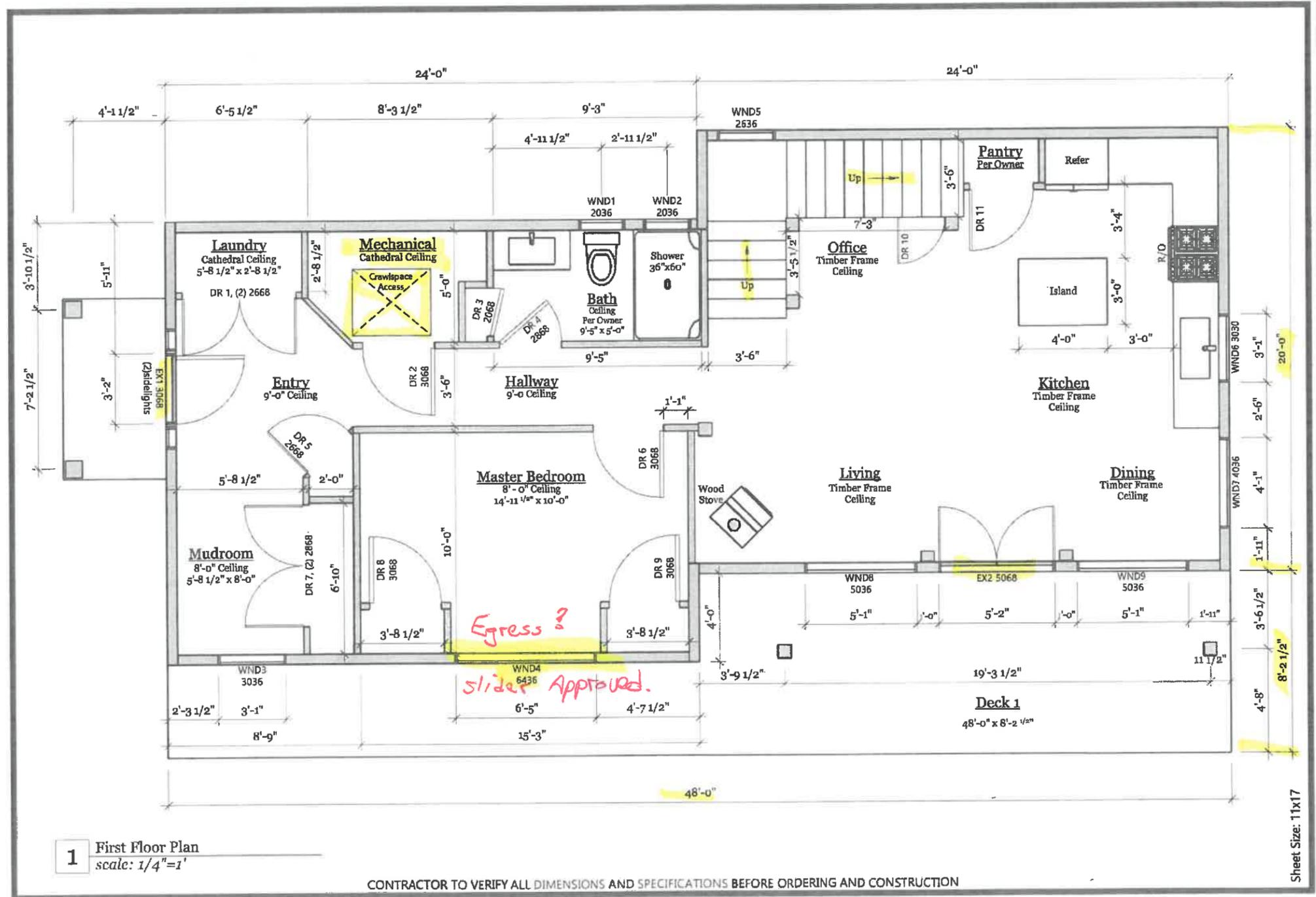
DATE	DESCRIPTION
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BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ, AK 99685
 (907) 795-5319
 brian_totten@yahoo.com

North Elevation
 Scale: 3/16"=1'

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

4 of 12



1 First Floor Plan
scale: 1/4"=1'

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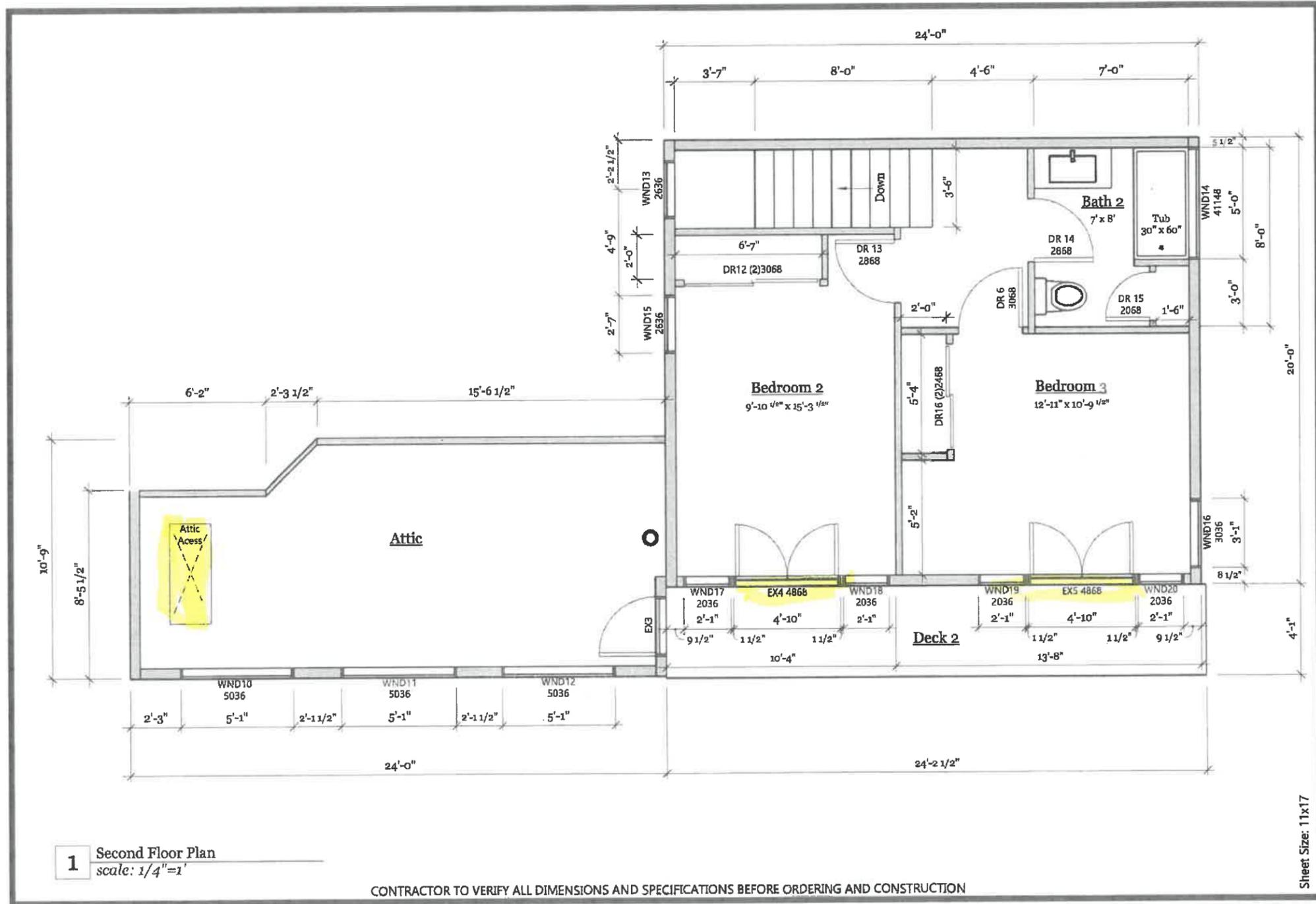
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 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

First Floor Plan
 Scale: 1/4"=1'

5 of 12

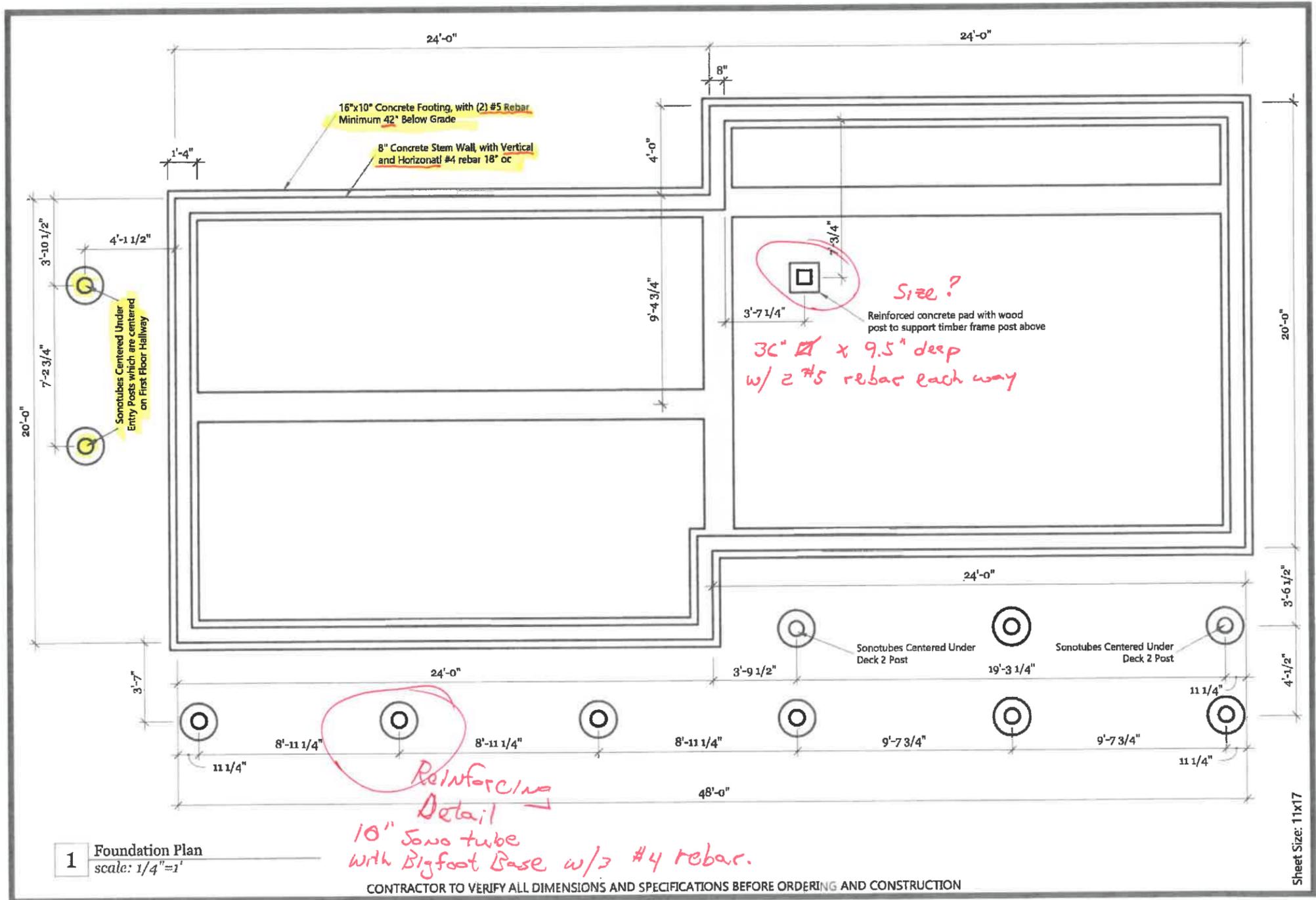


1 Second Floor Plan
 scale: 1/4"=1'

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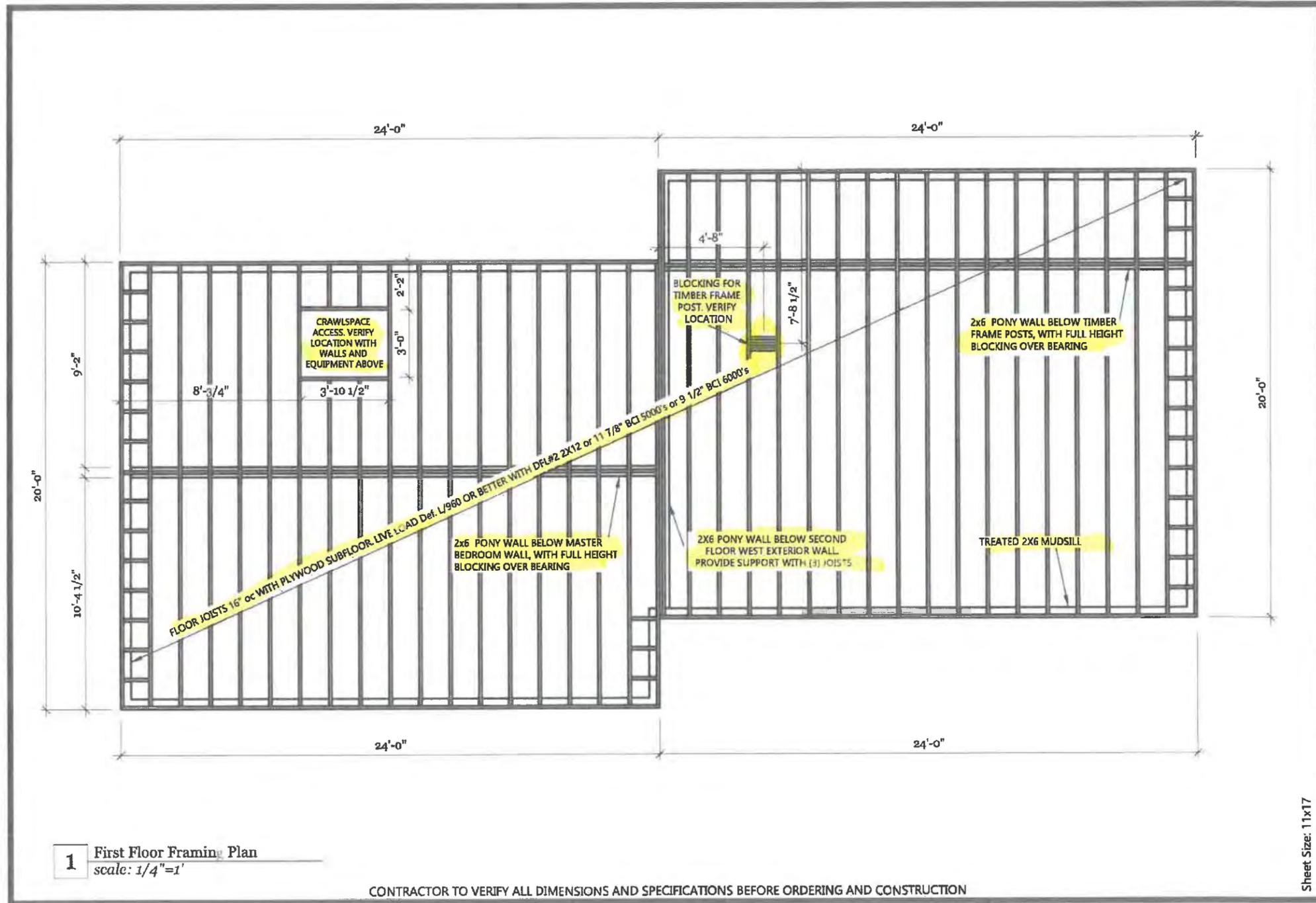
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Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686	
Second Floor Plan Scale: 1/4"=1'	
6 Of 12	



1 Foundation Plan
 scale: 1/4"=1'

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Foundation Plan Foster Residence 1234 DEEP LAKE DRIVE VALDEZ, AK 99686 Scale: 1/4"=1'	
7 of 12	



1 First Floor Framing Plan
 scale: 1/4"=1'

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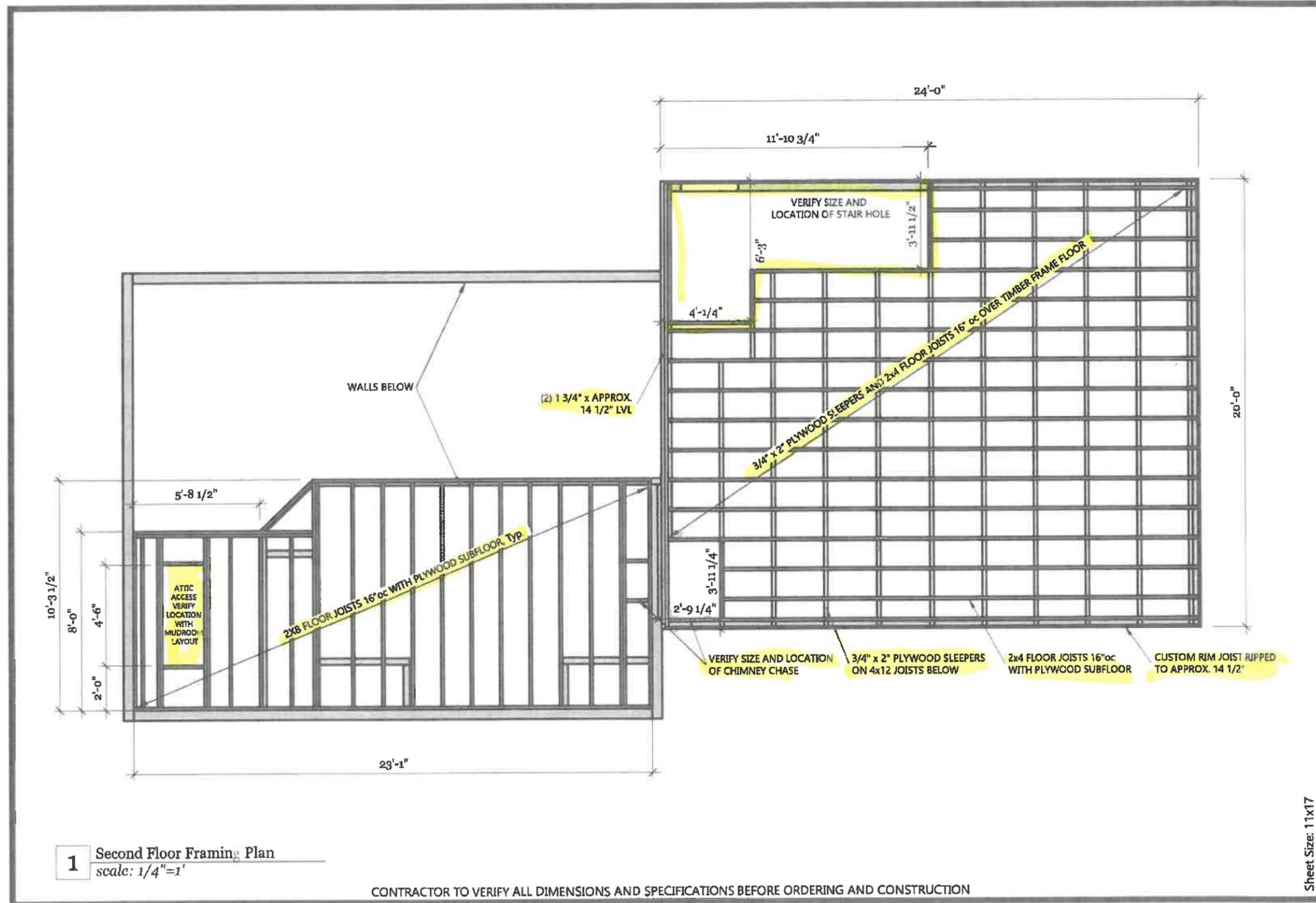
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 (907) 795-5319
 brian_totten@yahoo.com

First Floor Framing Plan
 Scale: 1/4"=1'

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

8 of 12



1 Second Floor Framing Plan
 scale: 1/4"=1'

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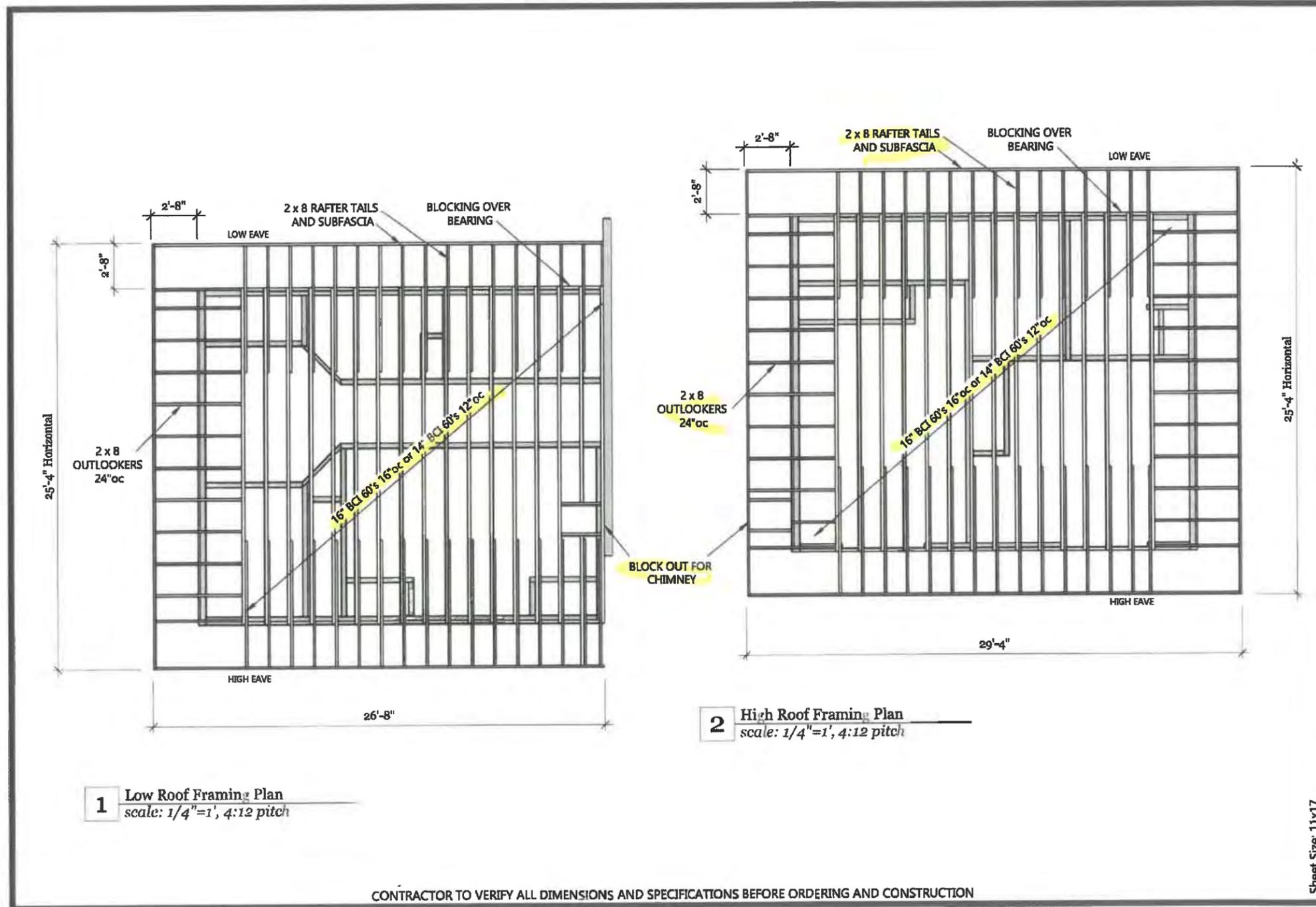
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 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ, AK 99686
 (907) 795-5319
 brian.totten@fluidity.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Second Floor Framing Plan
 Scale: 1/4"=1'

Sheet Size: 11x17

10 of 12



1 Low Roof Framing Plan
 scale: 1/4"=1', 4:12 pitch

2 High Roof Framing Plan
 scale: 1/4"=1', 4:12 pitch

DATE:	DESCRIPTION:
5.12.20	1st Draft

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 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
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 VALDEZ, AK 99686

Roof Framing Plan

Sheet Size: 11x17

12 of 12

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CITY OF VALDEZ
Building Department
834-3401

POSTING NOTICE FOR BUILDING PERMIT

20-000197

PERMIT

Rhett Foster

NAME

5975 Deep Lake Drive

STREET ADDRESS

LOT 4 BLOCK 4 SUBDIVISION Robe Lake ISSUED ON: 10/11/2020

Valid for 360 days.

This shall be posted so it is visible from the street
Call to schedule an inspection.

Jay Yunker

From: Jay Yunker
Sent: Wednesday, October 21, 2020 3:57 PM
To: 'Rhett Foster'
Subject: RE: [External Attachment *Caution*]-Fwd: Rhett Foster-VDZ Residence

Thank Rhett,
That works. I have attached the documents to the file.

You and go ahead and pour the footings.

Thanks

Jay Yunker
Building Inspector
City of Valdez – Planning Department
☎ 907.834.3401 | ✉ jyunker@valdezak.gov

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Wednesday, October 21, 2020 1:14 PM
To: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: [External Attachment *Caution*]-Fwd: Rhett Foster-VDZ Residence

Jay,
See attached letter from Tom and pdf of revised page 7. Please call me and let me know if I am good to go.
Thank you.

Begin forwarded message:

From: Thomas Sanborn <tom@sanbornengrllc.com>
Date: October 21, 2020 at 12:50:35 PM AKDT
To: Rhett Foster <rhett.foster@gmail.com>
Subject: Re: Rhett Foster-VDZ Residence

Here you go.

Sincerely,
Tom Sanborn, PE
850-377-8978

tom@sanbornengrllc.com

On Tue, Oct 20, 2020 at 8:39 PM Thomas Sanborn <tom@sanbornengrllc.com> wrote:
Yeah. I can get you a letter tomorrow

On Tue, Oct 20, 2020, 6:52 PM Rhett Foster <rhett.foster@gmail.com> wrote:
Can you make this happen for me please, Tom?

Begin forwarded message:

From: Jay Yunker <JYunker@ValdezAK.Gov>
Date: October 20, 2020 at 5:02:42 PM AKDT
To: Rhett Foster <rhett.foster@gmail.com>
Subject: RE: Rhett Foster-VDZ Residence

Thanks Rhett,

Please have Tom provide a stamped letter indicating the acceptable spacing of the vertical rebar as well as we will need a revised plan sheet #7 indicating the change.

Thanks

Jay

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Tuesday, October 20, 2020 2:59 PM
To: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: Fwd: Rhett Foster-VDZ Residence

Hello Jay,

Please see Tom's clarification for footer to stemwall j bar reinforcement...

Begin forwarded message:

21 October 2020

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Foundation Reinforcement Inquiry – New Construction on Deep Lake Drive

BACKGROUND

On Tuesday 20 October 2020, you requested engineering guidance on the reinforcement requirements for the concrete footing and stem wall of the design your proposed new construction on Deep Lake Drive in Valdez, AK. Specifically:

- Given that the stem wall has vertical reinforcement spaced every 18" OC, does a J-bar embedded in the footer every 48" OC comply with code requirements?

RESPONSE

The code requirement per Chapter 4 of the International Residential Code for reinforcement between a concrete footing and stem wall are as follows:

- Reinforcement size: No. 4
- Maximum Spacing: 4' (48") on center.
- Embedment: Extending to 3" clear of bottom of the footing (with a standard hook) and extending a minimum of 14" into the stem wall.

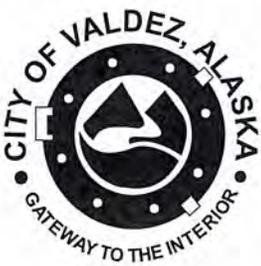
If you have any additional questions, please let me know.



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC



CITY OF VALDEZ

BUILDING DEPARTMENT
 P.O. BOX 307, Valdez, Alaska 99686
 PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER	

20-000197

INSPECTION CHECKLIST

NAME Rhett Foster PHONE 907-255-8133
 STREET ADDRESS 5975 Deep Lake Drive DATE OF REQUEST 10/19/2020
 LOT 4 BLOCK 4 SUBDIVISION Robe Lake TIME RECEIVED _____

<input type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION VAPORBARRIER	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

NO NONCOMPLIANCE OBSERVED AT THIS TIME
 WILL RE-EXAMINE AT NEXT INSPECTION
 CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
 DO NOT CONCEAL UNTIL REINSPECTED
 OBTAIN PERMIT PRIOR TO RESUMING WORK
 OK TO COVER

CODE REF.	DESCRIPTION	DATE
2pm	Foundation & footing inspection	10/20/2020
	Footings.	
	2x10 Forms with deeper trench below giving 12" thick x 16" wide with 2- #5 horizontals equally spaced. elevated $\geq 3"$ from soil and $\geq 2"$ from form edges. All laps $\geq 20"$ and tied step continuous with #5's bent and tied.	
	36" square post pad with 3- #5's each way #4 verticals space @ 48" o.c.	
*	Plans specify Verts @ 18" O.C., corrections required.	
10/21/2020	Call for re-inspection.	
* 9/1	Documentation provided for rebar requirements and attached to files. OK to pour footings	

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

[Signature]
 INSPECTOR

IN _____ OUT _____
 10/20/2020
 DATE

(REV 07/06)

DATE:	DESCRIPTION
5.12.20	1st Draft

	October 20, 2020
--	------------------

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Cover Page

Sheet Size: 11x17

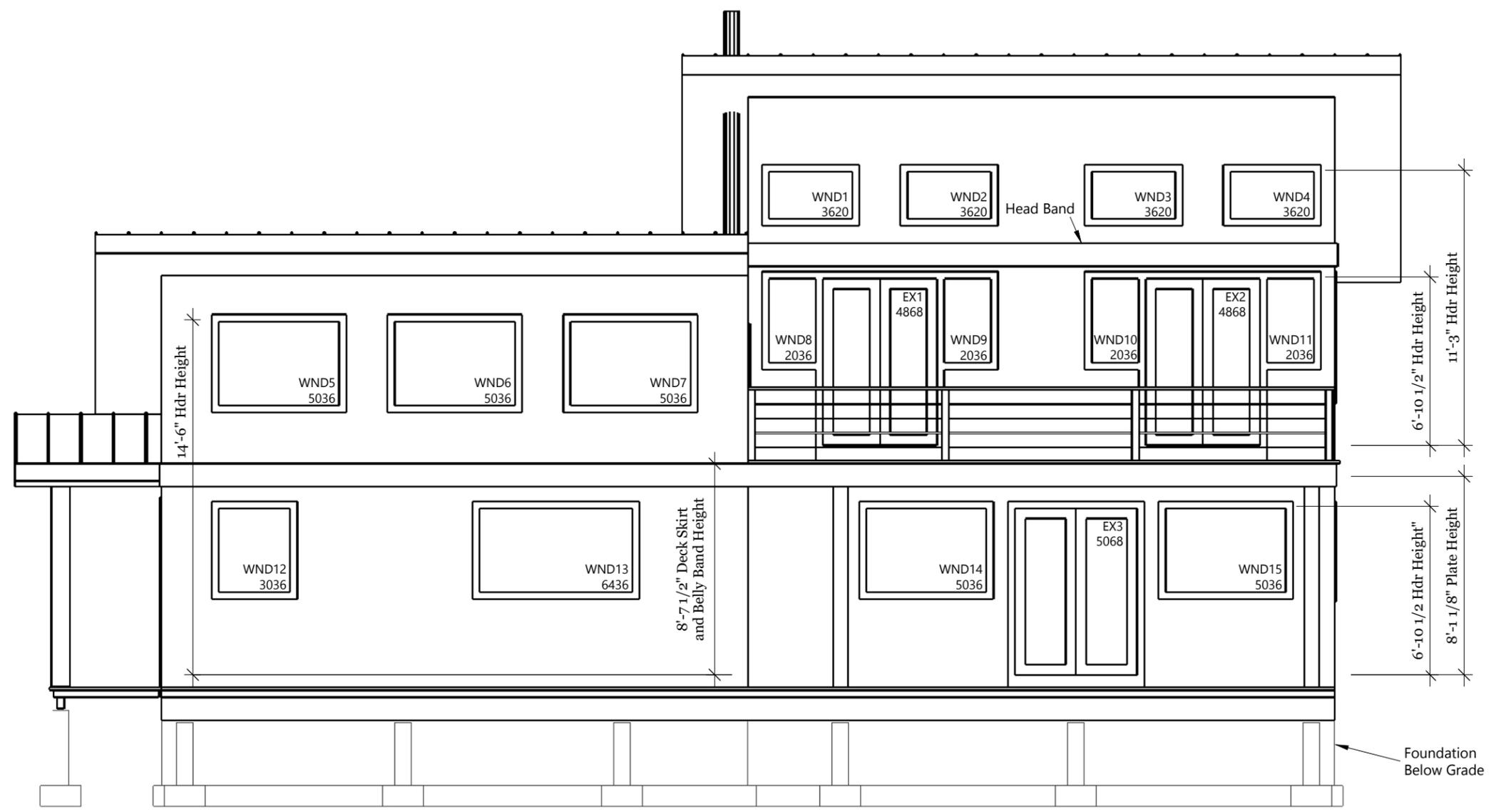
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

DATE:	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

South Elevation
 3/16"=1'



1 South Elevation
 scale: 3/16"=1'

Sheet Size: 11x17

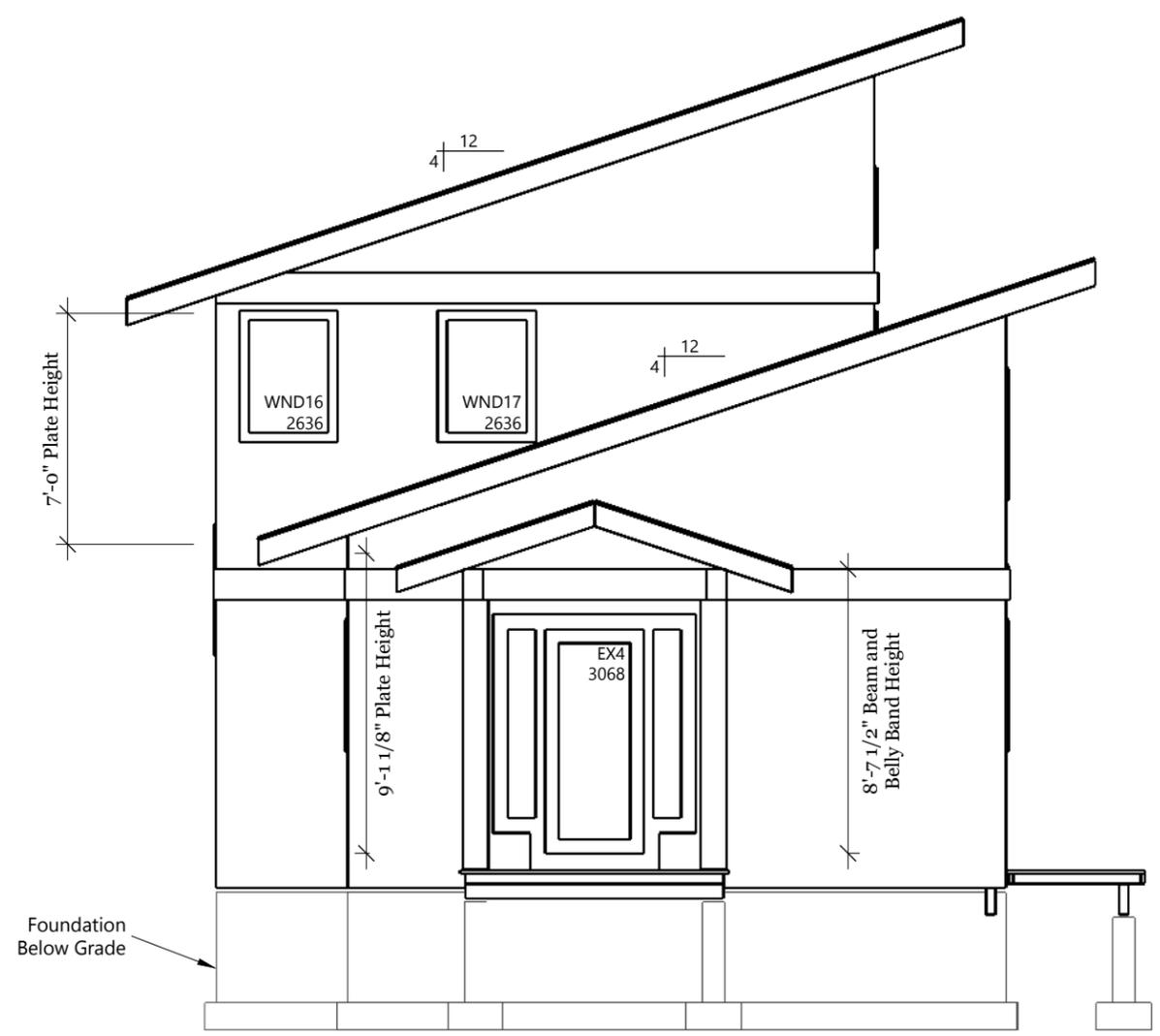
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5.12.20	1st Draft

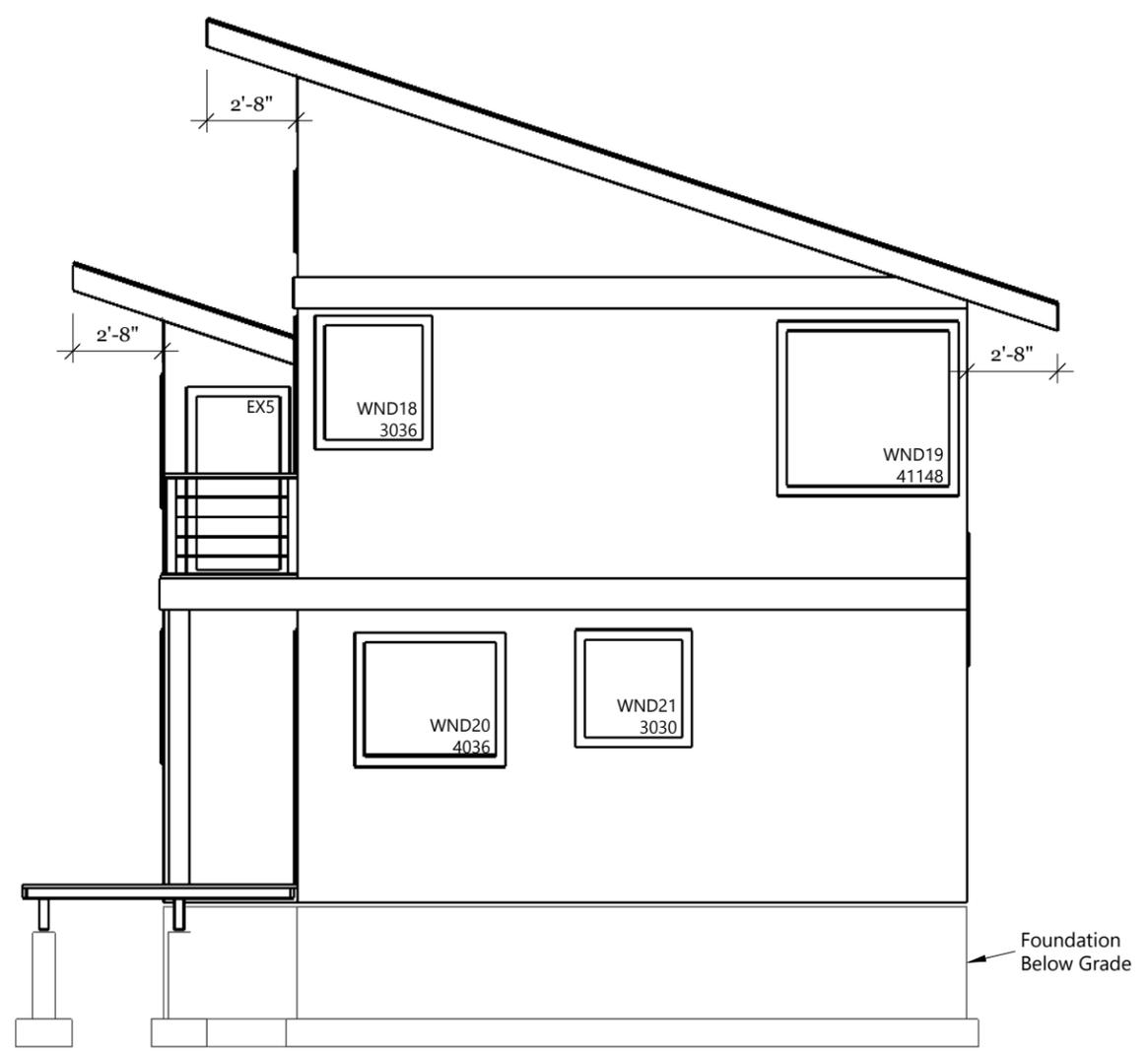
DESIGNER:
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 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

**West Elevation, East
 Elevation**



1 West Elevation
 scale: 3/16"=1'



2 East Elevation
 scale: 3/16"=1'

Sheet Size: 11x17

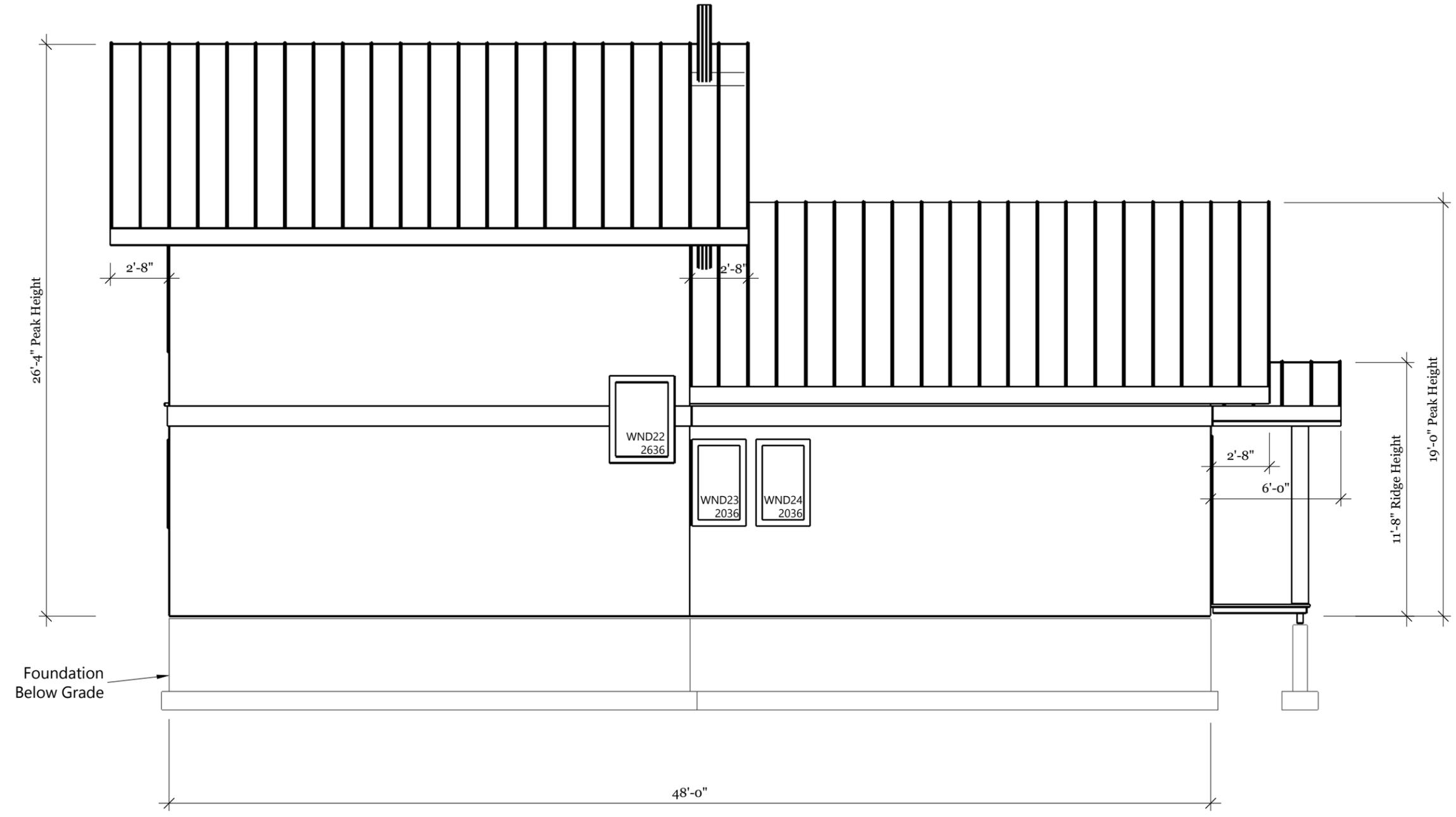
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

DATE:	DESCRIPTION:
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

North Elevation
 Scale: 3/16"=1'

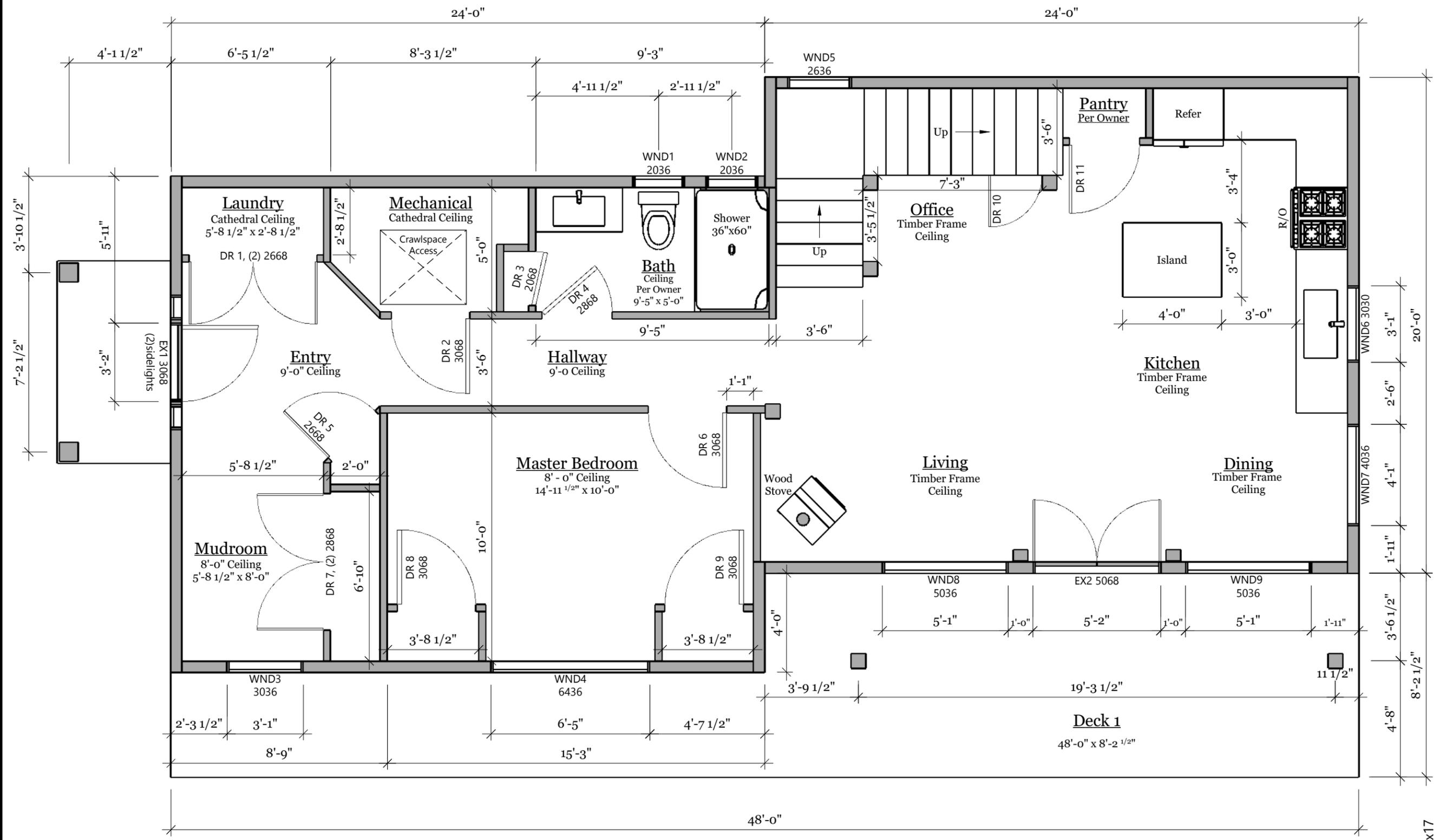


1 North Elevation
 scale: 3/16"=1'

Sheet Size: 11x17

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

DATE:	DESCRIPTION:
5.12.20	1st Draft



DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

First Floor Plan
 Scale: 1/4"=1'

1 First Floor Plan
 scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

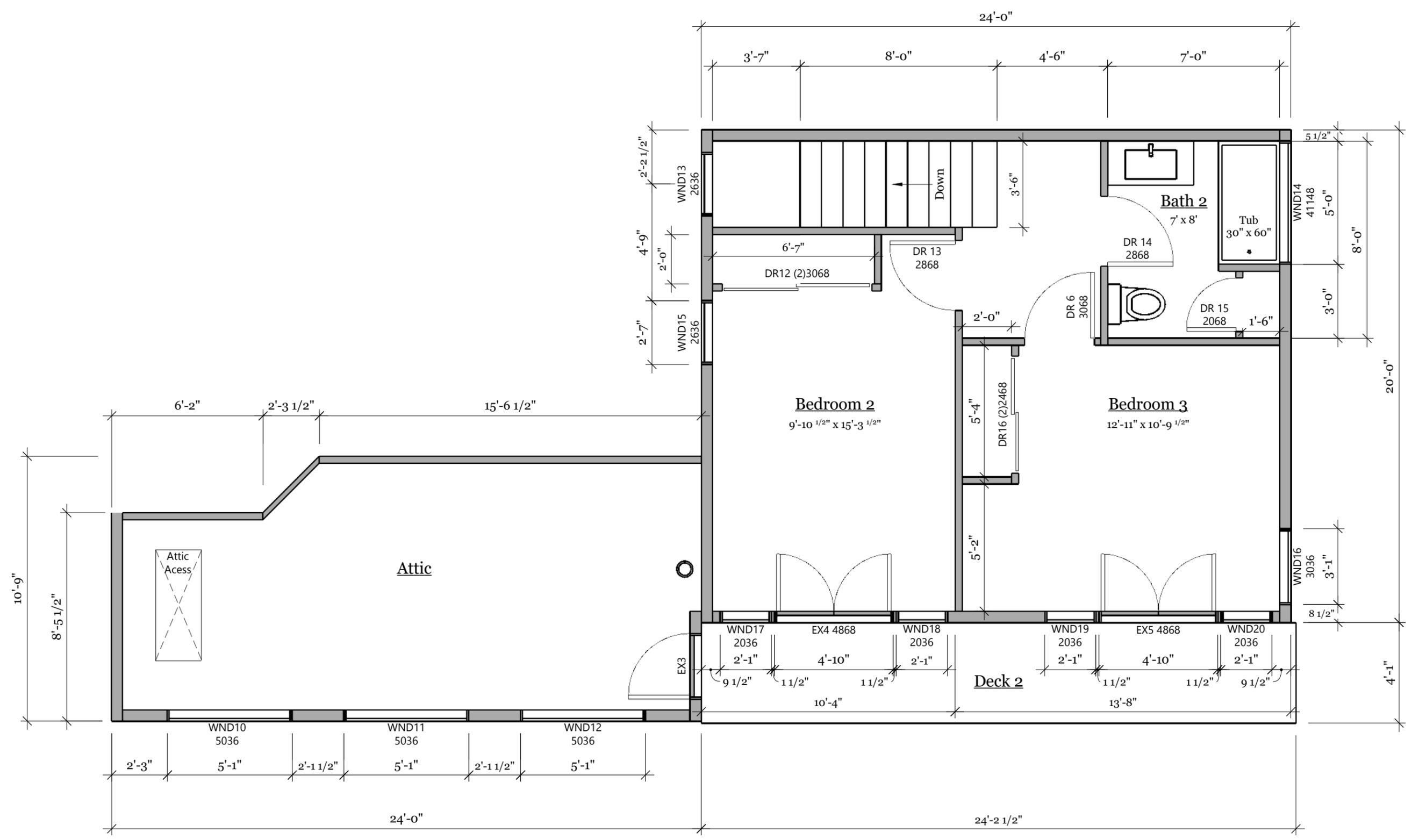
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DATE:	DESCRIPTION:
5.12.20	1st Draft

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 (907) 795-5319
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Foster Residence
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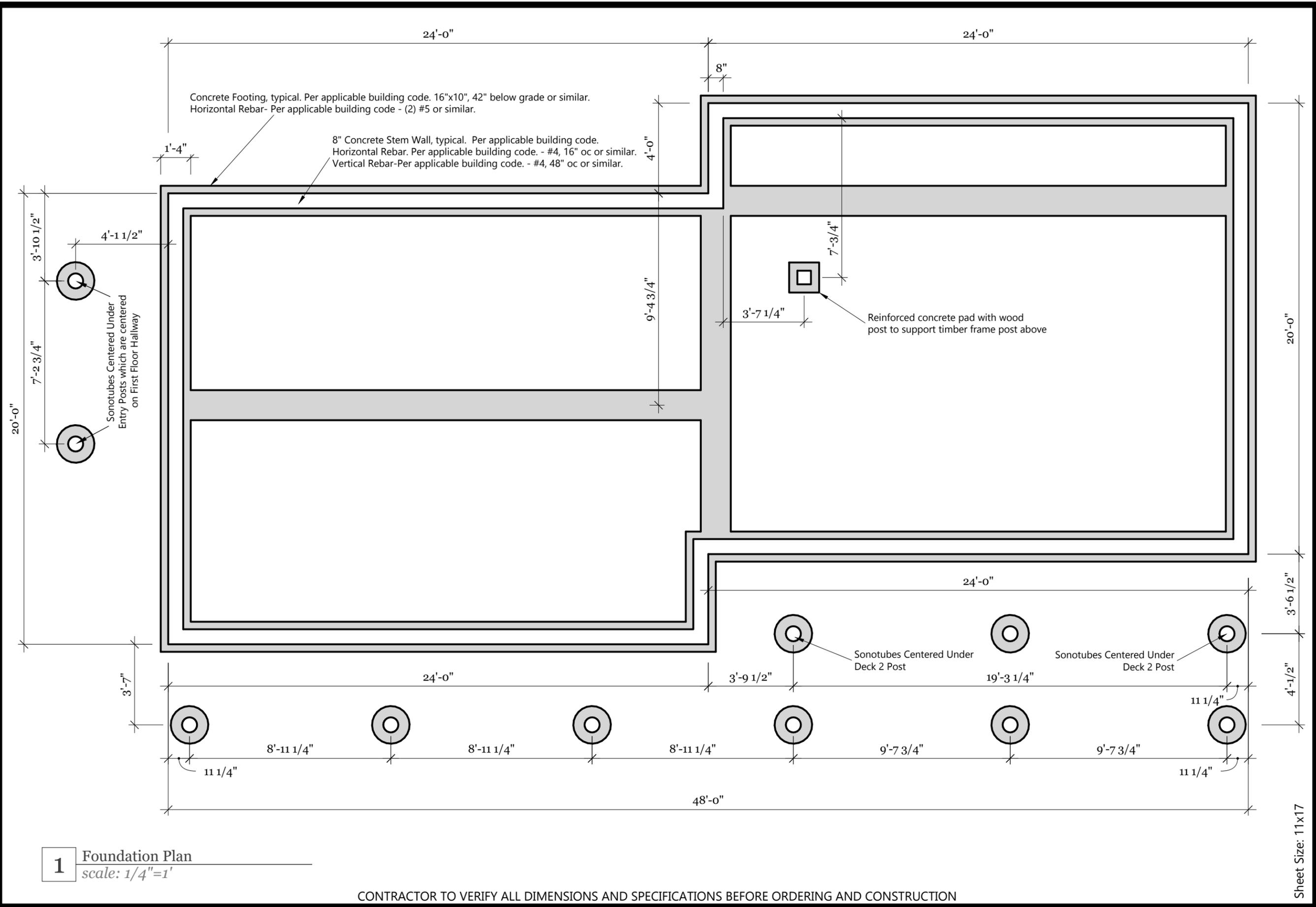
Second Floor Plan
 Scale: 1/4"=1'



1 Second Floor Plan
 scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17



DATE:	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Foundation Plan
 Scale: 1/4"=1'

1 Foundation Plan
 scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

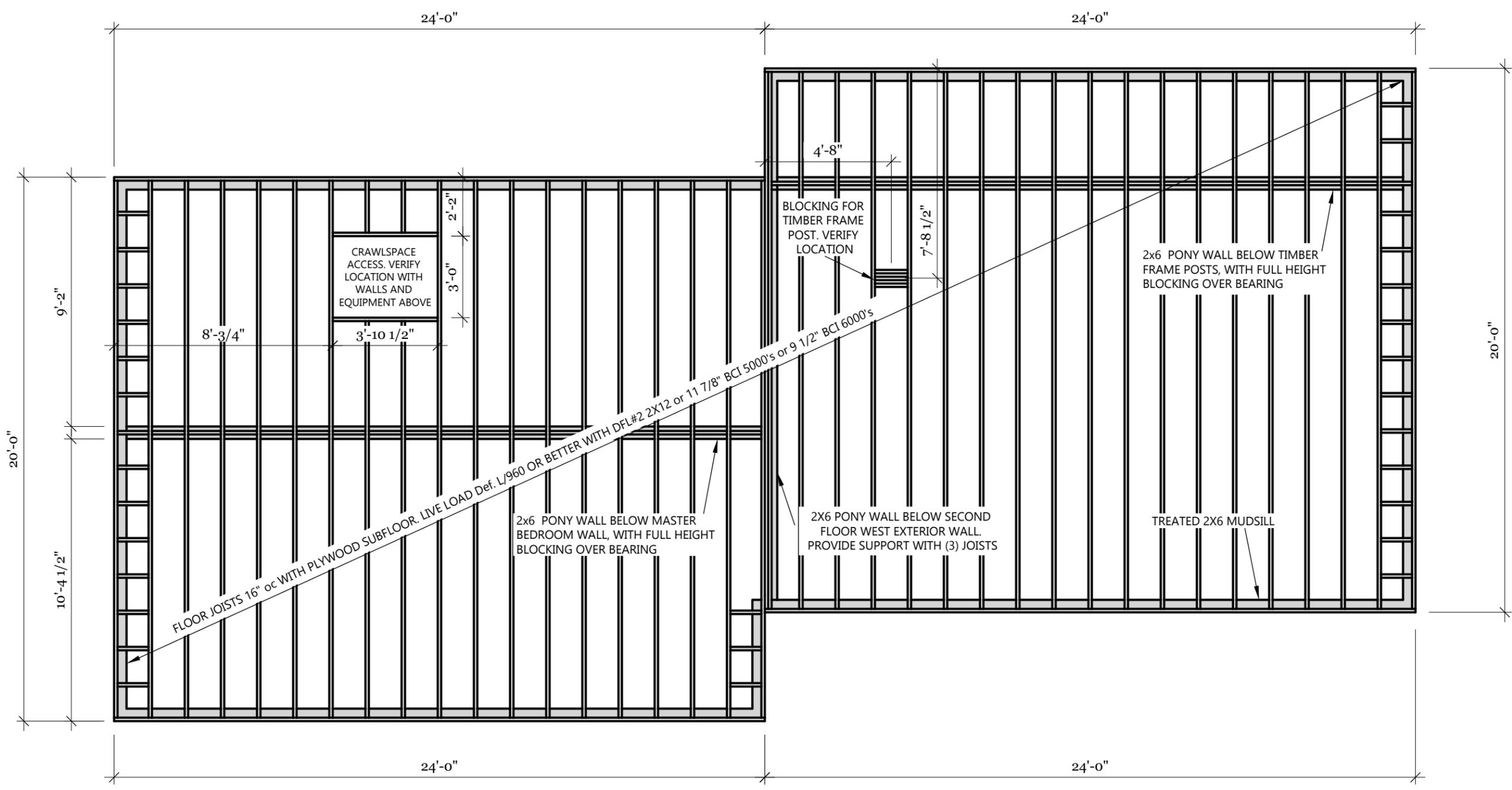
Sheet Size: 11x17

DATE:	DESCRIPTION:
5.12.20	1st Draft

DESIGNER:
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 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
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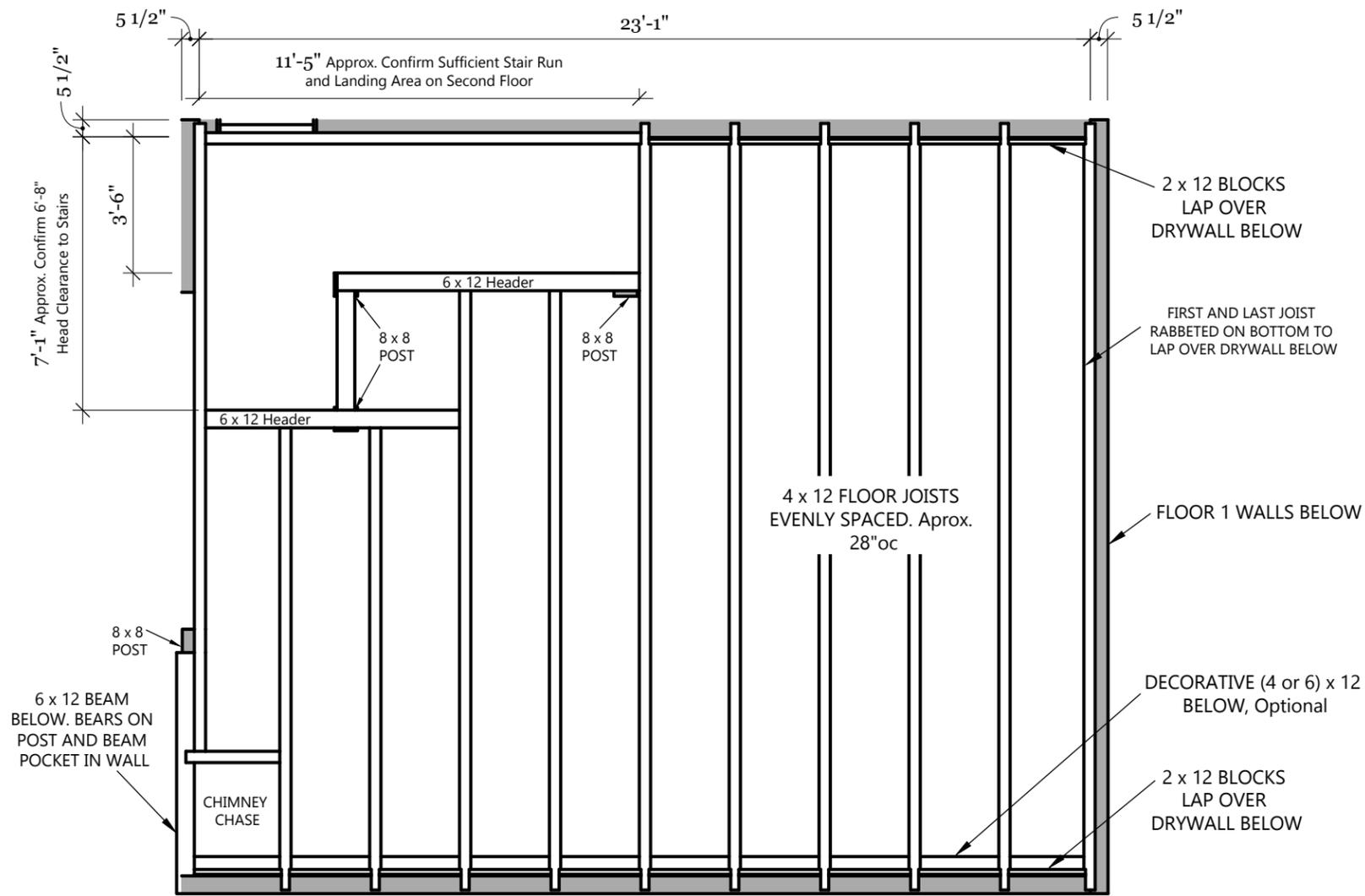
First Floor Framing Plan
 Scale: 1/4"=1'



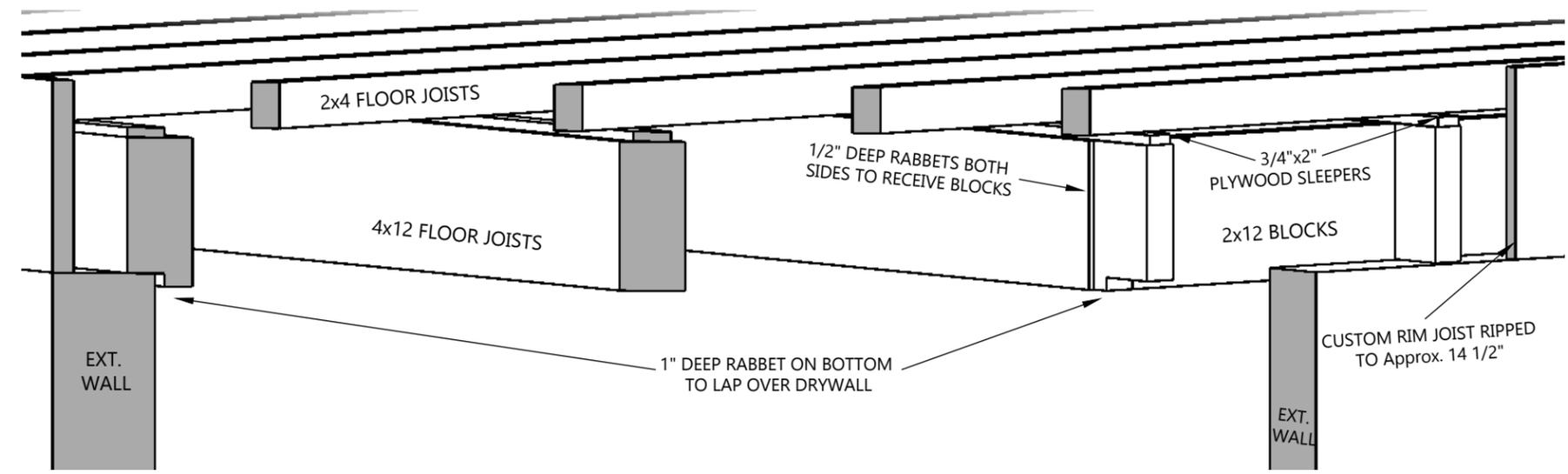
1 First Floor Framing Plan
 scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17



1 Second Floor Timber Frame Plan
scale: 1/4"=1'



2 Timber Frame Floor Detail
Orthogonal View

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17

DATE:	DESCRIPTION:
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
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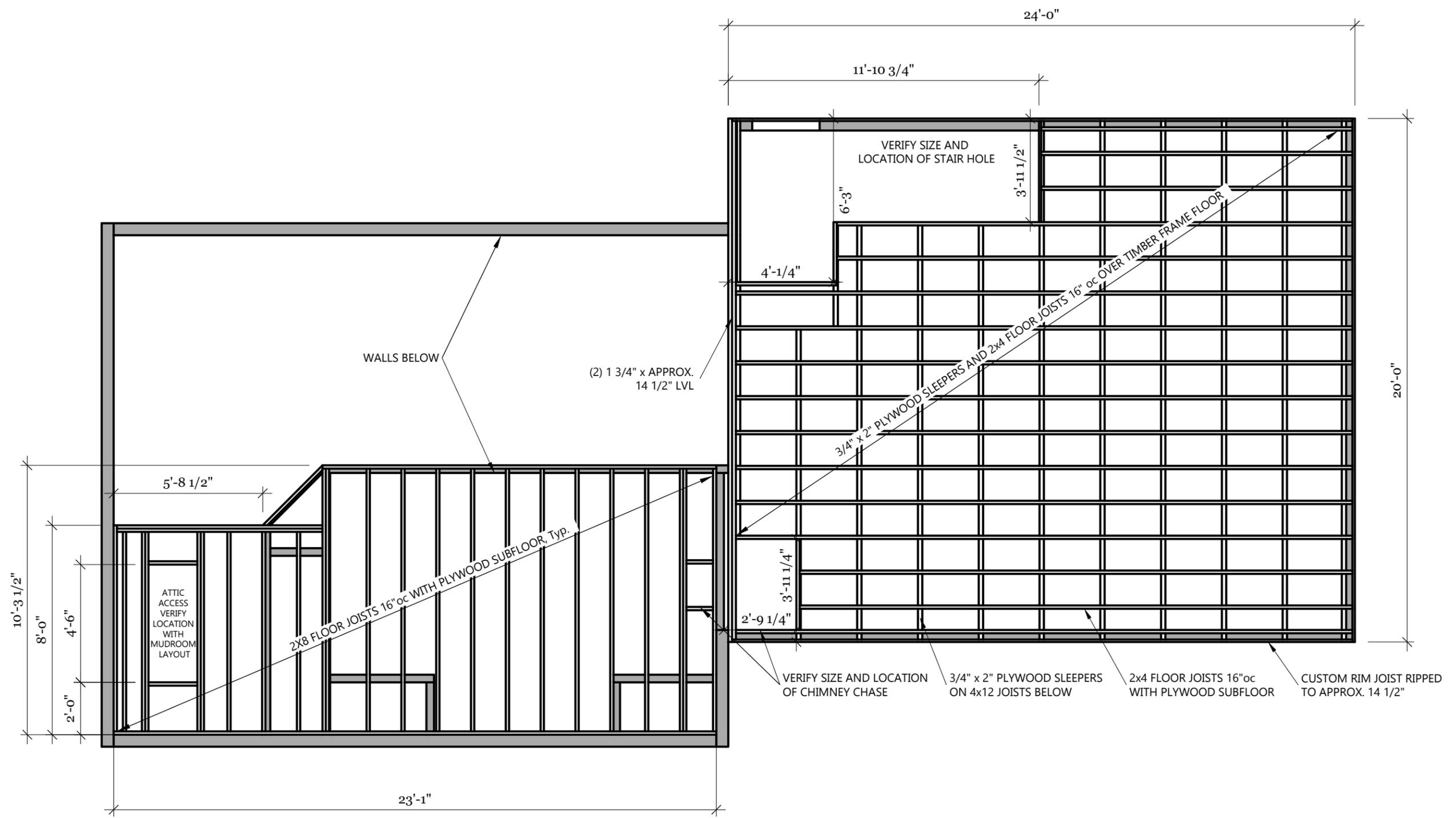
**Second Floor Timber
 Frame Plan**

DATE:	DESCRIPTION:
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
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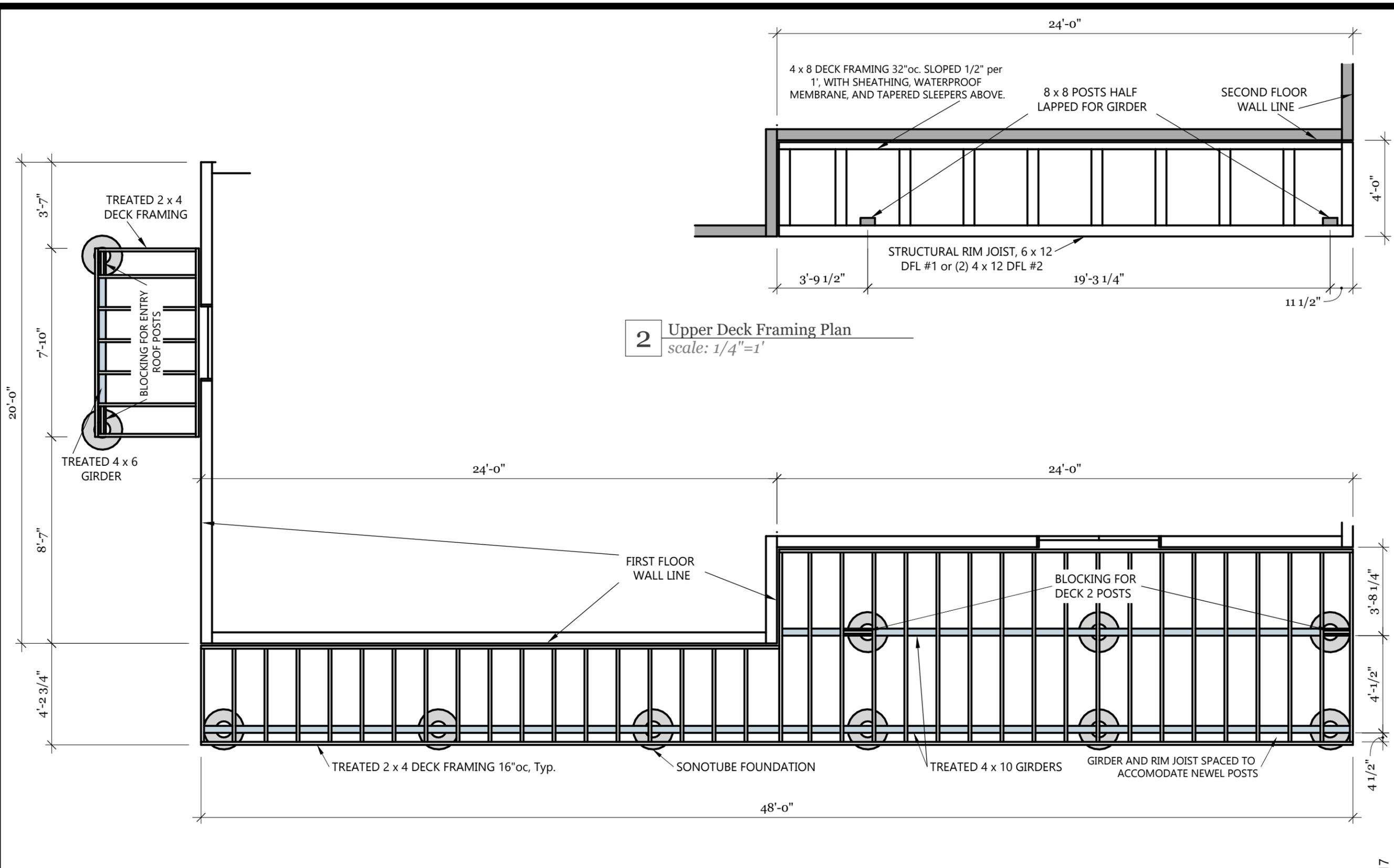
Second Floor Framing Plan
 Scale: 1/4"=1'



1 Second Floor Framing Plan
 scale: 1/4"=1'

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17



2 Upper Deck Framing Plan
scale: 1/4"=1'

1 Lower Deck Framing Plan
scale: 1/4"=1'

DATE:	DESCRIPTION
5.12.20	1st Draft

DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Deck Framing Plan

Sheet Size: 11x17

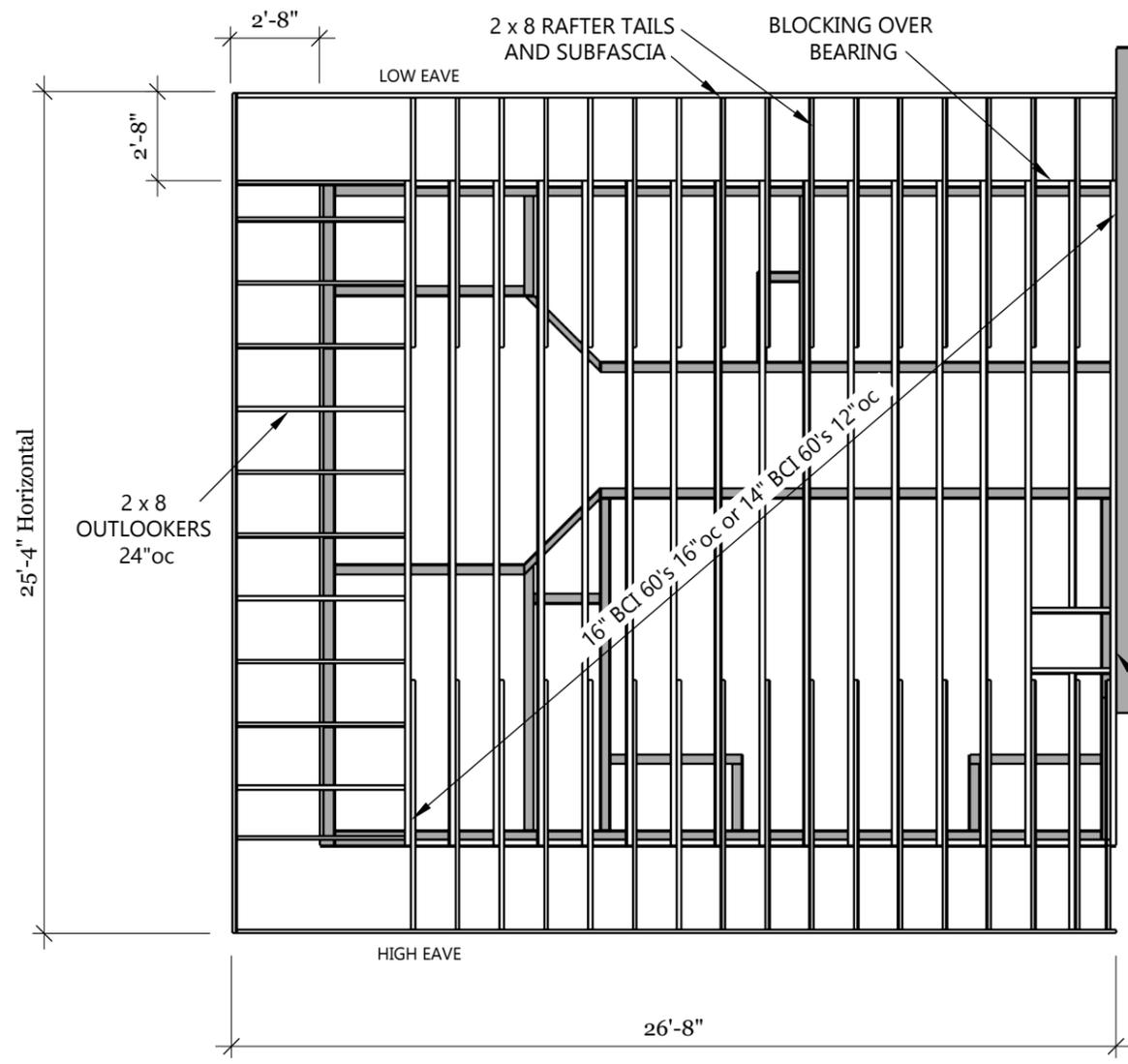
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

DATE:	DESCRIPTION
5.12.20	1st Draft

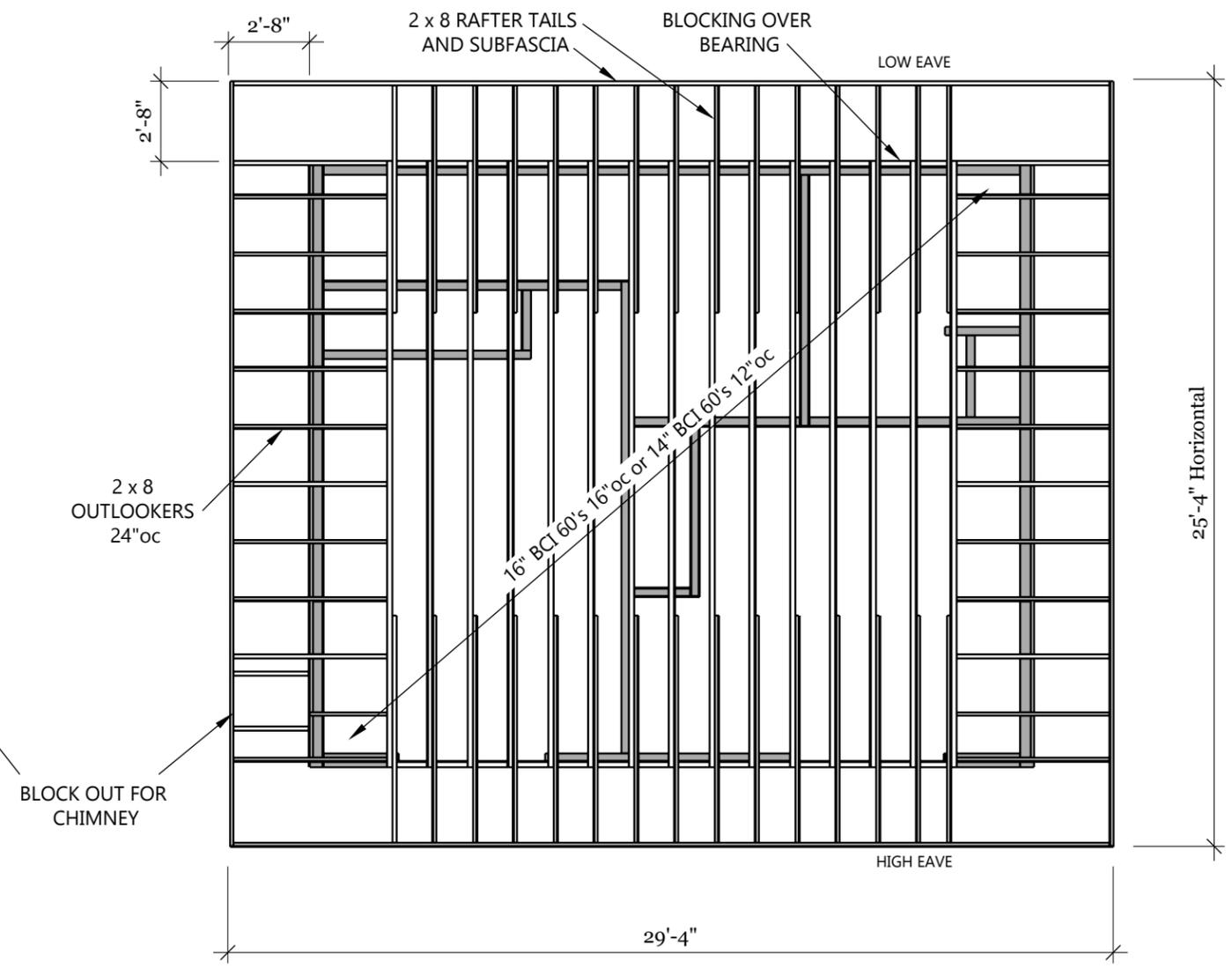
DESIGNER:
BRIAN TOTTEN
 FLUIDITY DESIGNS
 PO BOX 333 VALDEZ AK 99686
 (907) 795-5319
 brian_totten@yahoo.com

Foster Residence
 1234 DEEP LAKE DRIVE
 VALDEZ, AK 99686

Roof Framing Plan



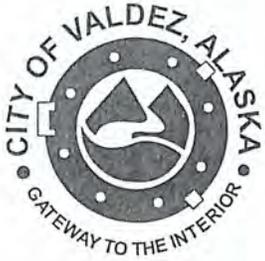
1 Low Roof Framing Plan
 scale: 1/4"=1', 4:12 pitch



2 High Roof Framing Plan
 scale: 1/4"=1', 4:12 pitch

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS BEFORE ORDERING AND CONSTRUCTION

Sheet Size: 11x17



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER

20-000197

INSPECTION CHECKLIST

NAME Rhett Foster PHONE ⁹⁰⁷⁻ 255-8133
 STREET ADDRESS 5975 Deep Lake Drive DATE OF REQUEST 10/23
 LOT 4 BLOCK 4 SUBDIVISION Robe Lake TIME RECEIVED _____

<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION VAPORBARRIER	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

NO NONCOMPLIANCE OBSERVED AT THIS TIME
 WILL RE-EXAMINE AT NEXT INSPECTION
 CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
 DO NOT CONCEAL UNTIL REINSPECTED
 OK TO COVER pour listed footings

CODE REF. 3:00 PM 10/23/2020

Sonotubes # 4, 5, 6, 7, & 9 Reinspection.

Above listed Sonotubes corrected - rebar extended to within 3" of top and evenly spaced. Each with 3- #4 rebar with standard hook into big foot base.

OK to pour these footings.

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

[Signature]
INSPECTOR

IN _____ OUT _____
10/23/2020
DATE

(REV 07/06)

Date & Time: Fri Oct 23 15:10:14 AKDT 2020
Position: +061°04'19.4" / -146°04'51.2"
Altitude: 206ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 127° S53E 2258mils (True)
Zoom: 2X



Date & Time: Fri Oct 23 15:10:35 AKDT 2020

Position: +061°04'19.1" / -146°04'50.9"

Altitude: 189ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 121° S59E 2151mils (True)

Zoom: 2X



Date & Time: Fri Oct 23 15:10:41 AKDT 2020
Position: +061°04'19.0" / -146°04'50.9"
Altitude: 185ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 053° N53E 0942mils (True)
Zoom: 2X



Date & Time: Fri Oct 23 15:10:55 AKDT 2020

Position: +061°04'19.1" / -146°04'50.6"

Altitude: 188ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 263° S83W 4676mils (True)

Zoom: 2X



Date & Time: Fri Oct 23 15:11:04 AKDT 2020

Position: +061°04'19.1" / -146°04'50.5"

Altitude: 187ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 250° S70W 4444mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:11:13 AKDT 2020

Position: +061°04'19.1" / -146°04'50.4"

Altitude: 189ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 259° S79W 4604mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:11:33 AKDT 2020

Position: +061°04'19.1" / -146°04'50.2"

Altitude: 190ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 077° N77E 1369mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:11:41 AKDT 2020
Position: +061°04'19.2" / -146°04'50.3"
Altitude: 198ft
Datum: NORTH AMERICAN 1983, Alaska
Azimuth/Bearing: 073° N73E 1298mils (True)
Zoom: 1X



Date & Time: Fri Oct 23 15:11:57 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

Altitude: 186ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 231° S51W 4107mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:12:00 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

Altitude: 188ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 199° S19W 3538mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:12:05 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

Altitude: 188ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 197° S17W 3502mils (True)

Zoom: 1X



Date & Time: Fri Oct 23 15:12:09 AKDT 2020

Position: +061°04'19.3" / -146°04'49.9"

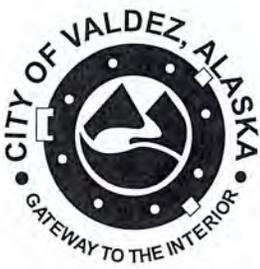
Altitude: 185ft

Datum: NORTH AMERICAN 1983, Alaska

Azimuth/Bearing: 232° S52W 4124mils (True)

Zoom: 1X





CITY OF VALDEZ

BUILDING DEPARTMENT
 P.O. BOX 307, Valdez, Alaska 99686
 PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER
20	000197

20-000197

INSPECTION CHECKLIST

NAME Rhett Foster PHONE 907-255-8133
 STREET ADDRESS 5975 Deep Lake Dr DATE OF REQUEST 10/20/2020
 LOT 4 BLOCK 4 SUBDIVISION Robc Lake TIME RECEIVED _____

<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION VAPORBARRIER	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

NO NONCOMPLIANCE OBSERVED AT THIS TIME
 WILL RE-EXAMINE AT NEXT INSPECTION
 CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
 DO NOT CONCEAL UNTIL REINSPECTED
 OBTAIN PERMIT PRIOR TO RESUMING WORK
 OK TO COVER stem walls only

CODE REF.	DESCRIPTION	DATE
	1:30pm <u>STEM inspection</u>	<u>10/23/2020</u>
	<u>Fox Block Foam Stem wall forms.</u>	
	<u>2 Course # 4 or higher rebar horizontals with corners bent and lapped.</u>	
	<u>All laps $\geq 24"$</u>	
	<u>Contractor to brace stem walls prior to pour. All forms in place with proper rebar.</u>	
<u>* Fully poured Sono tubes shall be removed and replaced.</u>	<u>Sono tube footings - Several Sono tubes poured prior to inspection. - Several partially poured prior to inspection with rebar visible.</u>	
	<u>Tubes # 1, 2, 3, 9, 10, 11, 12 + 13 all poured Full</u>	
	<u>Tubes # 4, 5, 6, 7, + 8 partially filled.</u>	
	<u>Visible rebar placement is correct and needs to be straightened with some needed to be added on to with top ends within 3" of top of form.</u>	
	<u>Ok to pour stem walls only. Corrections required on all sono tubes.</u>	

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

[Signature]
 INSPECTOR

IN _____ OUT _____

10/23/2020
 DATE

DATE

(REV 07/06)

16 May 2021

Rhett Foster
Valdez, AK 99686
Rhett.Foster@gmail.com

RE: Partial Design Assessment – New Construction on Deep Lake Drive – Rebar in
Deck Footings

Dear. Mr. Foster,

The following report summarizes the assessment conducted by SANBORN
ENGINEERING & CONSULTING, LLC (SE&C).

Any requests for additional information or to address follow-up questions may be sent to
SE&C by the following means:

email: tom@sanbornengrllc.com

phone: 850-377-8978



Sincerely,

Thomas Sanborn, PE

Owner, Sanborn Engineering & Consulting, LLC

BACKGROUND

SE&C was originally asked to perform a partial design assessment on several elements of a two-story residence you plan to construct on Deep Lake Drive, Valdez, Alaska. An initial report was submitted, dated 4 June 2020. A supplemental report providing additional detail was later submitted, dated 13 September 2020.

Following submission of these reports, you contacted SE&C on 13 May 2021 and requested the following:

- Is the removal and repouring of the identified concrete sonotube footings supporting the deck necessary?

Several photographs, a description of the means & methods used in constructing the footings, and documentation from the local building department were provided by you and used in the analysis of this question.

ANALYSIS & RECOMMENDATIONS

The following conclusions are based on the information provided to SE&C. These conclusions are subject to revision or clarification in the event of any changes which may materially affect the current analysis.

1. Code Compliance Concerns.
 - a. The building inspector was not present when several footings were poured, and was only present for a partial pour of other footings.
 - b. Citing not being able to verify the rebar was properly oriented and within 3" of the top of the concrete, several footings were ordered to be removed and repoured.
 - c. In the correspondence following this order, the International Residential Code (specifically section R404.1.2.4.7.4) was referenced as requiring 3" of concrete cover.
 - d. It should be noted that the above IRC reference specifies minimum concrete cover based on the ground exposure of the concrete being

placed, but does not explicitly state the maximum coverage at the top of a footing.

- e. However, the general best practice is to meet the minimum coverage as close as practicable to ensure proper reinforcement throughout the concrete.

2. Means & Methods:

- a. After excavation and placement of the sonotubes (including the bigfoot bases), the rebar was placed in the sonotubes, the sonotubes were filled with concrete, and the rebar was then adjusted to the correct depth and orientation by hand.
- b. Adjustment of rebar/reinforcement placement during pouring is a common method in several concrete reinforcement applications. One such example is steel reinforcement in a hand formed concrete curbs, where rebar is laid horizontally in the forms before pouring, and lifted at regular intervals to the proper height while concrete is being poured.
- c. The use of wire ties or other bar support system to hold the rebar in the specified orientation before pouring is a best practice and fully compliant with code. However, it is possible to achieve the same final outcome by placing the bars during pouring.

3. Loading Review.

- a. The governing loading condition for this deck is Snow Load plus Dead Load (S+D), which was reflected in the design of the load bearing elements of the deck.
- b. Given the orientation of the residential structure and this deck, it is highly unlikely this deck will ever experience the full design load. Conservatively half the deck is located beneath the roof overhang for the structure. This roof is pitched away from the side of the structure where the deck is located, protecting it from both falling snow, and snow shed from the roof itself.
- c. As these sonotube footings are separate from the stem wall foundation of the residence itself, the risk of any deck failure significantly affecting the structure is also minimal.

4. Recommendation: It is the recommendation of SE&C that these footings be allowed to remain in their current condition.
 - a. The means and methods applied in the construction of the sonotubes footings is likely to achieve proper strength.
 - b. Even if there was a minor deviation in the placement of rebar, the likelihood of an overloaded condition is further minimized by the orientation and design of the roof of the structure.
 - c. Lastly, given that the design load is during snow season when deck usage is at a minimum, and that a failure of the deck is unlikely to cause structural damage to the residence, the risk associated with such an unlikely failure is also minimized.

From: Kate Huber <KHuber@ValdezAK.Gov>
Sent: Friday, May 14, 2021 4:36 PM
To: Rhett Foster <rhett.foster@gmail.com>
Cc: Jay Yunker <JYunker@ValdezAK.Gov>
Subject: RE: 5975 Deep Lake Dr : Permit 20-000197

Hi Rhett,

In order to be in good standing for your permit, you need to complete the corrections as required and have Jay come out to re-inspect the work. It is necessary for your building to be completed according to the submitted plans in order to avoid a stop work order on the project, and ultimately to obtain the certificate of occupancy. Additionally, there are penalties within the building code that you should be aware of in VMC 15.04.060 (see below).

My understanding is that the footings in question are related to a deck attached to your house. You could also consider requesting a modification to the scope of your building permit, should you choose not complete the deck on the house. However, keep in mind that the corrections will still need to be made in the future if you wanted to add a deck. If you opt for this route, you would need to obtain a separate building permit for any future deck, which would require the same changes Jay documented in his inspection paperwork. You'll also have to submit plans for the house without the deck in order for us to modify the existing permit.

If you intend to modify the scope of work, or move forward with the corrections necessary, please reach out to Jay (copied here) for the documentation or details of inspections that will be necessary. Unfortunately, I'm dealing with a family emergency and have to leave to town suddenly. I will be available on email, but Jay will be faster to respond to your inquiries, so you can find a path forward.

Take care,

Kate

15.04.060 International Building Code—Violations—Penalties. 

A. Violation Penalties. Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter, repair or do work in violation of the approved construction documents or directive of the code official, or of a permit or certificate used under provisions of this code, shall be

punishable by a fine of not more than three hundred dollars. Each ten days that a violation continues after due notice has been served shall be deemed a separate offense.

B. Failure to Comply. Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be liable to a fine of not more than three hundred dollars, in addition to other remedies available by law. (Ord. 12-02 § 1 (part))

Kate Huber
Planning Director
City of Valdez | Planning Department
☎ 907.834.3401 | ✉ khuber@valdezak.gov

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From: Rhett Foster <rhett.foster@gmail.com>
Sent: Thursday, May 6, 2021 5:51 PM
To: Kate Huber <KHuber@ValdezAK.Gov>
Subject: Re: 5975 Deep Lake Dr : Permit 20-000197

[EXTERNAL EMAIL - CAUTION: Possible Spam or Phishing Email. Do not open unexpected attachments or links. DO NOT reply and delete this message if in doubt.]

Hi Kate and thanks for your consideration.

The photos do not show the rebar to within 3” of the top of the tube because without concrete, the rebar is sitting on the ground. When the concrete is poured, the bar is then lifted up off the ground to the proper height of cover in the base and to the height from the top of the tube.

Respectfully, what is the consequence if I do not remove/replace the sonotubes as required?

On May 6, 2021, at 4:58 PM, Kate Huber <KHuber@valdezak.gov> wrote:

Hi Rhett,

Good to hear from you. Unfortunately, in this situation there isn't any alternative that I can offer you. We only accept photos in lieu of an inspection in certain extenuating circumstances. I really feel for you here, but given that Jay required corrections on all of sonotubes that he was able to inspect, and because your photos do not appear to have the rebar extended sufficiently to the top of the sonotube (within 3” of top) (per IRC R404.1.2.3.7.4) there isn't an alternative that I can offer.

The corrections that Jay detailed in the inspection report for sonotubes must be completed. Sonotubes #1, 2, 3, 9, 10, 11, 12, and 13 should be uncovered and inspected prior to pouring again.

I understand that this requires additional time and cost but I don't have any other alternatives to offer.

Take care,
Kate

Kate Huber
Planning Director
City of Valdez | Planning Department
☎ 907.834.3401 | ✉ khuber@valdezak.gov

PUBLIC RECORDS LAW DISCLOSURE: This e-mail and responses to this email are subject to provisions of Alaska public records laws and may be made available to the public upon request.

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Tuesday, May 4, 2021 8:04 PM
To: Kate Huber <KHuber@ValdezAK.Gov>
Subject: [External Attachment *Caution*]-5975 Deep Lake Dr : Permit 20-000197

[EXTERNAL EMAIL - CAUTION: Possible Spam or Phishing Email. Do not open unexpected attachments or links. DO NOT reply and delete this message if in doubt.]

Hello Kate,

You may or may not know about this but I have an issue to clear up with your department regarding our building process out on Deep Lake.

Last Fall we were doing our two phase foundation pour along with a number of sonotubes. Our building site required the concrete to be pumped so we hired a pumper from ANC to come down for a couple of days.

In the heat of the moment, not wanting to waste concrete and money, I went ahead and poured my sonotubes prior to inspection. I admit I made a mistake and in hindsight I wish I would have made some better preparations.

The sonotube footings average 5' in height and all have 24" bigfeet bases and standard rebar reinforcement. These sonotubes are supporting an exterior deck and they will be back filled with approximately 4' below ground, 1' above.

I've attached photos of the inspection forms from Jay.

I'm not entirely sure how to proceed. I know I made a mistake and I know that it would have been better for Jay to inspect, but considering the fact that this is my personal project and not a customer's, I feel that I have considerable motive to reinforce my footings properly.

I have photos of the tubes prior to pour, if that helps. Please let me know how I can smooth this out...I apologize for causing a headache.

Thanks Kate,
Rhett Foster

<image001.jpg>

<image002.jpg>

<image003.jpg>

<image004.jpg>



CITY OF VALDEZ

BUILDING DEPARTMENT
 P.O. BOX 307, Valdez, Alaska 99686
 PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER	

30-00017

INSPECTION CHECKLIST

NAME khett Lester PHONE 707-231-2133
 STREET ADDRESS 915 Lagoon Lake Dr DATE OF REQUEST 10/23/2020
 LOT BLOCK SUBDIVISION Lagoon Lake TIME RECEIVED

<input type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER	<input type="checkbox"/> GAS
<input type="checkbox"/> INSULATION	<input type="checkbox"/> GAS	<input type="checkbox"/> FINAL	<input type="checkbox"/> VAPOR BARRIER
<input type="checkbox"/> GYPSUM	<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/> FIRE SEAL

NO NONCOMPLIANCE OBSERVED AT THIS TIME
 WILL RE-EXAMINE AT NEXT INSPECTION
 CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
 DO NOT CONCEAL UNTIL REINSPECTED
 OBTAIN PERMIT PRIOR TO RESUMING WORK
 OK TO COVER stem walls only

CODE REF. 1302M STEM inspection

Fox Block Form Stem wall forms.
2 Course # 4 or higher rebar horizontals
with corners bent and lapped.
All laps $\geq 34"$
Contractor to brace stem walls prior to
pour. All forms in place with proper
rebar.

* Sono tube footings - Several Sono tubes poured
fully-poured prior to inspection. - Several partially poured
Sono tubes prior to inspection with rebar visible
shall be Tubes # 1, 2, 3, 9, 10, 11, 12 + 13 all poured Full
removed Tubes # 4, 5, 6, 7, + 9 partially filled.
and replaced. Visible rebar placement incorrect and needs to
be straightened with some needed to be added on
to with top ends within 3" of top of form.
Ok to pour stem walls only. Corrections required
on all sono tubes.

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

INSPECTOR [Signature] IN 10/23/2020 OUT

DATE 10/23/2020



CITY OF VALDEZ

BUILDING DEPARTMENT
P.O. BOX 307, Valdez, Alaska 99686
PHONE NO. 834-3401

PERMIT NUMBER

YEAR	NUMBER
------	--------

20-000197

INSPECTION CHECKLIST

NAME Rhett Foster PHONE ⁹⁰⁷⁻ 255-8133
 STREET ADDRESS 5975 Deep Lake Drive DATE OF REQUEST 10/23
 LOT 4 BLOCK 4 SUBDIVISION Robe Lake TIME RECEIVED _____

<input checked="" type="checkbox"/> FOOTING	<input type="checkbox"/> ELEC. TEMP.	<input type="checkbox"/> PLBG. UNDGR.	<input type="checkbox"/> SEPTIC/LEACH FIELD
<input checked="" type="checkbox"/> FOUNDATION	<input type="checkbox"/> ELEC. SERVICE	<input type="checkbox"/> PLBG. ROUGH	<input type="checkbox"/> WELL
<input type="checkbox"/> SEISMIC/WIND	<input type="checkbox"/> ELEC. ROUGH	<input type="checkbox"/> PLBG. FINAL	<input type="checkbox"/> COMPLIANCE
<input type="checkbox"/> FRAMING	<input type="checkbox"/>	<input type="checkbox"/> FUEL TANK	<input type="checkbox"/> STOP WORK ORDER
<input type="checkbox"/> INSULATION VAPORBARRIER	<input type="checkbox"/>	<input type="checkbox"/> GAS	<input type="checkbox"/>
<input type="checkbox"/> GYPSUM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> FIRE SEAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> FINAL

NO NONCOMPLIANCE OBSERVED AT THIS TIME
 WILL RE-EXAMINE AT NEXT INSPECTION
 CORRECTIONS ESSENTIAL AS EXPLAINED BELOW
 DO NOT CONCEAL UNTIL REINSPECTED
 OBTAIN PERMIT PRIOR TO RESUMING WORK
 OK TO COVER part listed footings

CODE REF. 3:00 PM 10/23/2020

Sonotubes # 4, 5, 6, 7, +9 Reinspection.

Above listed Sonotubes corrected - rebar extended to within 3" of top and evenly spaced. Each with J- #4 rebar with standard hook into big foot base.

OK to pour these Footings.

WHEN CORRECTIONS ARE MADE, PLEASE CALL FOR INSPECTION 834-3401

[Handwritten Signature]
INSPECTOR

IN _____ OUT _____
10/23/2020
DATE







City of Valdez
ALASKA
Planning Department

June 18, 2021

Rhett Foster
PO Box 856
Valdez, AK 99686

Re: Permit #20-000197

Mr. Foster,

This letter is in response to your questioning the Planning Department's position regarding the sonotube deck footings found to be non-compliant by the Building Inspector on October 23, 2020.

The 2009 International Residential Code states:

- RI09.1 Types of inspections. For onsite construction, from time to time the building official, upon notification from the permit holder or his agent, shall make or cause to be made any necessary inspections and shall either approve that portion of the construction as completed or shall notify the permit holder or his or her agent wherein the same fails to comply with this code.
- RI09.1.1 Foundation inspection. Inspection of the foundation shall be made after poles or piers are set or trenches or basement areas are excavated and any required forms erected and any required reinforcing steel is in place and supported prior to the placing of concrete. The foundation inspection shall include excavations for thickened slabs intended for the support of bearing walls, partitions, structural supports, or equipment and special requirements for wood foundations.

Since 8 of the 13 deck footings were completely filled with concrete, there was no way to determine if the required reinforcing steel was in place and supported prior to or during the placement of concrete. Therefore, the non-compliant footings must be replaced prior to any work being placed on them.

Valdez Municipal Code 15.06.040 states:

Whenever the building department shall disapprove an application or refuse to grant a permit applied for, or when it is claimed that the provisions of the code do not apply or that the true intent and meaning of the code has been misconstrued or wrongly interpreted, the applicant may appeal the decision of the chief building official.

A. Appeal to the Planning and Zoning Commission.

- Filing Limit. An appeal of the decision of the building official in enforcement of this title may be taken to the planning and zoning commission by the permittee or agent thereof. The written appeal must be filed within fifteen days of the decision of the building official. The appeal must be filed with the office of the city clerk.

If you have any questions concerning this decision please contact me. If you decide to appeal this decision, any questions concerning the appeal process should be directed to the Sheri Pierce, City Clerk, at spierce@valdezak.gov.

Sincerely,



Bruce Wall

Senior Planner / Acting Building Official

City of Valdez | Planning Department

P.O. Box 307, Valdez AK 99686

☎ 907.834.3451 | ✉ bwall@valdezak.gov

From: [Sheri Pierce](#)
To: ["Rhett Foster"](#)
Cc: [Bruce Wall](#)
Subject: RE: [External Attachment *Caution*]-Re: Building Permit @ 20-000197
Date: Tuesday, June 22, 2021 4:17:00 PM

Good Afternoon Rhett,

I am in receipt of your letter of appeal and engineer report. As soon as I receive all relative reports from the Planning Department I will compile all of the information for submission to the Planning and Zoning Commission. Just as a matter of procedure, the filing of an appeal stays any enforcement proceedings/fines until an appellant completes the appeal process. The next regular meeting of the Planning and Zoning Commission is Wednesday, July 14th. I left you a voice mail today, if you could give me a call at 907-202-0712 please.

From: Rhett Foster <rhett.foster@gmail.com>
Sent: Tuesday, June 22, 2021 7:31 AM
To: Sheri Pierce <SPierce@ValdezAK.Gov>
Cc: Bruce Wall <Wall@ValdezAK.Gov>
Subject: [External Attachment *Caution*]-Re: Building Permit @ 20-000197

Good morning Sheri,

Please see the attached letter of appeal regarding Permit #20-000197 and engineer's letter of support. Please confirm that you have received the files properly and let me know how we proceed from here...

Thank you,
Rhett Foster

On Jun 18, 2021, at 4:44 PM, Bruce Wall <Wall@ValdezAK.Gov> wrote:

Rhett,

Please see the attached letter stating that the non-compliant footings must be replaced prior to any work being placed on them. I have copied Sheri Pierce, City Clerk, on this email. If you decide to appeal this decision please contact her with any questions.

Thanks,

Bruce Wall
Senior Planner
City of Valdez | Planning Department
P.O. Box 307, Valdez AK 99686
 907.834.3451 |  bwall@valdezak.gov

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<Letter - 2021-06-18.pdf>